

Phase I Retail Development at King Street Commons

Site Plans

550 King Street

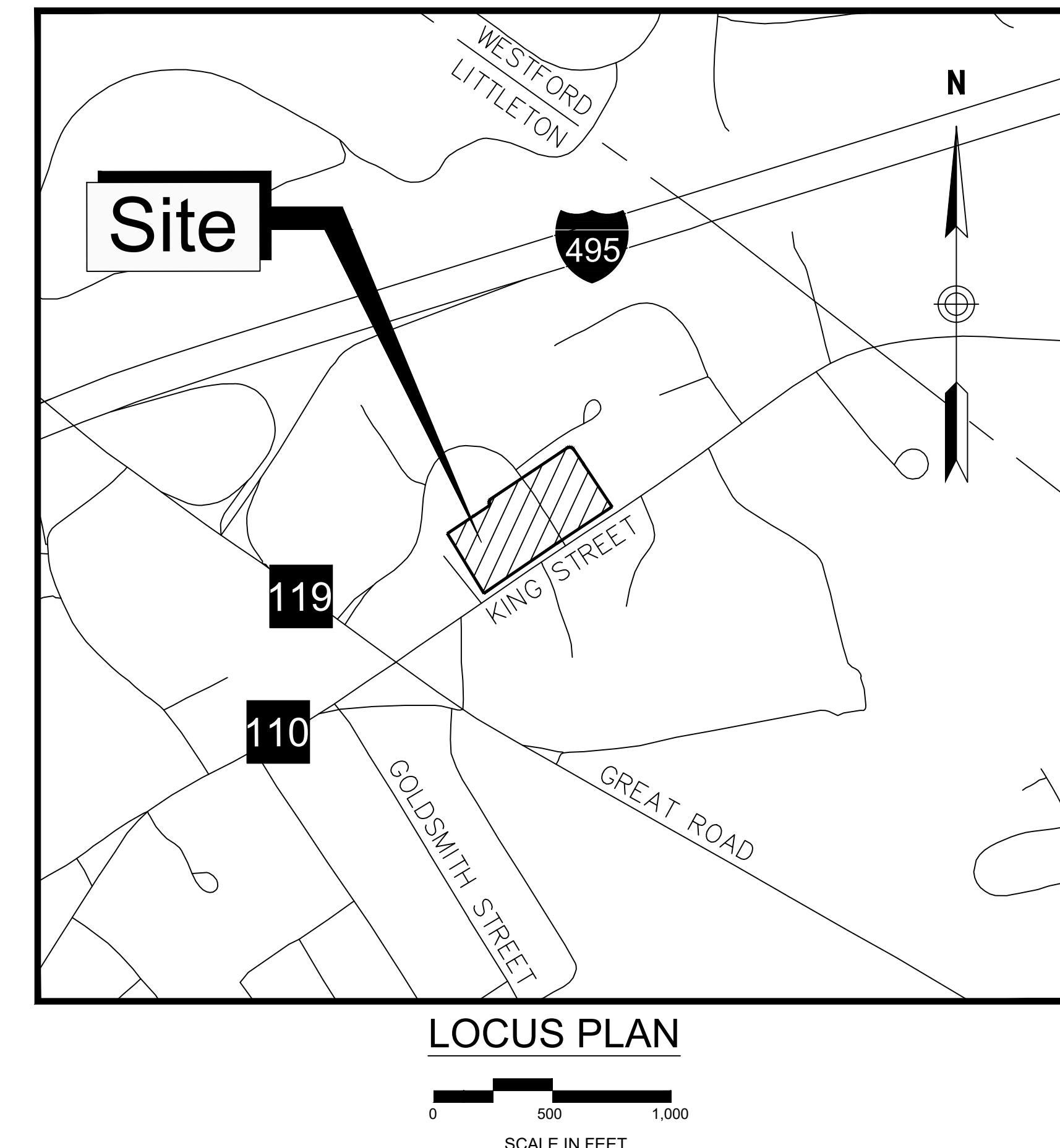
Littleton, MA

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APPROVAL BY THE TOWN OF
LITTLETON PLANNING BOARD

The logo for TEC Engineering Corp. It features the letters 'TEC' in a large, bold, blue sans-serif font. A light blue curved swoosh graphic starts from the top left, goes behind the 'T', and then sweeps down and around the 'E' and 'C'. Below 'TEC', the words 'Engineering Corp' are written in a smaller, blue, italicized sans-serif font.

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978-794-1792

311 Main Street
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Suite 301
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www.TheEngineeringCorp.com

DESIGNED BY	MWC
DRAWN BY	SSB
CHECKED BY	AFS
DATE	11/26/2025
SCALE	AS NOTED

PREPARED FOR

Lupoli Companies
290 Merrimack Street
Lawrence, MA 01840

REVISIONS

ISSUED FOR

Permitting

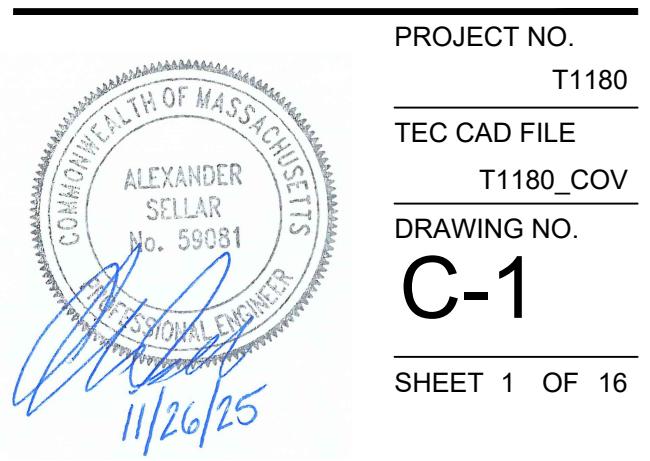
PROJECT TITLE

Phase 1 Retail Development at King Street Commons

PROJECT LOCATION

550 King Street, LLC
Littleton, MA 01460

Title & Index Sheet



GENERAL NOTES

- THE CONTRACTOR MUST STRICTLY COMPLY WITH THESE NOTES AND ALL SPECIFICATIONS/REPORTS CONTAINED HEREIN. THE CONTRACTOR MUST ENSURE THAT ALL SUBCONTRACTORS FULLY AND COMPLETELY CONFORM TO AND COMPLY WITH THESE REQUIREMENTS, THESE NOTES, AND THE REQUIREMENTS ARTICULATED IN THE NOTES CONTAINED IN ALL THE OTHER DRAWINGS THAT COMprise THE PLAN SET OF DRAWINGS. ADDITIONAL NOTES AND SPECIFIC PLAN NOTES MAY BE FOUND ON THE INDIVIDUAL PLANS. THESE GENERAL NOTES APPLY TO THIS ENTIRE DOCUMENT PACKAGE. IT IS THE CONTRACTOR'S RESPONSIBILITY TO REVIEW ALL CONSTRUCTION CONTRACT DOCUMENTS INCLUDING, BUT NOT LIMITED TO, ALL OF THE DRAWINGS AND SPECIFICATIONS ASSOCIATED WITH THE PROJECT WORK SCOPE, PRIOR TO THE INITIATION AND COMMENCEMENT OF CONSTRUCTION.
- CONTRACTOR SHALL NOTIFY DIG-SAFE (1-888-344-7233) AND THE LOCAL MUNICIPAL WATER & SEWER DEPT. AT LEAST 72 HOURS BEFORE EXCAVATING.
- CONTRACTOR SHALL PREVENT DUST, SEDIMENT, AND DEBRIS FROM EXITING THE SITE AND SHALL BE RESPONSIBLE FOR CLEANUP, REPAIRS AND CORRECTIVE ACTION IF SUCH OCCURS.
- THE CONTRACTOR IS RESPONSIBLE TO MAINTAIN AN ON-SITE STORMWATER POLLUTION PREVENTION PLAN (SWPPP) IN COMPLIANCE WITH THE ENVIRONMENTAL PROTECTION AGENCY (EPA) REQUIREMENTS OR LOCAL GOVERNING AGENCY FOR SITES WHERE ONE (1) ACRE OR MORE IS DISTURBED BY CONSTRUCTION ACTIVITIES (UNLESS THE LOCAL JURISDICTION REQUIRES A DIFFERENT THRESHOLD). THE CONTRACTOR MUST ENSURE THAT ALL ACTIVITIES, INCLUDING THOSE OF ALL SUBCONTRACTORS, ARE IN COMPLIANCE WITH THE SWPPP, INCLUDING BUT NOT LIMITED TO LOGGING ACTIVITIES (MINIMUM ONCE PER WEEK AND AFTER RAINFALL EVENTS) AND CORRECTIVE MEASURES, AS APPROPRIATE AND FURTHER, THE CONTRACTOR IS SOLELY AND COMPLETELY RESPONSIBLE FOR FAILING TO DO SO.
- PRIOR TO THE COMMENCEMENT OF GENERAL CONSTRUCTION, THE CONTRACTOR MUST INSTALL SOIL EROSION CONTROL AND ANY STORMWATER POLLUTION PREVENTION PLAN (SWPPP) MEASURES NECESSARY, AS INDICATED ON THE APPROVED SOIL EROSION AND SEDIMENT CONTROL PLAN AND IN ACCORDANCE WITH APPLICABLE AND/OR APPROPRIATE AGENCIES' GUIDELINES TO PREVENT SEDIMENT AND/OR LOOSE DEBRIS FROM WASHING ONTO ADJACENT PROPERTIES OR THE RIGHT OF WAY.
- CONTRACTOR SHALL BE RESPONSIBLE FOR SITE SECURITY AND JOB SAFETY. CONSTRUCTION ACTIVITIES SHALL BE IN ACCORDANCE WITH OSHA STANDARDS AND LOCAL REQUIREMENTS. A 6-FOOT TEMPORARY CHAINLINK FENCE SHALL BE PROVIDED AROUND ALL CONSTRUCTION ACTIVITIES. CONTRACTOR SHALL LEAVE NO UNSECURED OPEN EXCAVATIONS.
- HANDICAP ACCESSIBLE ROUTES, PARKING SPACES, RAMPS, SIDEWALKS AND WALKWAYS SHALL BE CONSTRUCTED IN CONFORMANCE WITH THE FEDERAL AMERICANS WITH DISABILITIES ACT/ARCHITECTURAL ACCESS BOARD (ADA/AAB), AND WITH STATE AND LOCAL LAWS AND REGULATIONS (WHICHEVER ARE MORE STRINGENT).
- WORK WITHIN THE RIGHT-OF-WAY MUST BE PERFORMED IN ACCORDANCE WITH ALL APPLICABLE REQUIREMENTS AND STANDARDS OF THE DEPARTMENT OF PUBLIC WORKS, ENGINEERING DEPARTMENT, HIGHWAY DIVISION, AND/OR STATE DOT HIGHWAY DEPARTMENT.
- UPON AWARD OF CONTRACT, CONTRACTOR SHALL MAKE NECESSARY CONSTRUCTION NOTIFICATIONS AND APPLY FOR AND OBTAIN NECESSARY PERMITS, PAY FEES, AND POST BONDS ASSOCIATED WITH THE WORK INDICATED ON THE DRAWINGS, IN THE SPECIFICATIONS, AND IN THE CONTRACT DOCUMENTS. DO NOT CLOSE OR OBSTRUCT ROADWAYS, SIDEWALK, OR FIRE HYDRANTS WITHOUT APPROPRIATE PERMITS.
- WHEN APPLICABLE, OWNER/OPERATOR MUST FILE THE NOI OR NPDES PERMITS AT APPROPRIATE AND/OR REQUIRED TIMEFRAMES BASED UPON THE DESIRED START OF CONSTRUCTION. LAND DISTURBING ACTIVITIES MUST NOT COMMENCE UNTIL APPROVAL TO DO SO HAS BEEN RECEIVED FROM GOVERNING AUTHORITIES (INCLUDING STORMWATER POLLUTION PREVENTION PLAN). THE CONTRACTOR MUST STRICTLY ADHERE TO THE APPROVED OOC OR SWPPP DURING CONSTRUCTION OPERATIONS (IF PROVIDED).
- TRAFFIC SIGNAGE AND PAVEMENT MARKINGS SHALL CONFORM TO THE CURRENT EDITION OF THE MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES.
- IN THE EVENT THAT SUSPECTED CONTAMINATED SOIL, GROUNDWATER, AND OTHER MEDIA ARE ENCOUNTERED DURING EXCAVATION AND CONSTRUCTION ACTIVITIES BASED ON VISUAL, OLFACTORY, OR OTHER EVIDENCE, THE CONTRACTOR SHALL STOP WORK IN THE VICINITY OF THE SUSPECT MATERIAL TO AVOID FURTHER SPREADING OF THE MATERIAL, AND SHALL NOTIFY THE OWNER IMMEDIATELY SO THAT THE APPROPRIATE TESTING AND SUBSEQUENT ACTION CAN BE TAKEN.
- CONTRACTOR SHALL CONTROL STORMWATER RUNOFF DURING CONSTRUCTION TO PREVENT ADVERSE IMPACTS TO OFF-SITE AREAS, AND SHALL BE RESPONSIBLE TO REPAIR RESULTING DAMAGES, IF ANY, AT NO COST TO THE OWNER.

GENERAL DRAINAGE & UTILITY NOTES

- THE LOCATIONS, SIZES, AND TYPES OF EXISTING UNDERGROUND UTILITIES ARE SHOWN AS AN APPROXIMATE REPRESENTATION ONLY. THE OWNER OR ITS REPRESENTATIVE(S) HAVE NOT INDEPENDENTLY VERIFIED THIS INFORMATION AS SHOWN ON THE PLANS. THE UTILITY INFORMATION SHOWN DOES NOT GUARANTEE THE ACTUAL EXISTENCE, SERVICEABILITY, OR OTHER DATA CONCERNING THE UTILITIES, NOR DOES IT GUARANTEE AGAINST THE POSSIBILITY THAT ADDITIONAL UTILITIES MAY BE PRESENT THAT ARE NOT SHOWN ON THE PLANS. PRIOR TO ORDERING MATERIALS AND BEGINNING CONSTRUCTION THE CONTRACTOR SHALL VERIFY AND DETERMINE THE EXACT LOCATION, SIZE, AND ELEVATION OF EXISTING UTILITIES.
- THE CONTRACTOR MUST FIELD VERIFY THE PROPOSED INTERFACE POINTS (CROSSINGS) WITH EXISTING UNDERGROUND UTILITIES TO CONFIRM EXACT DEPTH, PRIOR TO COMMENCEMENT OF CONSTRUCTION.
- WHERE AN EXISTING UTILITY IS FOUND TO CONFLICT WITH THE PROPOSED WORK, OR EXISTING CONDITIONS DIFFER FROM THOSE SHOWN SUCH THAT THE WORK CANNOT BE COMPLETED AS INTENDED, THE LOCATION, ELEVATION, AND SIZE OF THE UTILITY SHALL BE ACCURATELY DETERMINED WITHOUT DELAY BY THE CONTRACTOR, AND THE INFORMATION FURNISHED IN WRITING TO THE OWNER'S REPRESENTATIVE FOR THE RESOLUTION OF THE CONFLICT. FAILURE TO PROVIDE OR PERFORM THE ABOVE PRIOR TO PERFORMING ANY WORK SHALL NOT BE GROUNDS FOR EXTRA PAYMENTS TO THE CONTRACTOR.
- THE CONTRACTOR SHALL MAKE ALL ARRANGEMENTS FOR THE ALTERATION AND ADJUSTMENT OF GAS, ELECTRIC, TELEPHONE AND ANY OTHER PRIVATE UTILITIES BY THE UTILITY COMPANIES, AS REQUIRED.
- UTILITY COVERS, GRATES, ETC. SHALL BE ADJUSTED TO BE FLUSH WITH THE PAVEMENT FINISH GRADE UNLESS OTHERWISE NOTED.
- INSTALL ALL UTILITIES (INCLUDING CONCRETE PADS) PER UTILITY COMPANY, DPW, AND STATE STANDARDS.
- ALL FILL, COMPACTION, AND BACKFILL MATERIALS REQUIRED FOR UTILITY INSTALLATION MUST BE EXACTLY AS PER THE RECOMMENDATIONS PROVIDED IN THE GEOTECHNICAL REPORT AND THE CONTRACTOR MUST COORDINATE SAME WITH THE APPLICABLE UTILITY COMPANY'S SPECIFICATIONS. WHEN THE PROJECT DOES NOT HAVE GEOTECHNICAL RECOMMENDATIONS, FILL AND COMPACTION MUST COMPLY WITH APPLICABLE REQUIREMENTS AND SPECIFICATIONS. THE PROFESSIONAL OF RECORD AND TEC ARE NOT RESPONSIBLE FOR DESIGN OF TRENCH BACKFILL OR FOR COMPACTION REQUIREMENTS.
- DURING THE INSTALLATION OF SANITARY, STORM, AND ALL UTILITIES, THE CONTRACTOR MUST MAINTAIN A CONTEMPORANEOUS AND THOROUGH RECORD OF CONSTRUCTION TO IDENTIFY THE AS-INSTALLED LOCATIONS OF ALL UNDERGROUND INFRASTRUCTURE. THE CONTRACTOR MUST CAREFULLY NOTE ANY INSTALLATIONS THAT DEVIATE, IN ANY RESPECT, FROM THE INFORMATION CONTAINED IN THESE PLANS. THIS RECORD MUST BE KEPT ON A CLEAN COPY OF THE APPROPRIATE PLAN(S), WHICH THE CONTRACTOR MUST PROMPTLY PROVIDE TO THE OWNER IMMEDIATELY UPON THE COMPLETION OF WORK.
- THE CONTRACTOR MUST ENSURE THAT ALL UTILITY TRENCHES LOCATED IN EXISTING PAVED ROADWAYS INCLUDING SANITARY, WATER AND STORM SYSTEMS, ARE REPAIRED IN ACCORDANCE WITH REFERENCED MUNICIPAL, COUNTY AND OR STATE DOT DETAILS AS APPLICABLE. THE CONTRACTOR MUST COORDINATE INSPECTION AND APPROVAL OF COMPLETED WORK WITH THE AGENCY WITH JURISDICTION OVER SAME.
- ALL WORK ASSOCIATED WITH UTILITY POLES, OVERHEAD WIRES AND ANY/ALL APPURTENANCES SHALL BE COORDINATED BY THE GENERAL CONTRACTOR WITH THE LOCAL UTILITY COMPANIES PRIOR TO THE ORDERING OF ANY MATERIALS. THIS MAY INCLUDE BUT IS NOT LIMITED TO THE REMOVAL, INSTALLATION, RELOCATION OR PROTECTION OF ANY BRACING, GUY WIRES, OVERHEAD WIRES, ETC. AS MAY BE REQUIRED TO ACCOMMODATE THE PROJECT.
- ALL SANITARY SEWER PIPE SHALL BE SDR-35 PVC UNLESS OTHERWISE NOTED.
- INSULATE SANITARY PIPES WHERE INVERT DEPTH IS LESS THAN FIVE (5) FEET BELOW FINISHED GRADE.

ABBREVIATIONS

GENERAL	UTILITIES
ABAN	ABANDON
AC	ACRES
ADJ	ADJUST
APPROX	APPROXIMATE
BB	BITUMINOUS CONCRETE BERM
BIT	BITUMINOUS
BLDG	BUILDING
BND	HIGHWAY/PROPERTY BOUND
BO	BY OTHERS
BOS	BOTTOM OF SLOPE
BS	BOTTOM OF STAIRS
BR	BOTTOM OF RAMP
CC	CONCRETE CURB
CCB	CAPE COD BERM
CEM	CEMENT
CI	CURB INLET
CLF	CHAIN LINK FENCE
CIT	CHANGE IN TYPE
CONC	CONCRETE
CW	CROSSWALK
DIA	DIAMETER
ELEV	ELEVATION
EOP	EDGE OF PAVEMENT
EX	EXISTING
FFE	FIRST FLOOR ELEVATION
FND	FOUNDATION
FDC	FIRE DEPT. CONNECTION
FGC	FLUSH GRANITE CURB
GC	GRANITE CURB
GE	GRANITE EDGING
HMA	HOT MIX ASPHALT
LA	LANDSCAPE AREA
LF	LINEAR FEET
MAX	MAXIMUM
MCC	MONOLITHIC CONCRETE CURB
MGC	MOUNTABLE GRANITE CURB
MIN	MINIMUM
NTS	NOT TO SCALE
PCC	PRECAST CONCRETE CURB
PCR	PEDESTRIAN CURB RAMP
PROP	PROPOSED
PVMT	PAVEMENT
R	RADIUS
REM	REMOVE
REMOD	REMODEL
RET	RETAIN
R&R	REMOVE AND RESET
R&S	REMOVE AND STACK
S	SLOPE
SF	SQUARE FEET
SW	SIDEWALK
SWL	SOLID WHITE LINE
SGC	SLOPED GRANITE CURB
TOS	TOP OF SLOPE
TS	TOP OF STAIRS
TR	TOP OF RAMP
TYP	TYPICAL
UON	UNLESS OTHERWISE NOTED
VGC	VERTICAL GRANITE CURB
WCR	WHEELCHAIR RAMP
	ASPHALT COATED CORRUGATED METAL PIPE
AD	AREA DRAIN
BC	BOTTOM OF CHANNEL
CB	CATCH BASIN
CATV	CABLE TELEVISION
CIP	CAST IRON PIPE
CIT	CHANGE IN TYPE
CLDI	CEMENT LINED DUCTILE IRON
COND	CONDUT
DCB	DOUBLE CATCH BASIN
DI	DROP INLET
DIP	DUCTILE IRON PIPE
DMH	DRAINAGE MANHOLE
ETC	ELECTRIC, TELEPHONE, & CABLE
F&G	FRAME AND GRATE
F&C	FRAME AND COVER
FES	FLARE END SECTION
GG	GAS GATE
HDPE	HIGH DENSITY POLYETHYLENE PIPE
HH	HANDLE
HYD	HYDRANT
INV	INVERT ELEVATION
OCS	OUTLET CONTROL STRUCTURE
OHW	OVERHEAD WIRE
OT	OTHER
PVC	POLYVINYL CHLORIDE PIPE
PPW	PAVED WATER WAY
RCP	REINFORCED CONCRETE PIPE (CLASS III)
RIM	RIM ELEVATION
SMH	SEWER MANHOLE
TD	TRENCH DRAIN
TFMR	TRANSFORMER
TSV	TAPPING SLEEVE AND VALVE
UP	UTILITY POLE
VCP	VITRIFIED CLAY PIPE
WG	WATER GATE
WSO	WATER SHUT OFF
WQU	WATER QUALITY UNIT
CC	CENTER OF CURVE
PC	POINT OF CURVE
PCC	POINT OF COMPOUND CURVE
PI	POINT OF INTERSECTION
PNT	POINT
PRC	POINT OF REVERSE CURVE
PT	POINT OF TANGENT

GENERAL SYMBOLS

EXISTING	PROPOSED
■	CATCH BASIN
■	SILT SACK WITHIN CATCH BASIN
○	DOUBLE CATCH BASIN
○	DRAIN MANHOLE
○	SEWER MANHOLE
○	COMBINED SEWER MANHOLE
○	OIL WATER SEPARATOR
○	ELECTRIC MANHOLE
○	TELEPHONE MANHOLE
○	CATV MANHOLE
○	UNKNOWN STRUCTURE
HH	HANDHOLE
●	BOLLARD
WG	WATER GATE
VSO	WATER SHUT OFF
●	FIRE HYDRANT
GG	GAS GATE
—	STREET SIGN
—	WALL MOUNTED SIGN
●	LIGHT POLE
—	WALL MOUNTED LIGHT
—	UTILITY POLE
●	GUY POLE
—	GUY WIRE
—	MONITORING WELL
—	TEST PIT (W/ I.D.)
—	AREA DRAIN
—	DRAINAGE CLEANOUT
—	POST INDICATOR VALVE
—	EDGE OF PAVEMENT
—	MONOLITHIC CONCRETE CURB
—	GRANITE CURB
—	GRANITE EDGING
—	BITUMINOUS BERM
—	GUARDRAIL - METAL POSTS
—	GUARD RAIL - WOODEN POSTS
—	CHAIN LINK FENCE
—	DRAINAGE LINE
—	SEWER LINE
—	WATER LINE
—	GAS LINE
—	TELEPHONE/CATV CONDUIT
—	ELECTRIC CONDUIT
—	OVERHEAD WIRE
—	STONE WALL
—	TREE LINE
—	FEMA ZONE X (AREA OF MINIMAL FLOOD HAZARD)
—	MAJOR CONTOUR
—	MINOR CONTOUR
▲	ENTRANCE/EXIT PEDESTRIAN DOOR
▲	LOADING DOCK DOOR
▲	OVERHEAD DOOR
▲	FUTURE USE ENTRANCE/EXIT PEDESTRIAN DOOR
—	CONCRETE PAVEMENT
—	PEDESTRIAN CURB RAMP (TYPE NOTED)
—	ELEVATOR
—	FLARED END SECTION

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SCALE N.T.S.

PREPARED FOR
Lupoli Companies
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Lawrence, MA 01840

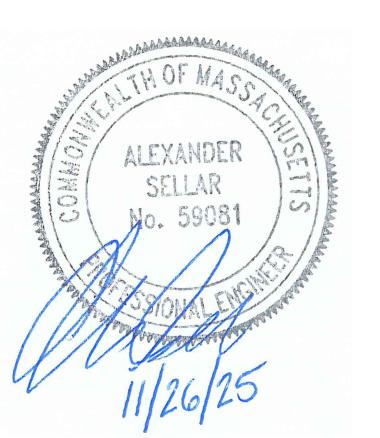
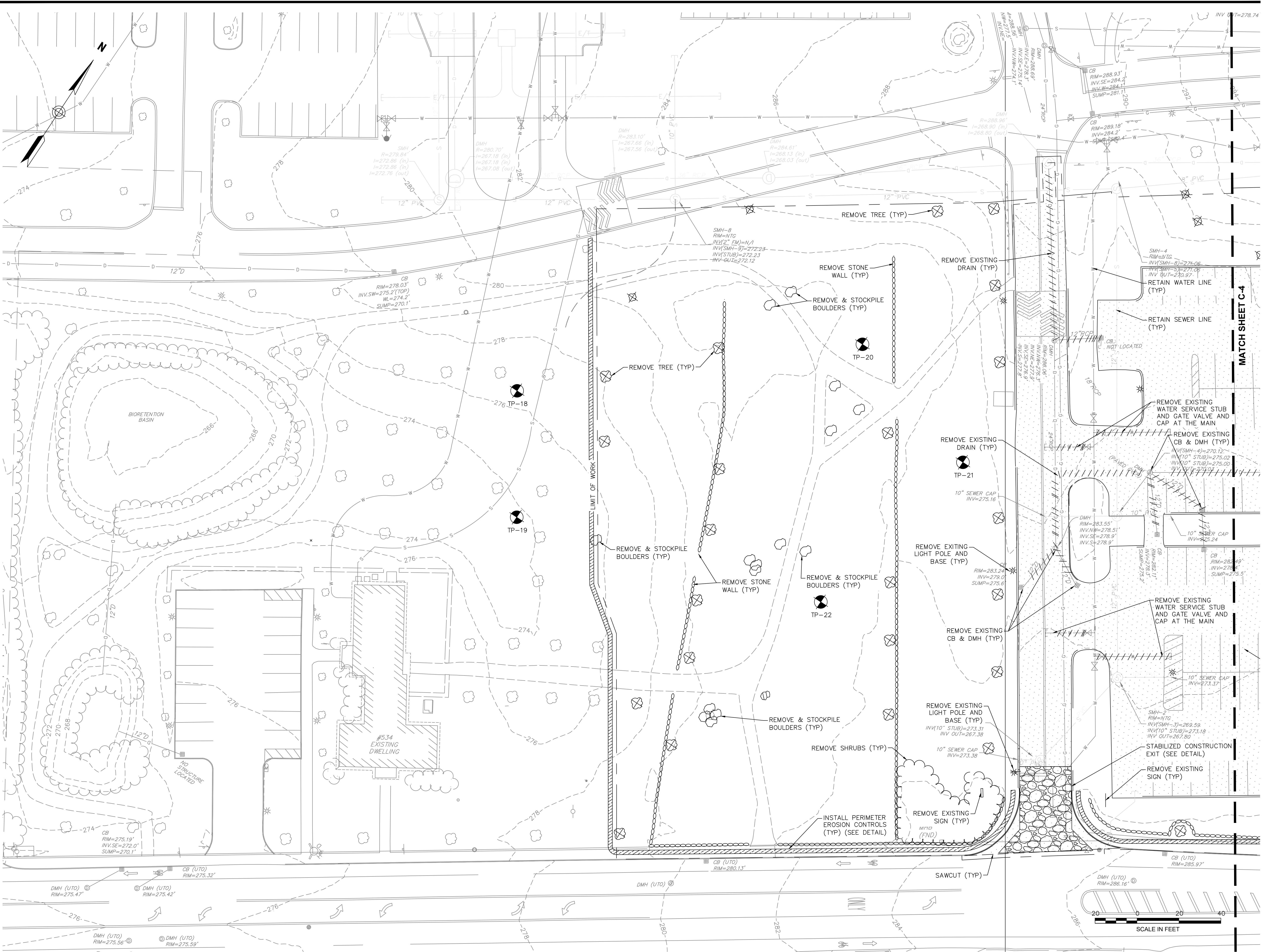
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PROJECT TITLE
Phase 1 Retail
Development at King
Street Commons
PROJECT LOCATION
550 King Street, LLC
Littleton, MA 01460

PROJECT NO. T1180
TEC CAD FILE T1180_LEG
DRAWING NO. C-2
SHEET 2 OF 16

PAVEMENT MARKINGS AND SIGNING SYMBOLS

EXISTING	PROPOSED
— CW	CROSSWALK, 12" WHITE LINE (WIDTH NOTED)
— SL	STOP LINE, 12" WHITE LINE 4' BEHIND CW (TYP.)
— SWL, SWLL	SOLID WHITE LINE/SOLID WHITE LANE LINE-4"
— BWLL	BROKEN WHITE LANE LINE-4"
— DWLL	DOTTED WHITE LANE LINE-4"
— SYL	SOLID YELLOW LINE-4"
— DYCL	DOUBLE YELLOW CENTER LINE-2-4" LINES
— EV	ADA-ACCESSIBLE PARKING SPACE
— EV	ELECTRIC VEHICLE



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PREPARED FOR

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Lawrence, MA 01840

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PROJECT TITLE

Phase 1 Retail Development at King Street Commons

PROJECT LOCATION

DRAWING TITLE

Demolition and Erosion & Sediment Control Plan

PROJECT NO. T1180

TEC CAD FILE

T1180_DEMO

DRAWING NO.

C-3

SHEET 3 OF 16

PERMITTING SET - NOT FOR CONSTRUCTION

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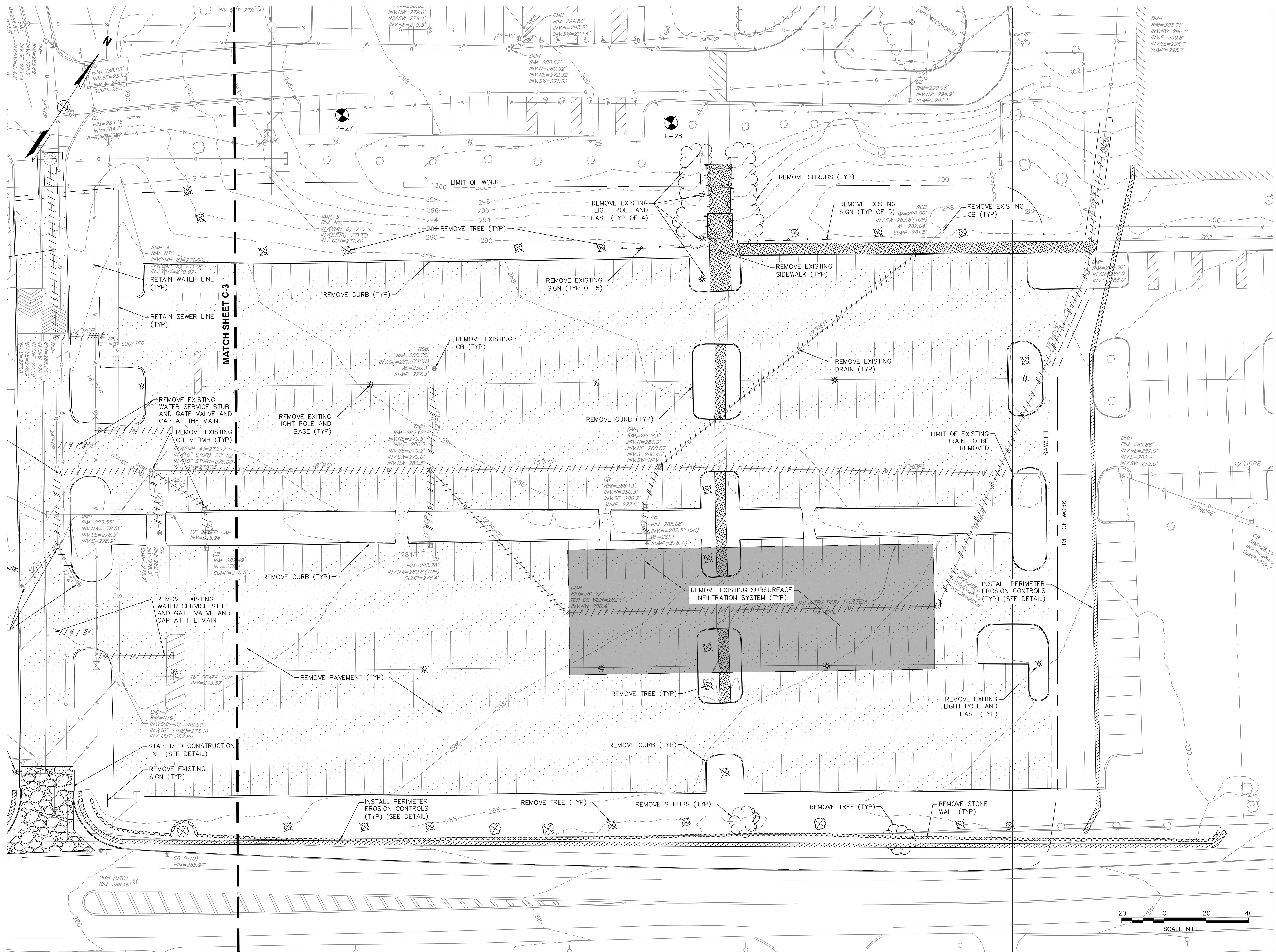
PROJECT NO.
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TEC CAD FILE
T1180_DEMO

DRAWING NO.
C-4

11/26/25

SHEET 4 OF 16





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Phase 1 Retail Development at King Street Commons

PROJECT LOCATION

DRAWING TITLE

Layout & Materials Plan

	PROJECT NO.	T1180
	TEC CAD FILE	T1180_LM
	DRAWING NO.	C-5
SHEET 5 OF 16		

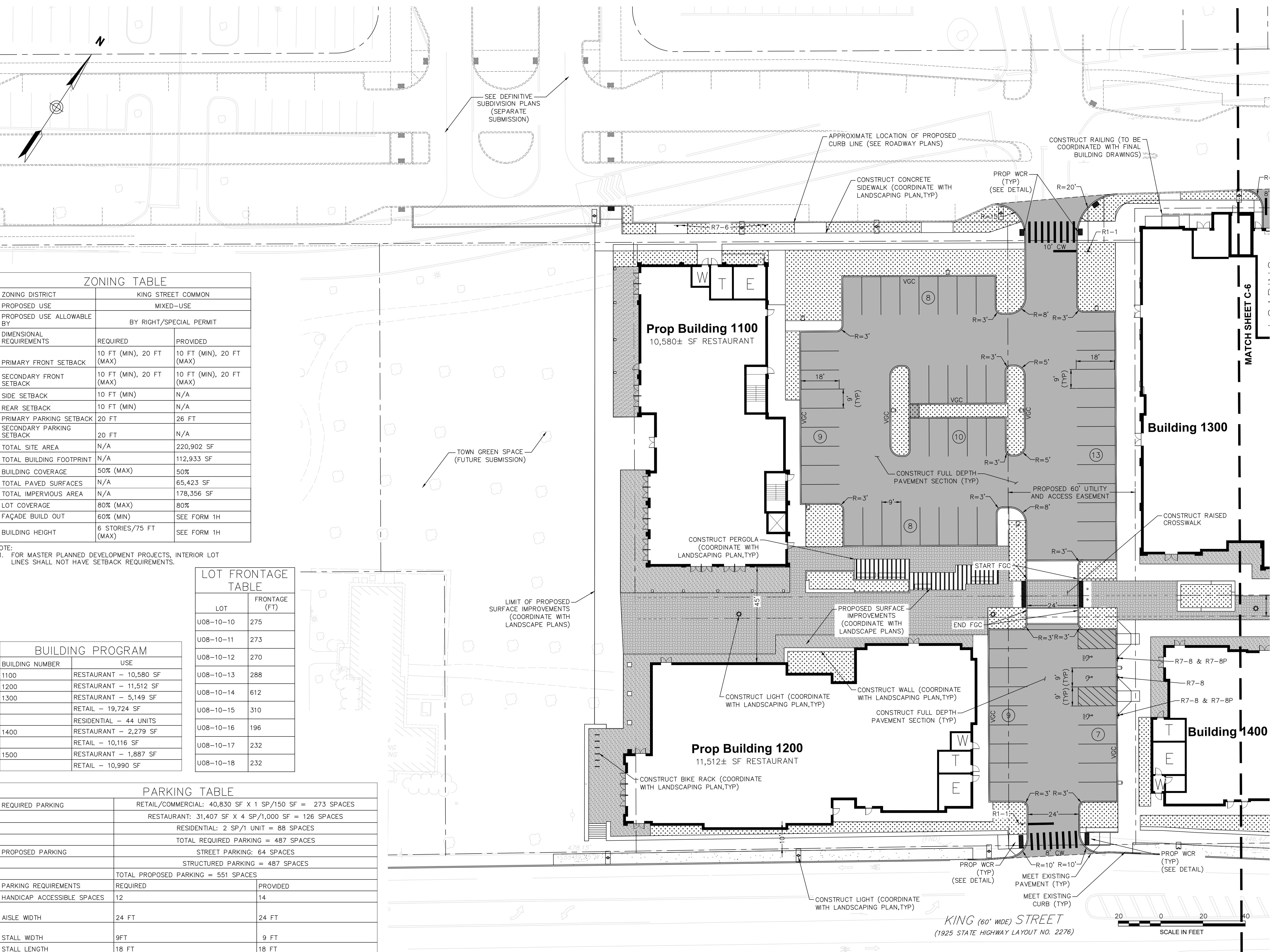
ZONING TABLE		
ZONING DISTRICT	KING STREET COMMON	
PROPOSED USE	MIXED-USE	
PROPOSED USE ALLOWABLE BY	BY RIGHT/SPECIAL PERMIT	
DIMENSIONAL REQUIREMENTS	REQUIRED	PROVIDED
PRIMARY FRONT SETBACK	10 FT (MIN), 20 FT (MAX)	10 FT (MIN), 20 FT (MAX)
SECONDARY FRONT SETBACK	10 FT (MIN), 20 FT (MAX)	10 FT (MIN), 20 FT (MAX)
SIDE SETBACK	10 FT (MIN)	N/A
REAR SETBACK	10 FT (MIN)	N/A
PRIMARY PARKING SETBACK	20 FT	26 FT
SECONDARY PARKING SETBACK	20 FT	N/A
TOTAL SITE AREA	N/A	220,902 SF
TOTAL BUILDING FOOTPRINT	N/A	112,933 SF
BUILDING COVERAGE	50% (MAX)	50%
TOTAL PAVED SURFACES	N/A	65,423 SF
TOTAL IMPERVIOUS AREA	N/A	178,356 SF
LOT COVERAGE	80% (MAX)	80%
FAÇADE BUILD OUT	60% (MIN)	SEE FORM 1H
BUILDING HEIGHT	6 STORIES/75 FT (MAX)	SEE FORM 1H

NOTE:
1. FOR MASTER PLANNED DEVELOPMENT PROJECTS, INTERIOR LOT LINES SHALL NOT HAVE SETBACK REQUIREMENTS.

LOT FRONTAGE TABLE	
LOT	FRONTAGE (FT)
U08-10-10	275
U08-10-11	273
U08-10-12	270
U08-10-13	288
U08-10-14	612
U08-10-15	310
U08-10-16	196
U08-10-17	232
U08-10-18	232

BUILDING PROGRAM	
BUILDING NUMBER	USE
1100	RESTAURANT – 10,580 SF
1200	RESTAURANT – 11,512 SF
1300	RESTAURANT – 5,149 SF
	RETAIL – 19,724 SF
	RESIDENTIAL – 44 UNITS
1400	RESTAURANT – 2,279 SF
	RETAIL – 10,116 SF
1500	RESTAURANT – 1,887 SF
	RETAIL – 10,990 SF

PARKING TABLE		
REQUIRED PARKING	RETAIL/COMMERCIAL: 40,830 SF X 1 SP/150 SF =	273 SPACES
	RESTAURANT: 31,407 SF X 4 SP/1,000 SF =	126 SPACES
	RESIDENTIAL: 2 SP/1 UNIT =	88 SPACES
	TOTAL REQUIRED PARKING = 487 SPACES	
PROPOSED PARKING	STREET PARKING: 64 SPACES	STRUCTURED PARKING = 487 SPACES
	TOTAL PROPOSED PARKING = 551 SPACES	
PARKING REQUIREMENTS	REQUIRED	PROVIDED
HANDICAP ACCESSIBLE SPACES	12	14
AISLE WIDTH	24 FT	24 FT
STALL WIDTH	9FT	9 FT
STALL LENGTH	18 FT	18 FT





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REVIEWS

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DRAWING TITLE

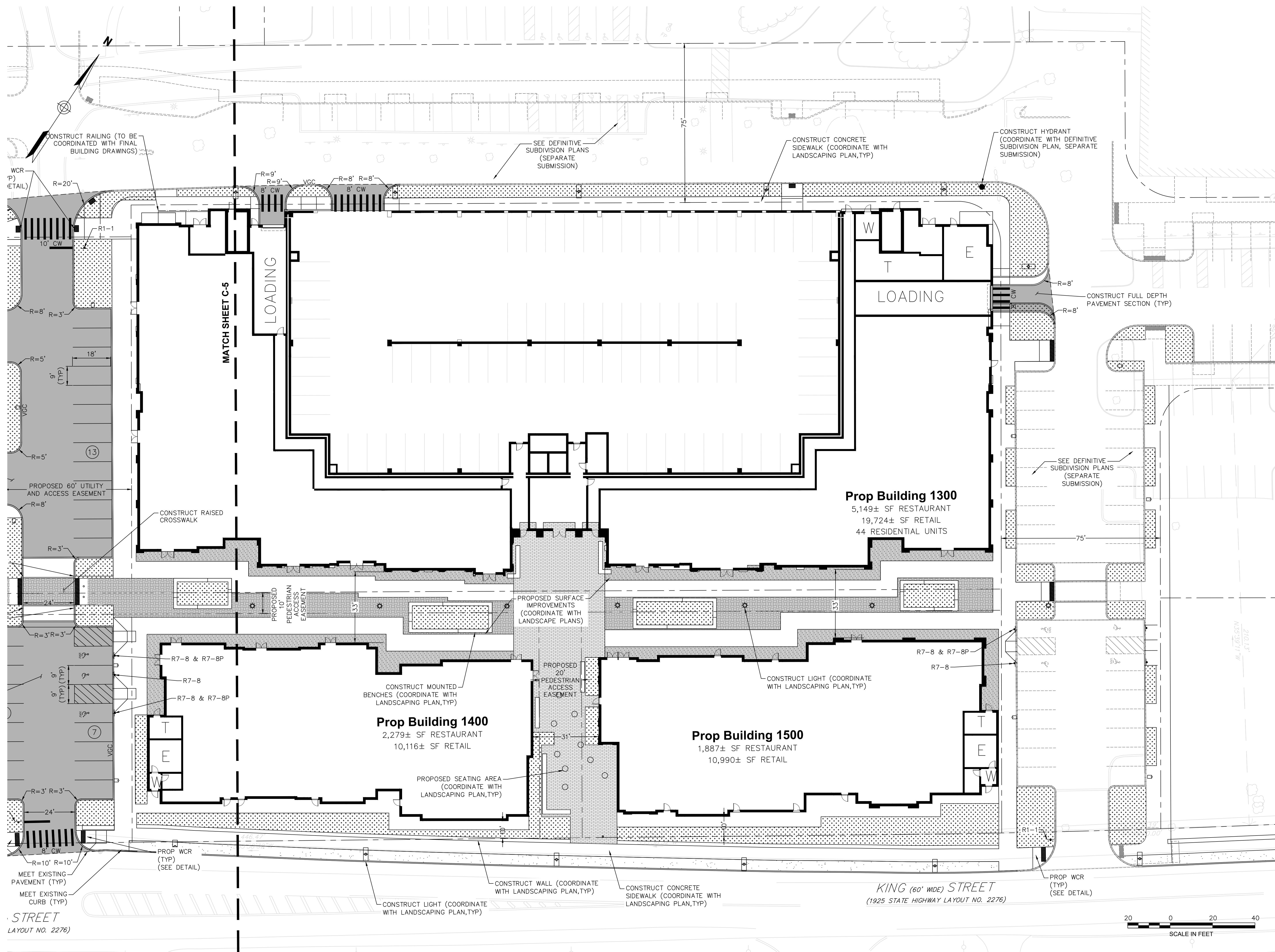
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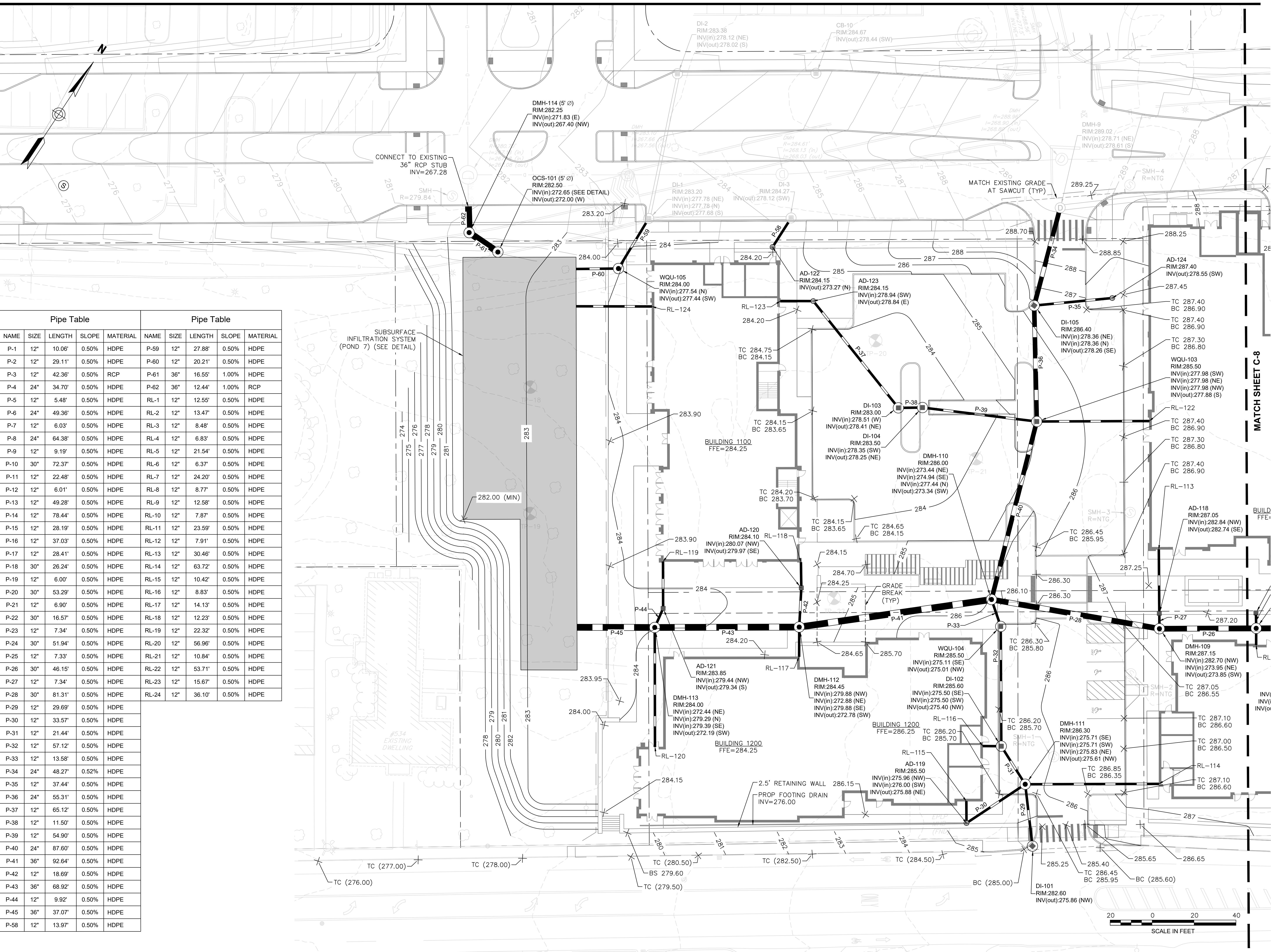
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T1180	

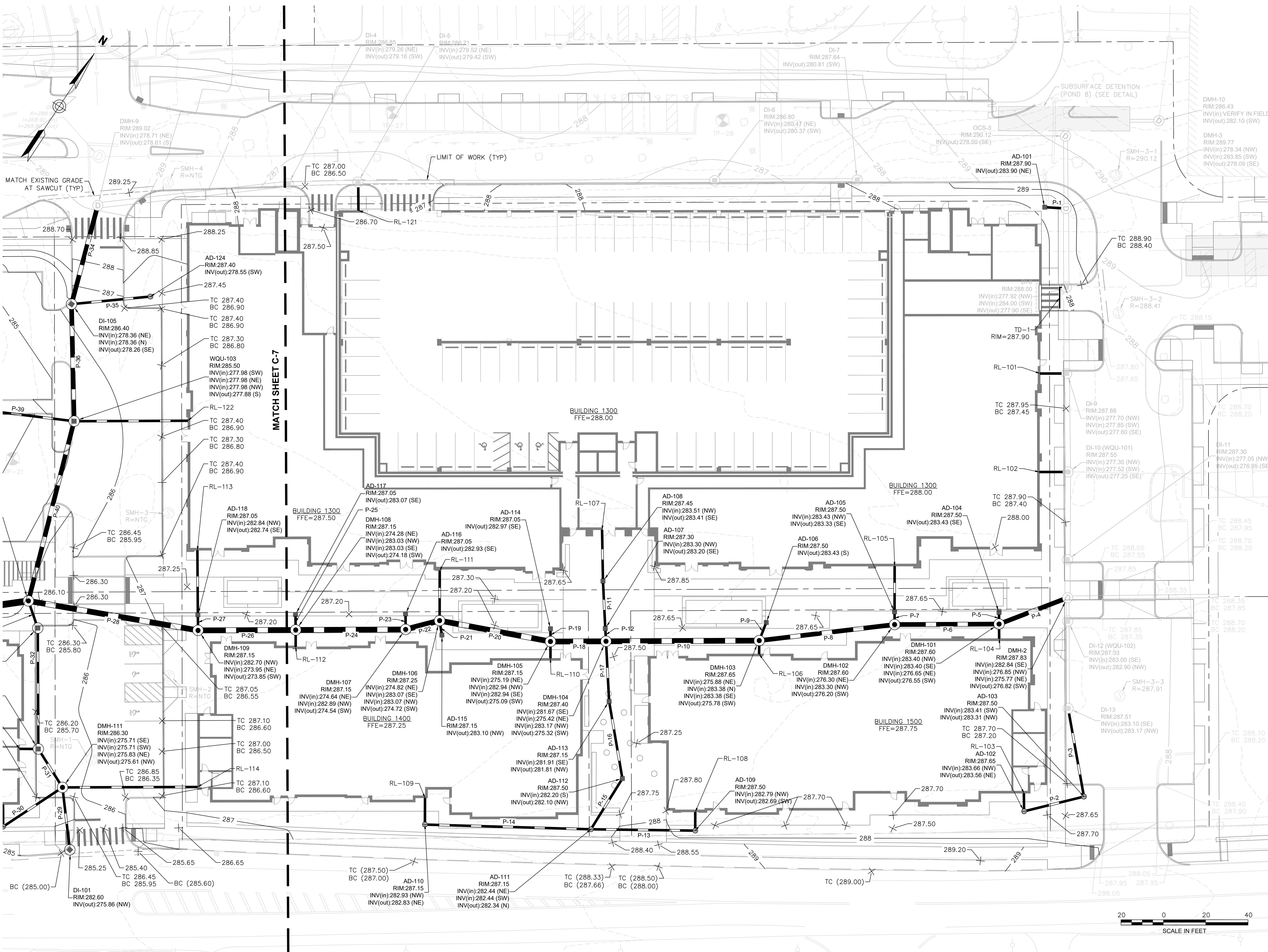
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T1180_LM	

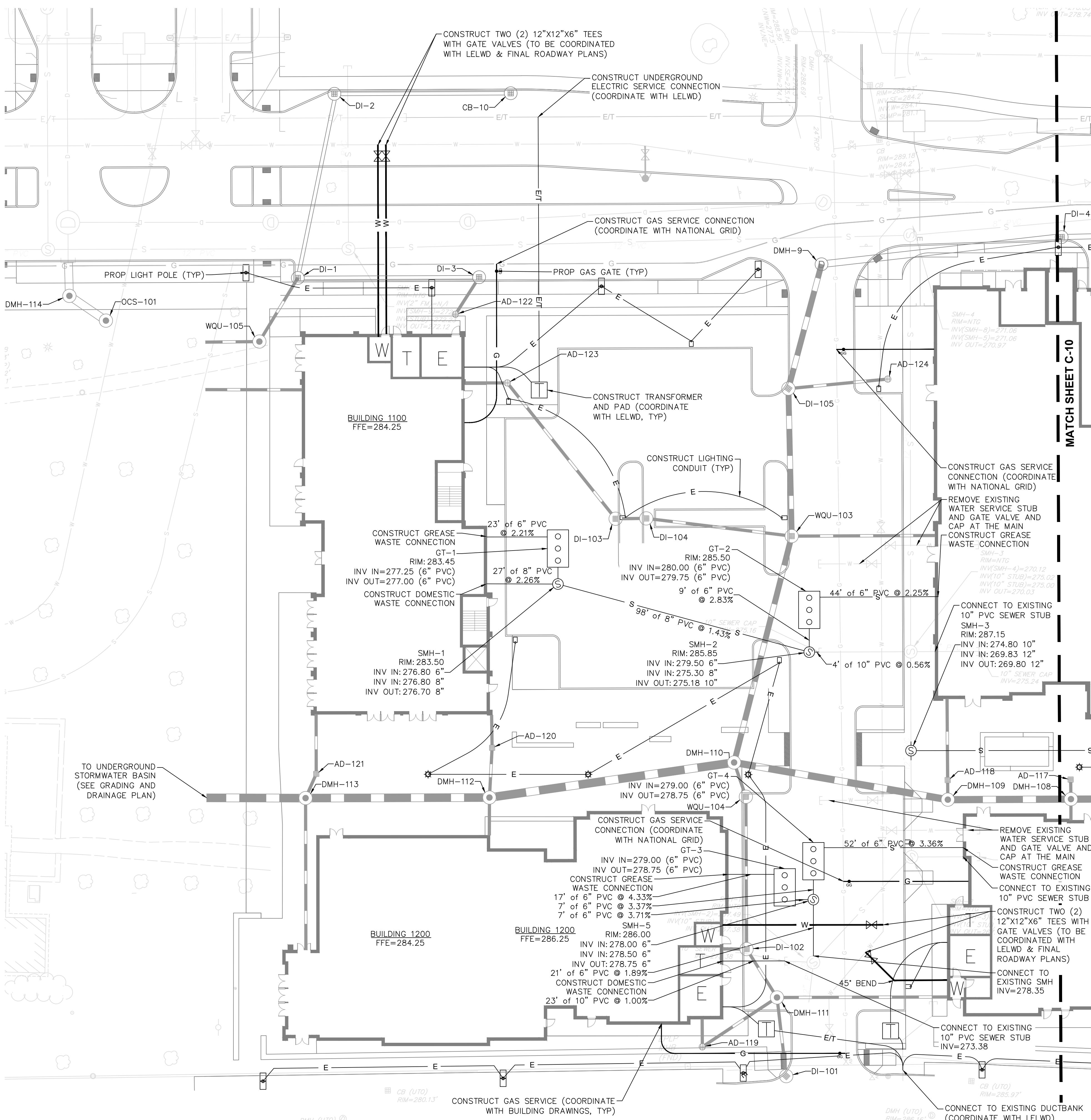
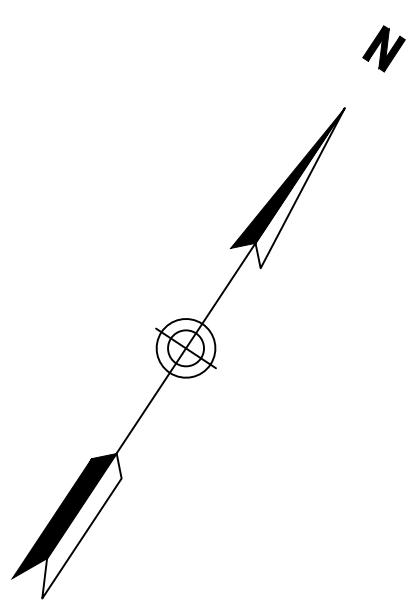
DRAWING NO.	
C-6	

SHEET 6 OF 16	









PERMITTING SET - NOT FOR CONSTRUCTION

TEC
The Engineering Corp

TEC, Inc.
282 Merrimack Street
2nd Floor
Lawrence, MA 01843
978-794-1792

311 Main Street
2nd Floor
Worcester, MA 01608
508-868-5104

2 Monument Square
Suite 301
Portland, ME 04101
207-370-5838

www.TheEngineeringCorp.com

DESIGNED BY MWC
DRAWN BY SSB
CHECKED BY AFS
DATE 11/26/2025
SCALE AS NOTED

PREPARED FOR
Lupoli Companies
290 Merrimack Street
Lawrence, MA 01840

REVISIONS

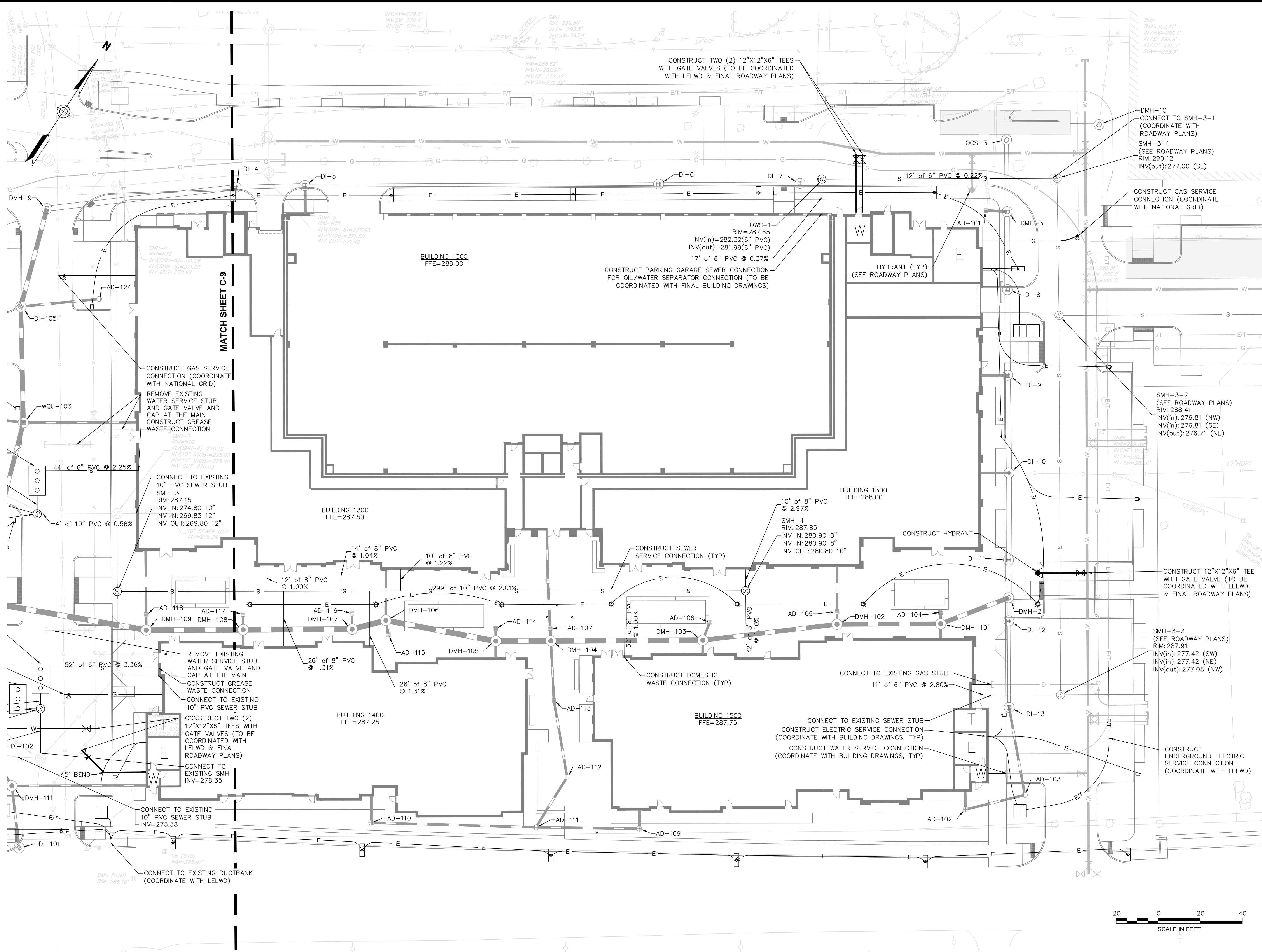
ISSUED FOR
Permitting

PROJECT TITLE
Phase 1 Retail
Development at King
Street Commons

PROJECT LOCATION
550 King Street, LLC
Littleton, MA 01460

DRAWING TITLE
Utilities Plan

PROJECT NO. T1180
TEC CAD FILE T1180_UT
DRAWING NO. C-9
SHEET 9 OF 16
11/26/25
ALEXANDER SELLAR
No. 59881
MASSACHUSETTS
CONSTITUTION OF MASSACHUSETTS
11/26/25



TEC, Inc.
282 Merrimack Street
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DATE	11/26/2025
SCALE	AS NOTED

PREPARED FOR

Lupoli Companies
290 Merrimack Street
Lawrence, MA 01840

REVISIONS

ISSUED FOR
Permitting

PROJECT TITLE

Phase 1 Retail Development at King Street Commons

PROJECT LOCATION

550 King Street, LLC
Littletown, MA 01460

INTERVIEW WITH

Utilities Plan

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Lawrence, MA 01843
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Lawrence, MA 01840

REVISIONS

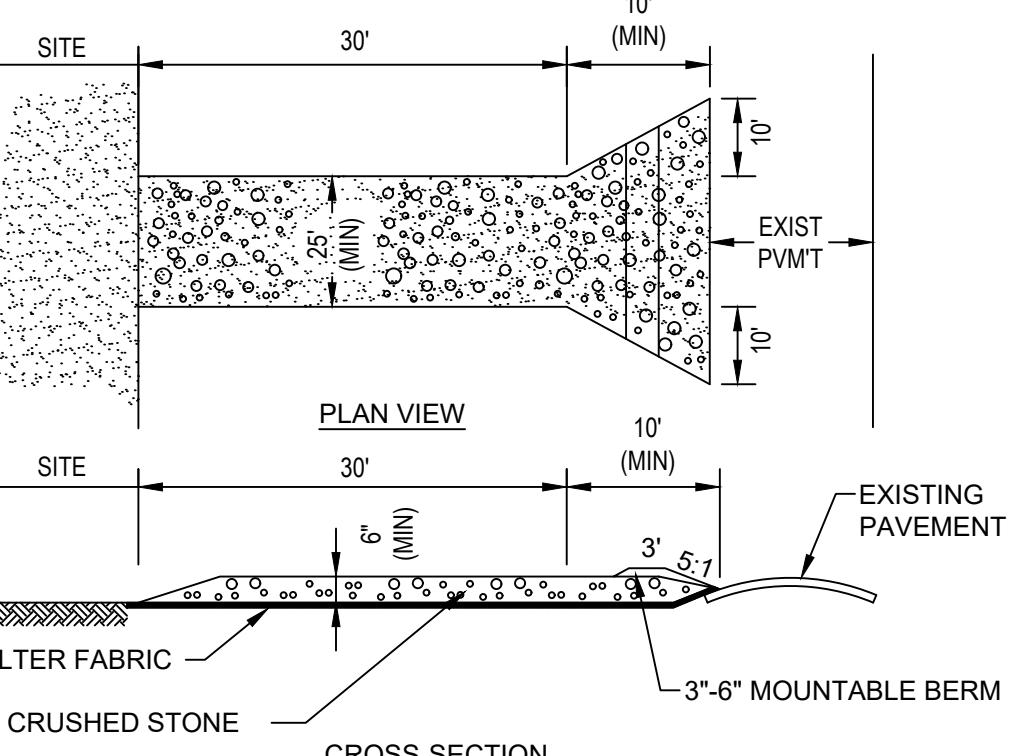
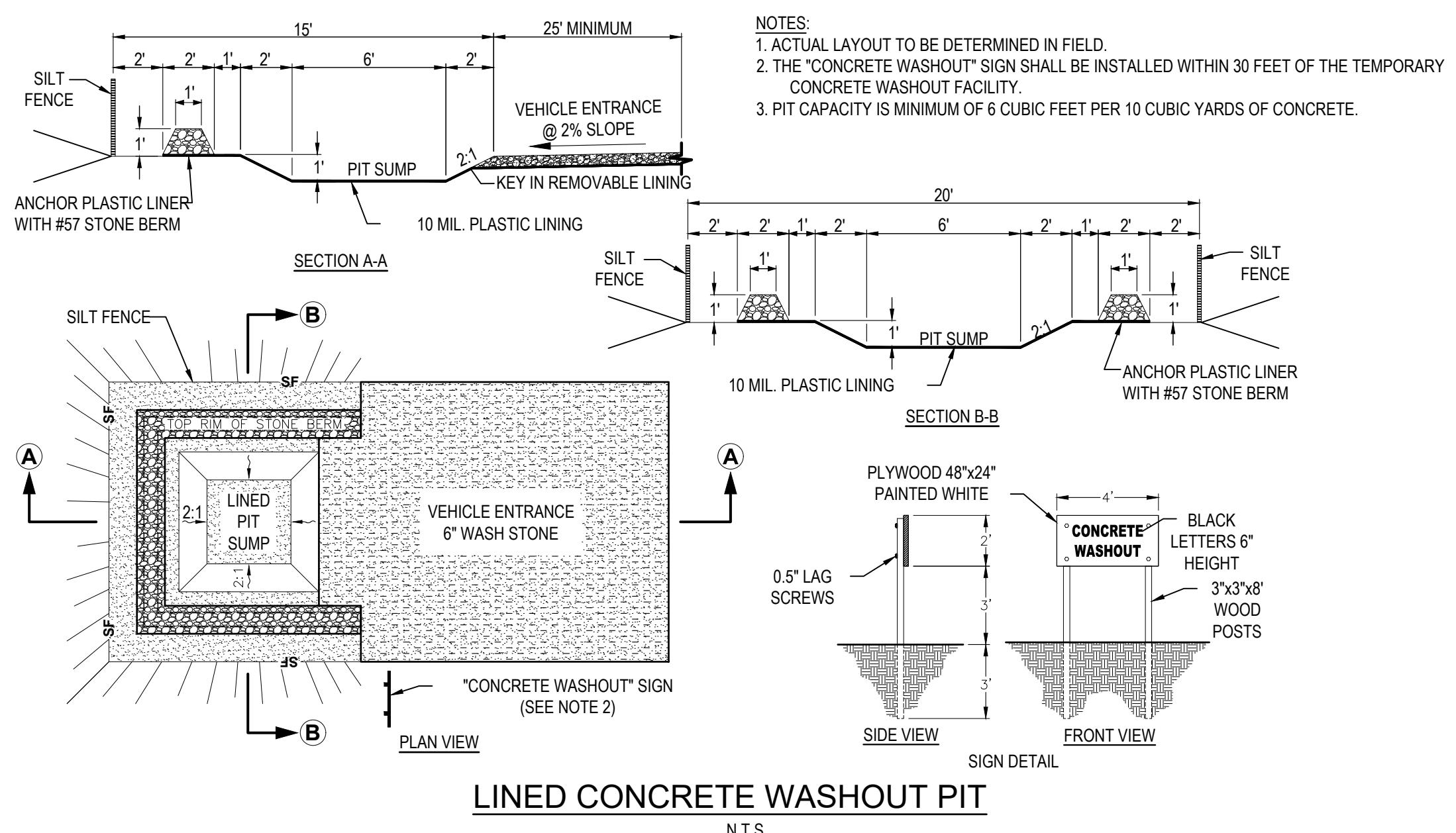
ISSUED FOR
Permitting

PROJECT TITLE
Phase 1 Retail
Development at King
Street Commons

PROJECT LOCATION
550 King Street, LLC
Littleton, MA 01460

DRAWING TITLE
Construction Details

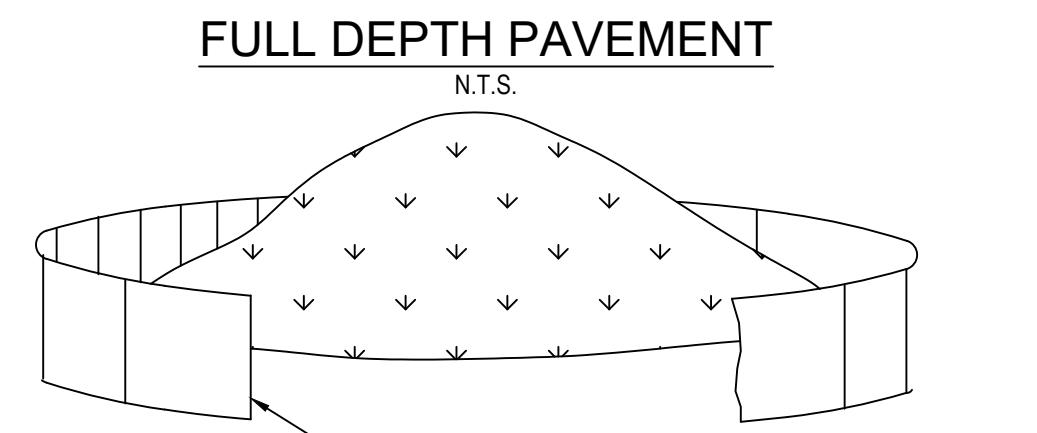
PROJECT NO.
T1180_DET
TEC CAD FILE
T1180_DET
DRAWING NO.
C-11
SHEET 11 OF 16



NOTES:
1. ENTRANCE WIDTH SHALL BE A TWENTY-FIVE (25) FOOT MINIMUM, BUT NOT LESS THAN THE FULL WIDTH AT POINTS WHERE INGRESS OR EGRESS OCCURS.
2. THE ENTRANCE SHALL BE MAINTAINED IN A CONDITION WHICH SHALL PREVENT TRACKING OR FLOWING OF SEDIMENT INTO PUBLIC RIGHTS-OF-WAY. THIS MAY REQUIRE PERIODIC TOP DRESSING WITH ADDITIONAL STONE AS CONDITIONS DEMAND AND REPAIR OR CLEANOUT OF ANY MEASURES USED TO TRAP SEDIMENT. ALL SEDIMENT SPILLED, DROPPED, WASHED OR TRACKED ONTO PUBLIC RIGHTS-OF-WAY MUST BE REMOVED IMMEDIATELY. BERM SHALL BE PERMITTED. PERIODIC INSPECTION AND MAINTENANCE SHALL BE PROVIDED AS NEEDED.
3. STABILIZED CONSTRUCTION EXIT SHALL BE REMOVED PRIOR TO FINAL FINISH MATERIALS BEING INSTALLED.

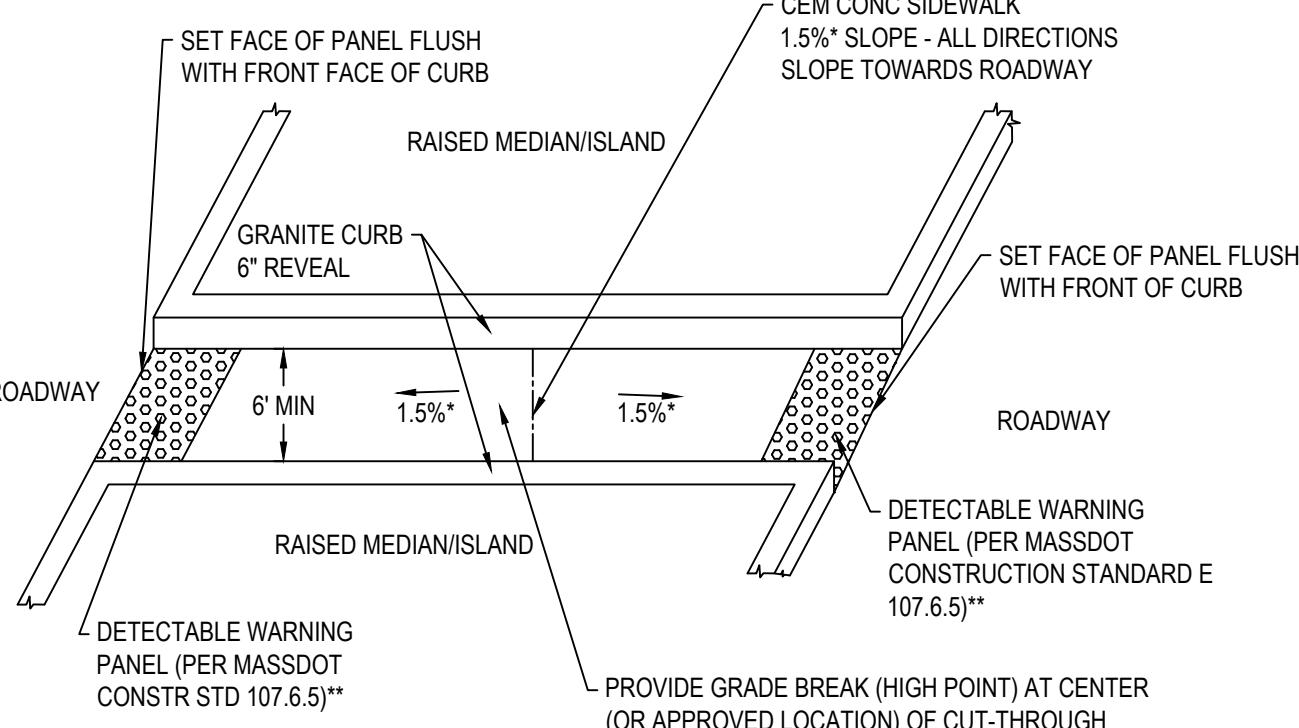
STABILIZED CONSTRUCTION EXIT

N.T.S.



NOTES:
SOIL STOCKPILES SHALL BE COVERED WITH ANCHORED TARPS AND THE END OF EACH WORK DAY.

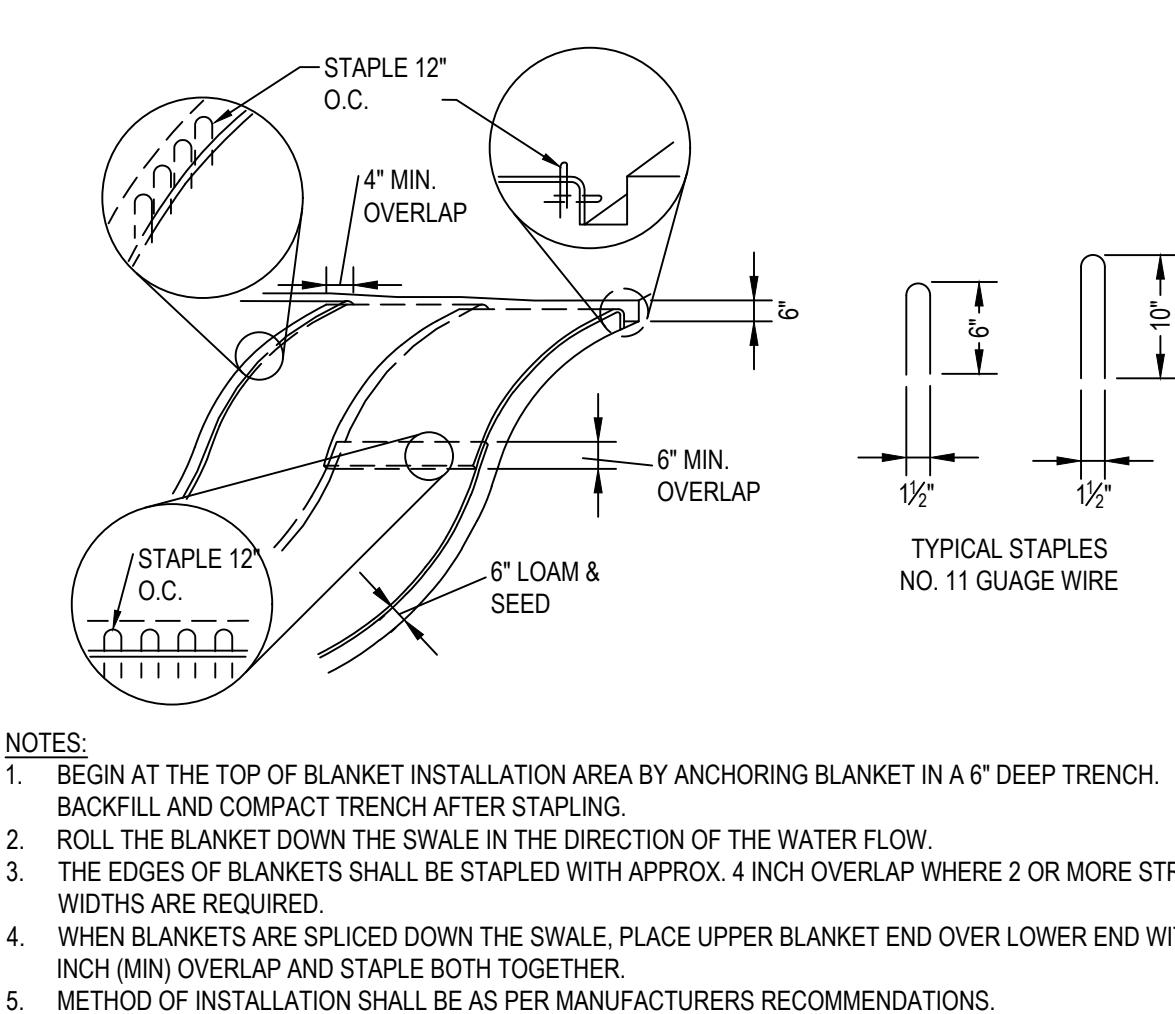
N.T.S.



NOTES:
1. ALL SLOPES ARE MAXIMUMS, TOLERANCE FOR CONSTRUCTION $\pm 0.5\%$ *
2. DETECTABLE WARNING PANELS TO BE PLACED WHEN MEDIAN OPENING IS 6' OR GREATER IN WIDTH.**
3. CROSS SLOPE TO MATCH ROADWAY SLOPE

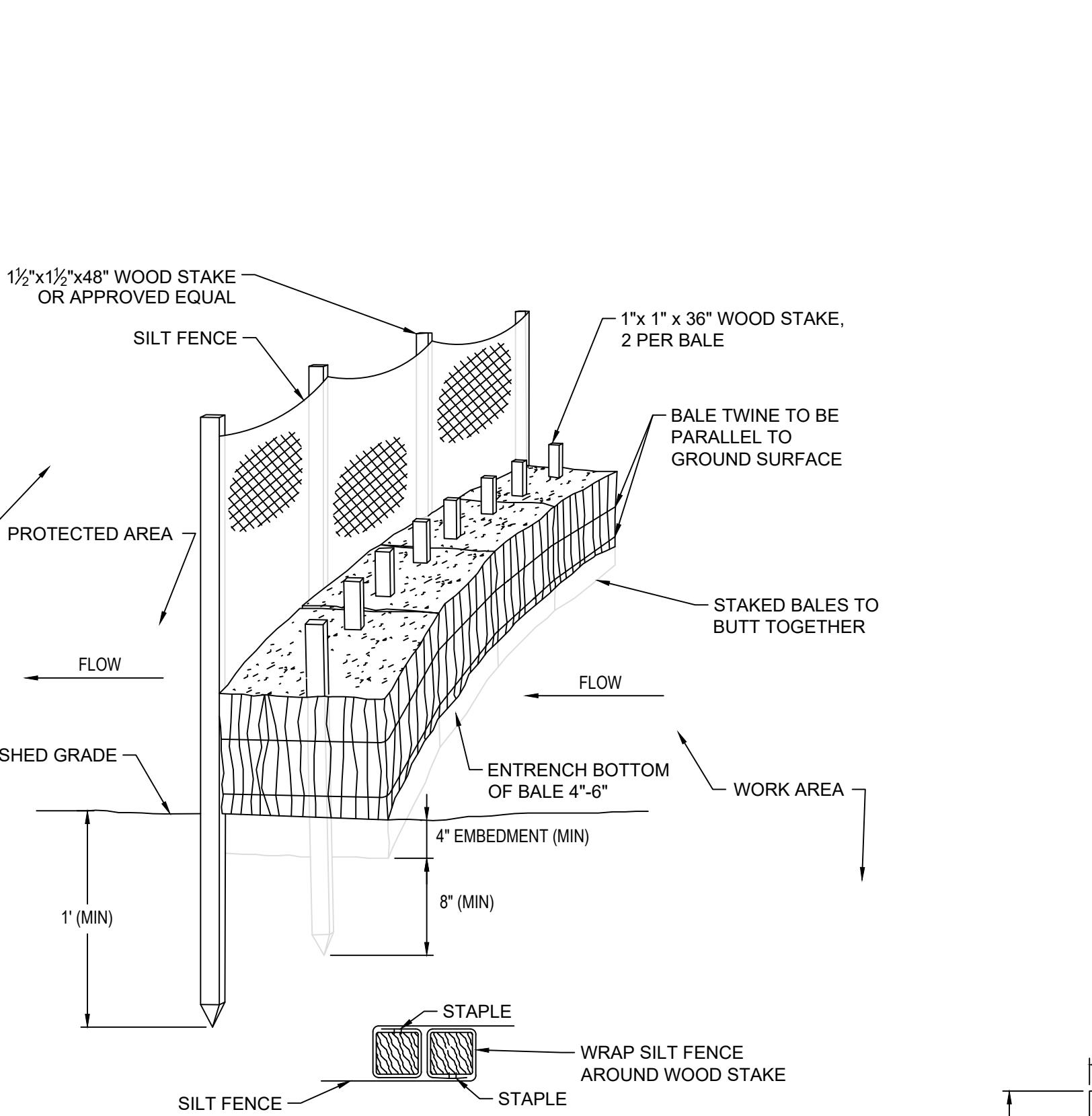
MEDIAN CUT-THROUGH

N.T.S.



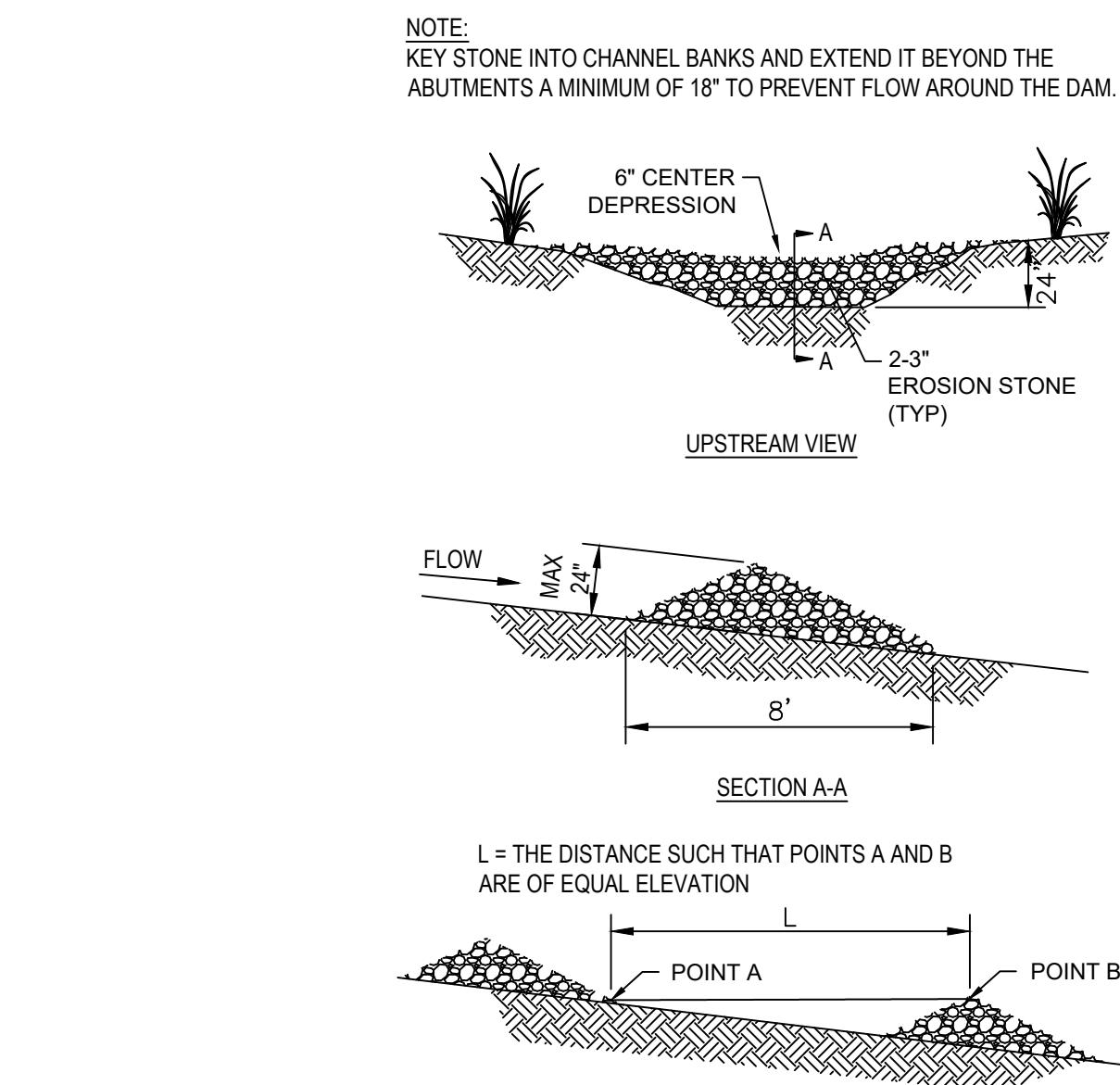
PERIMETER EROSION CONTROL

N.T.S.



DECIDUOUS TREE PLANTING

N.T.S.



NOTES:
KEY STONE INTO CHANNEL BANKS AND EXTEND IT BEYOND THE ABUTMENTS A MINIMUM OF 18' TO PREVENT FLOW AROUND THE DAM.

UPSTREAM VIEW

SECTION A-A

L = THE DISTANCE SUCH THAT POINTS A AND B ARE OF EQUAL ELEVATION

POINT A

POINT B

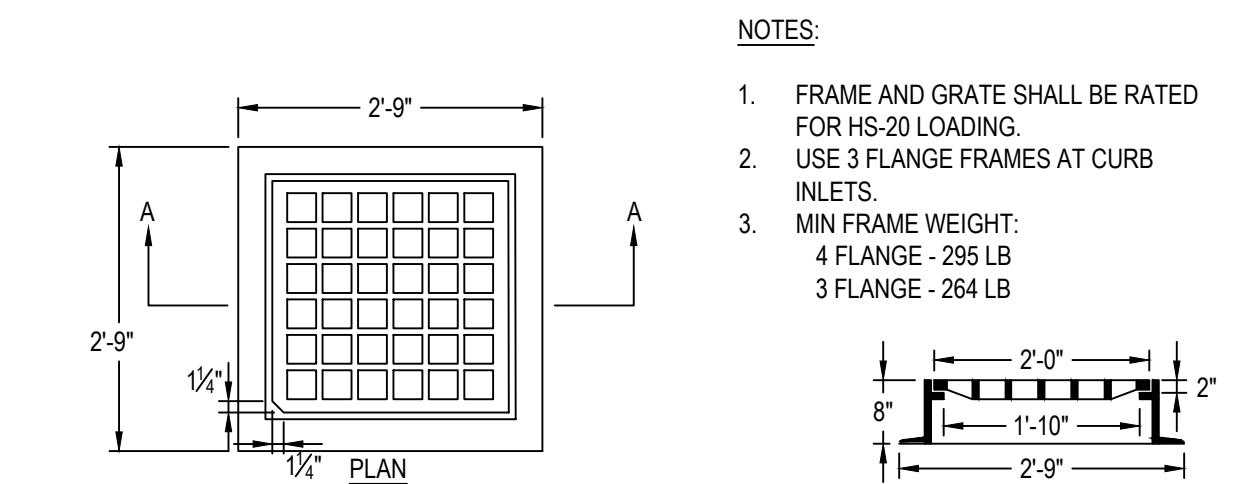
CHECK DAM SPACING

N.T.S.

NOTES:
1. FILTER CLOTH SHALL BE FASTENED SECURELY TO POSTS WITH STAPLES. POSTS SHALL BE SPACED 8'-10' ON CENTER.
2. WHEN TWO SECTIONS OF FILTER CLOTH ADJOIN EACH OTHER THEY SHALL BE OVERLAPPED BY SIX INCHES AND FOLDED.
3. ENTRENCH SILT FENCE BUT NOT STRAW BALES.
4. INSPECTIONS SHALL BE FREQUENT AND REPAIR OR REPLACEMENT SHALL BE MADE PROMPTLY AS NEEDED, OR WHEN SEDIMENT ACCUMULATES TO HALF THE HEIGHT OF FENCING.
5. EACH BALE SHALL BE AT LEAST 14 INCHES WIDE, 18 INCHES HIGH, AND 30 INCHES LONG, WITH MINIMUM MASS OF 50 LB.
6. STEEL WIRE, NYLON, OR POLYPROPYLENE STRING SHALL BE USED TO BIND THE BALES.
7. CONFIGURE BALES AROUND EXISTING FEATURES TO MINIMIZE SITE DISTURBANCE AND MAXIMIZE CAPTURE AREA OF STORMWATER RUN-OFF. STRAW BALES SHALL BE PLACED PERPENDICULARLY TO STORMWATER FLOW WHERE POSSIBLE.
8. PLACE BALES TO ENSURE GOOD CONTACT WITH GROUND SURFACE.
9. UPON COMPLETION OF PROJECT, ALL EROSION CONTROL DEVICES SHALL BE REMOVED FROM PROJECT LIMITS.

PERIMETER EROSION CONTROL

N.T.S.



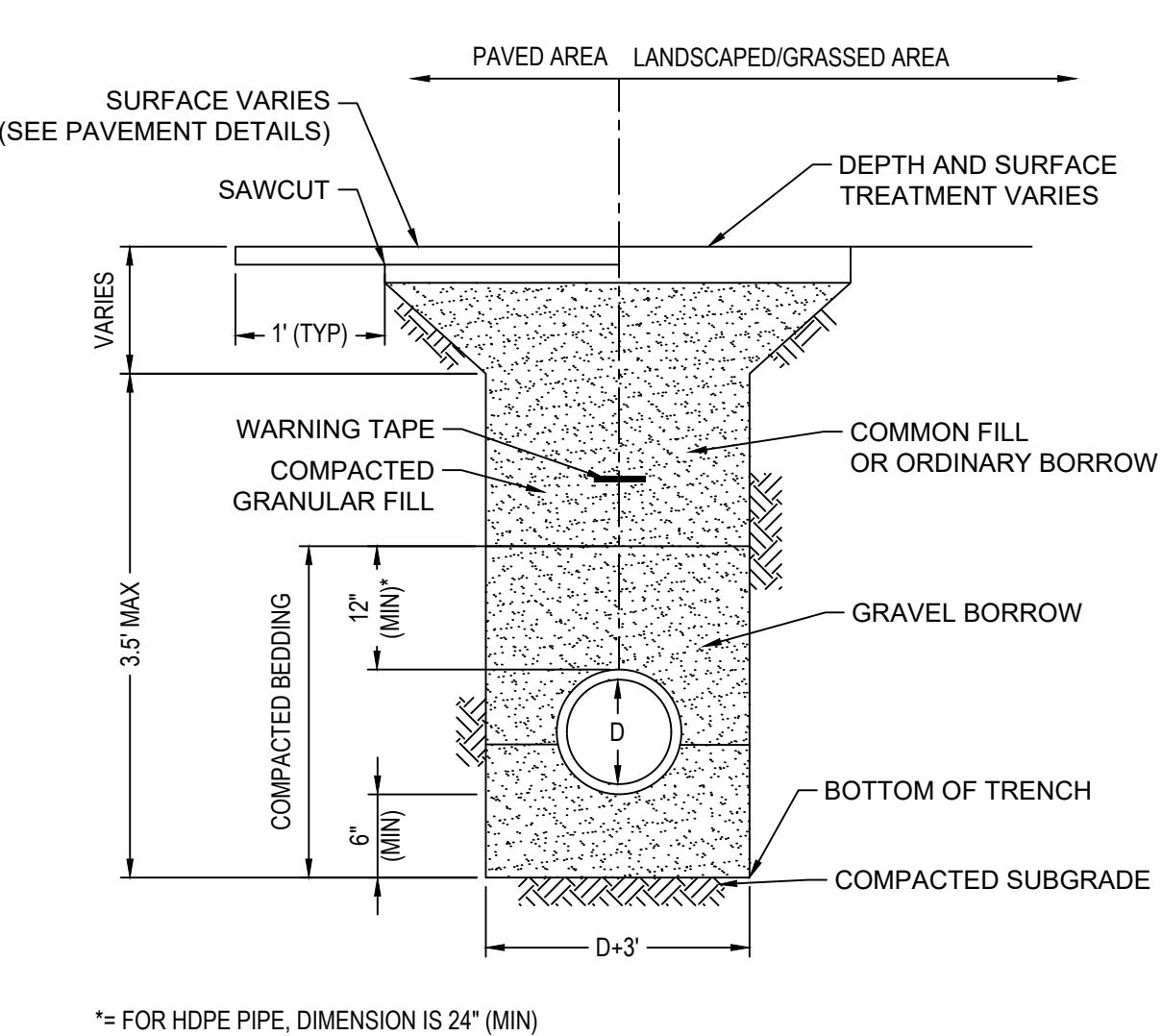
CATCH BASIN FRAME AND GRATE

N.T.S.

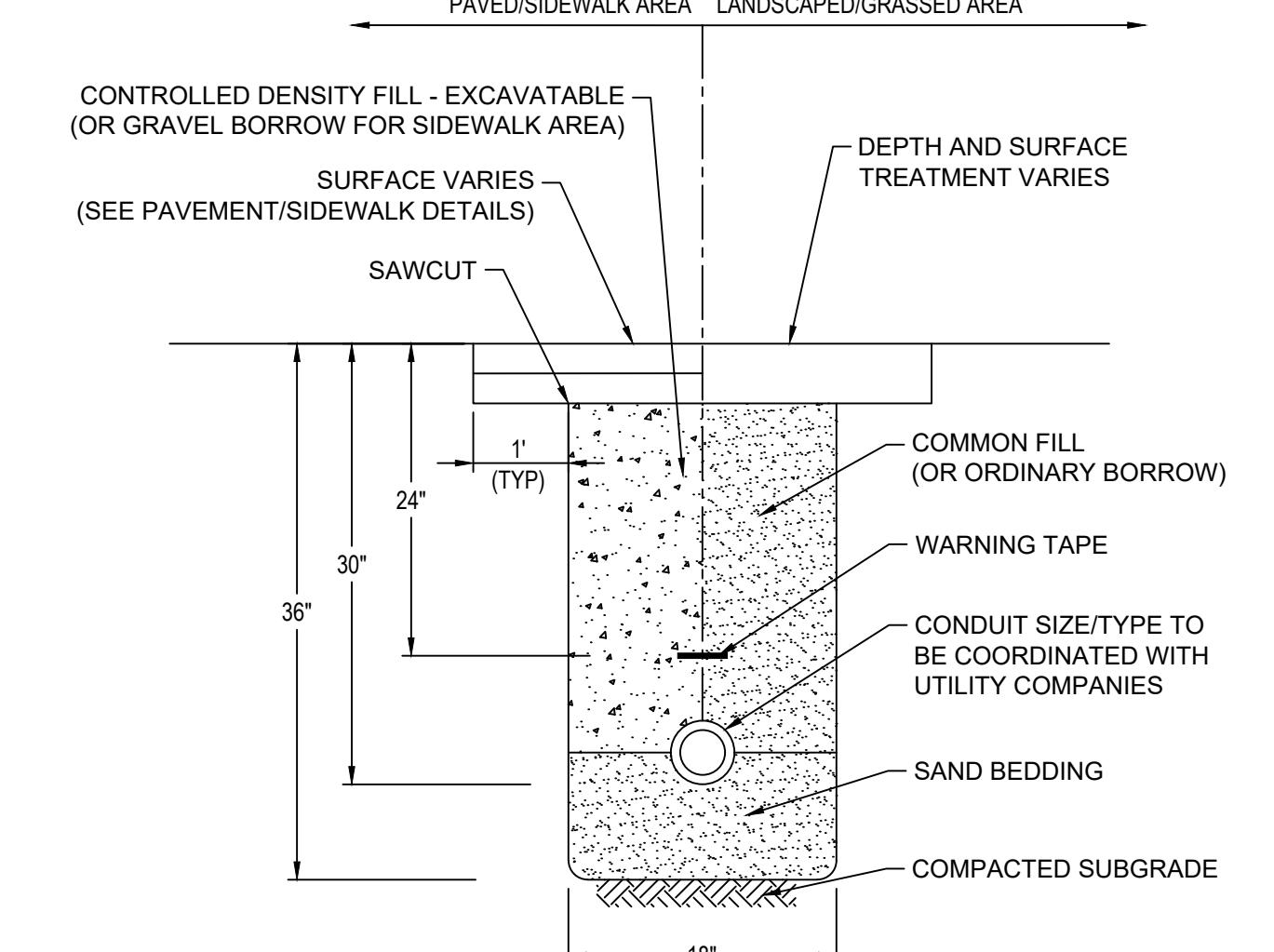
NOTES:
1. INSTALL SILTSACK IN ALL DOWNGRADIENT EXISTING CATCH BASINS BEFORE COMMENCING WORK, AND IN NEW CATCH BASINS IMMEDIATELY AFTER INSTALLATION OF STRUCTURE. MAINTAIN UNTIL BINDER COURSE PAVING IS COMPLETE OR A PERMANENT STAND OF GRASS HAS BEEN ESTABLISHED.
2. GRATE TO BE PLACED OVER SILTSACK. SILTSACK SHALL BE INSPECTED PERIODICALLY AND AFTER ALL STORM EVENTS AND CLEAVERING OR REPLACEMENT SHALL BE PERFORMED PROMPTLY AS NEEDED.

CATCH BASIN INLET PROTECTION

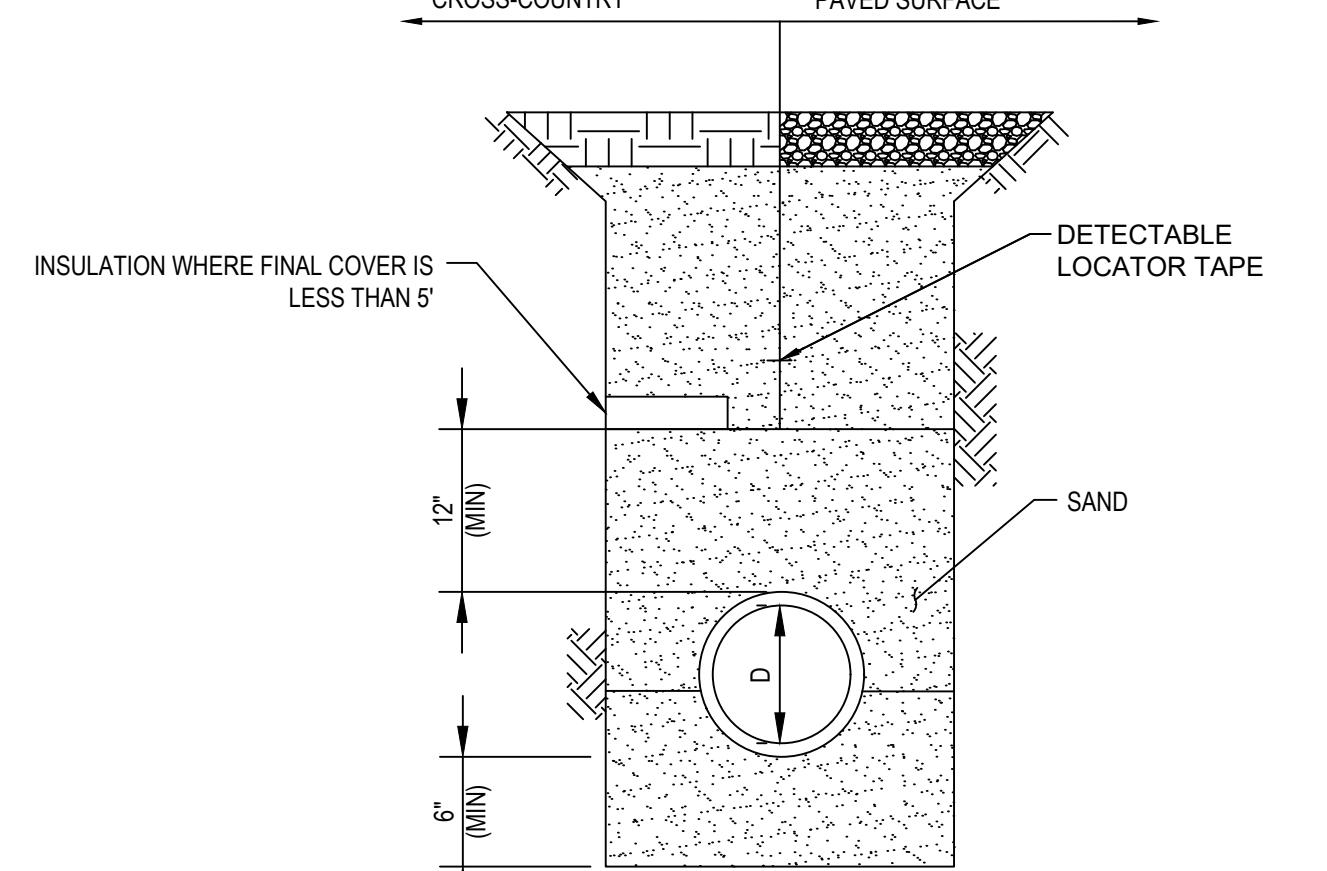
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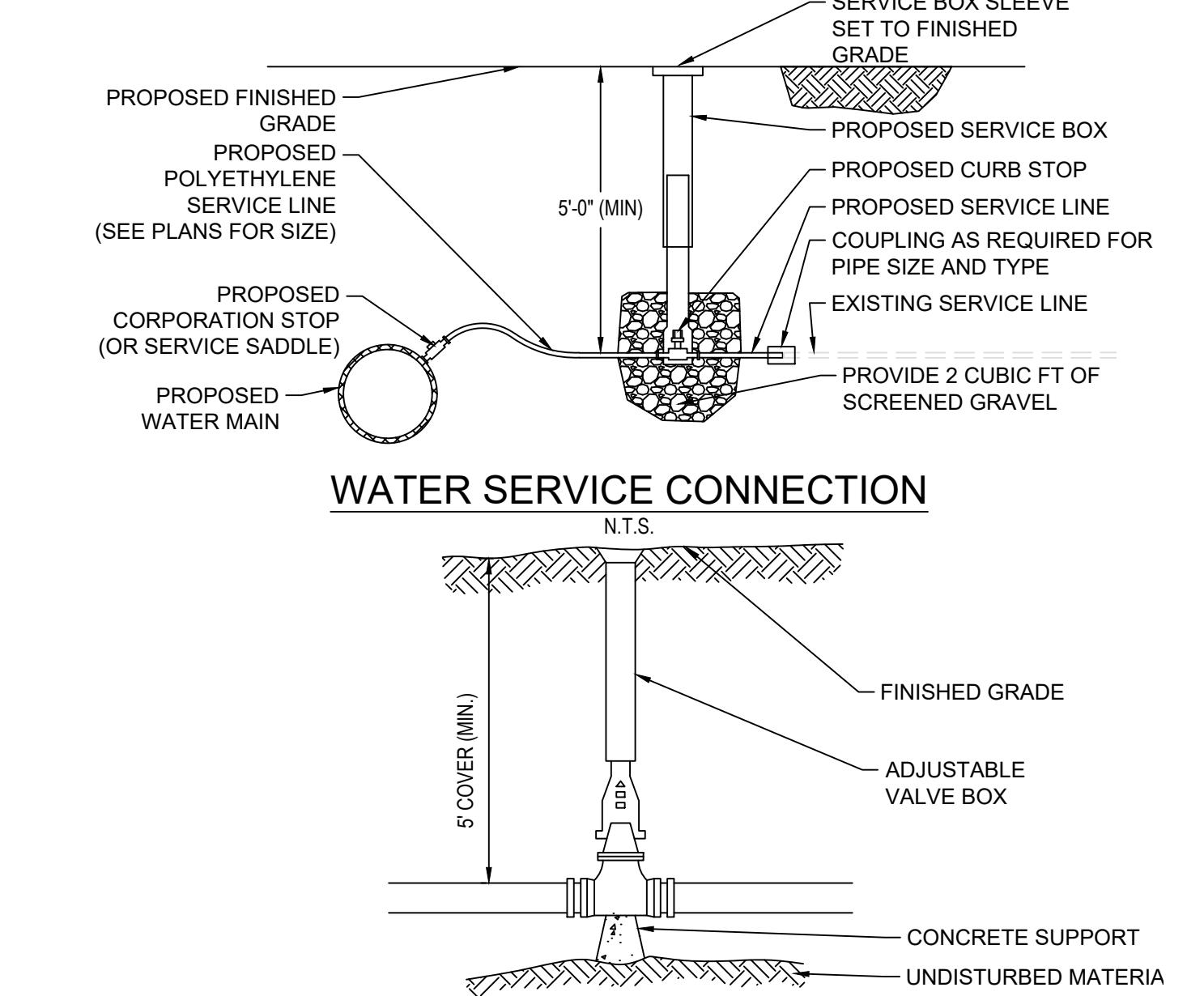
UTILITY TRENCH
N.T.S.



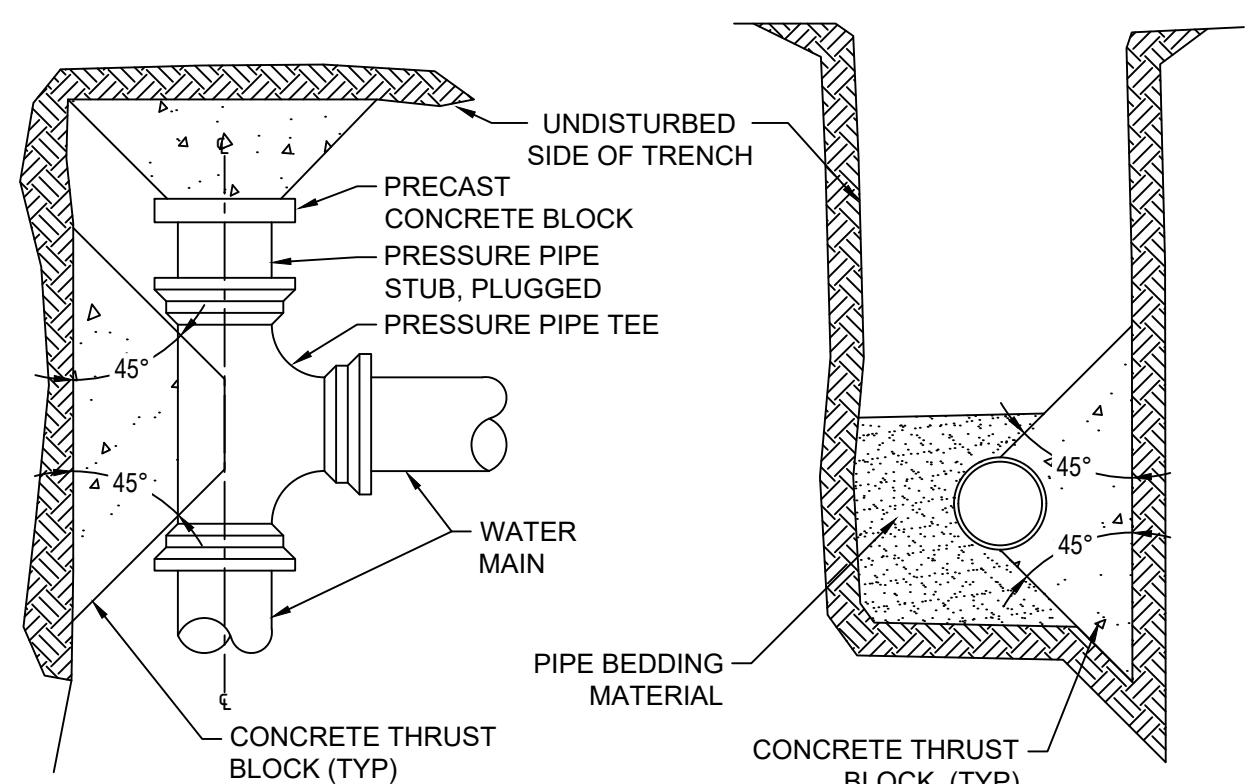
CONDUIT TRENCH
N.T.S.



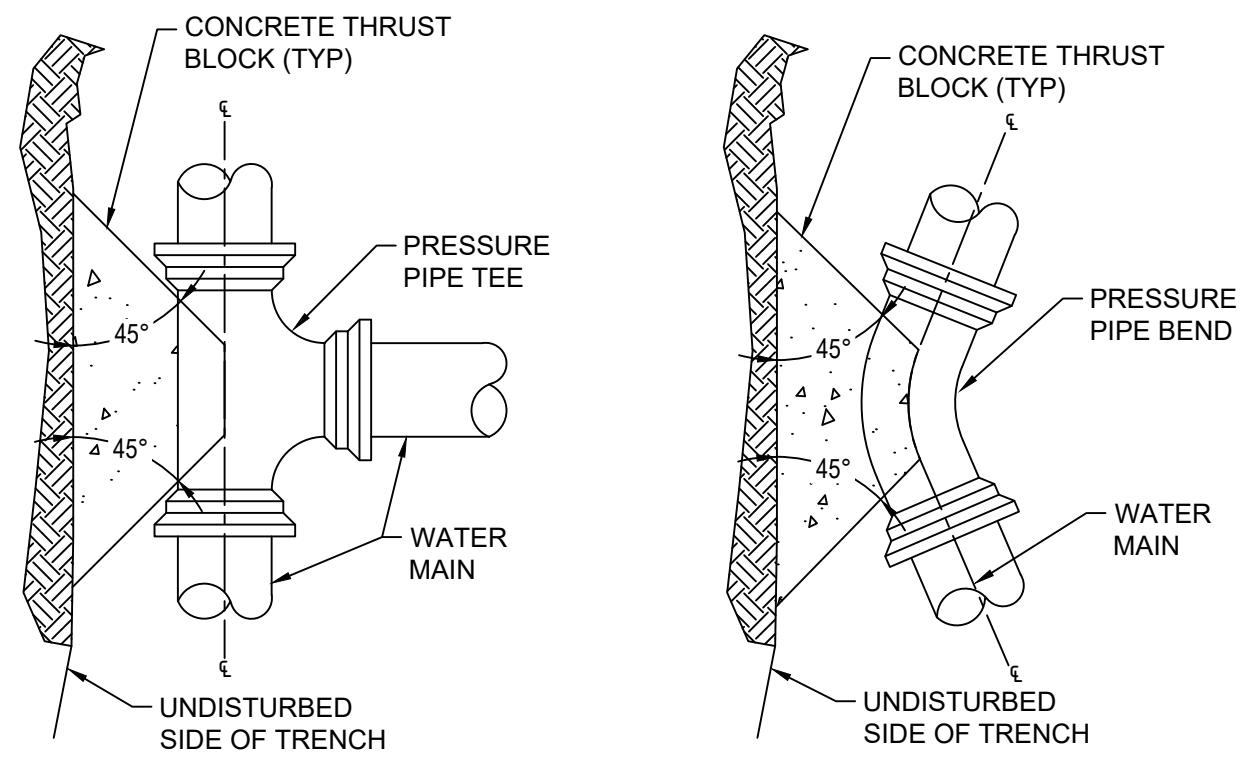
WATERLINE TRENCH
N.T.S.



WATER GATE VALVE
N.T.S.



PLAN AT TEE W/ STUB FOR
FUTURE USE



PLAN AT BEND

MINIMUM THRUST BLOCK BEARING AREAS (SQ FT)			
PIPE Ø	90° BEND	45° BEND	22.5° BEND
4", 6", or 8"	6.0	2.9	2.3
10"	9.6	5.2	2.3
12"	13.3	6.7	3.7

MINIMUM THRUST BLOCK BEARING AREAS (SQ FT)			
PIPE Ø	90° BEND	45° BEND	22.5° BEND
4", 6", or 8"	6.0	2.9	2.3
10"	9.6	5.2	2.3
12"	13.3	6.7	3.7

MINIMUM PIPE RESTRAINT LENGTH (IN FEET)*			
PIPE Ø	90° BEND	45° BEND	22.5° BEND
8"	21.0	9.0	4.0
10"	26.0	11.0	5.0
12"	33.0	14.0	6.0

MINIMUM PIPE RESTRAINT LENGTH (IN FEET)*			
PIPE Ø	90° BEND	45° BEND	22.5° BEND
8"	21.0	9.0	4.0
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12"	33.0	14.0	6.0

MINIMUM PIPE RESTRAINT LENGTH (IN FEET)*</
--

DESIGNED BY	MWC
DRAWN BY	SSB
CHECKED BY	AFS
DATE	11/26/2025
SCALE	AS NOTED

PREPARED FOR
Lupoli Companies
 290 Merrimack Street
 Lawrence, MA 01840

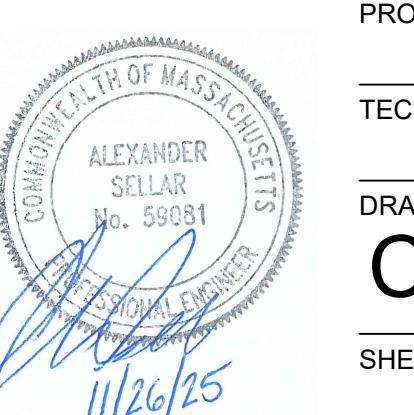
REVISIONS

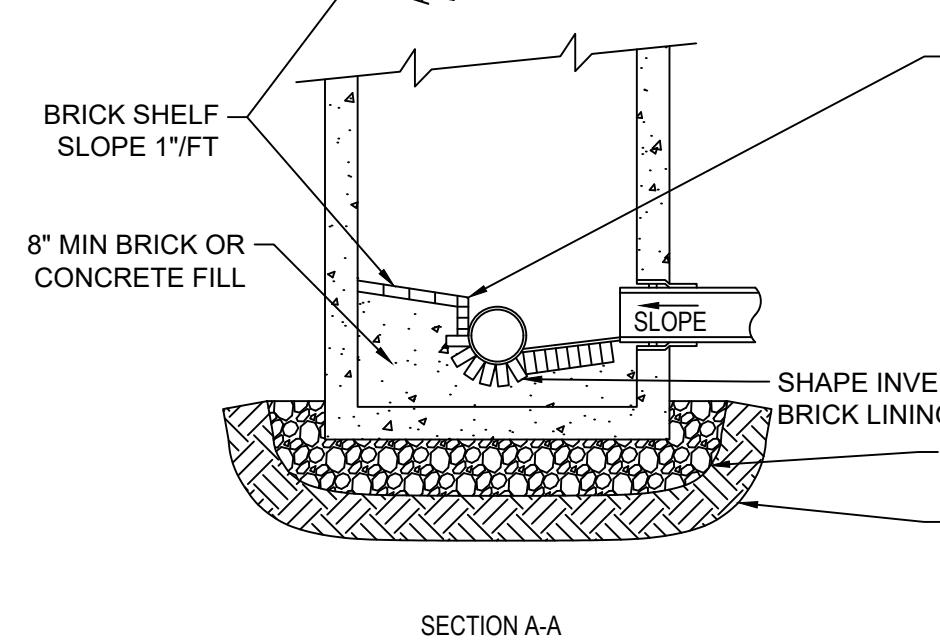
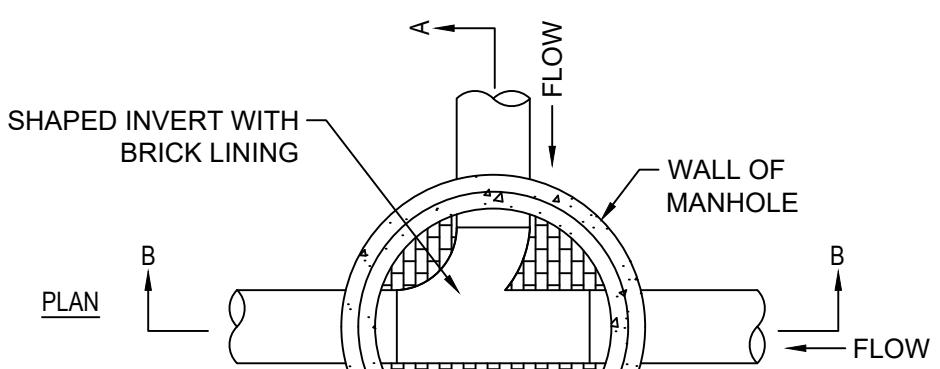
ISSUED FOR
Permitting

PROJECT TITLE
Phase 1 Retail
Development at King
Street Commons

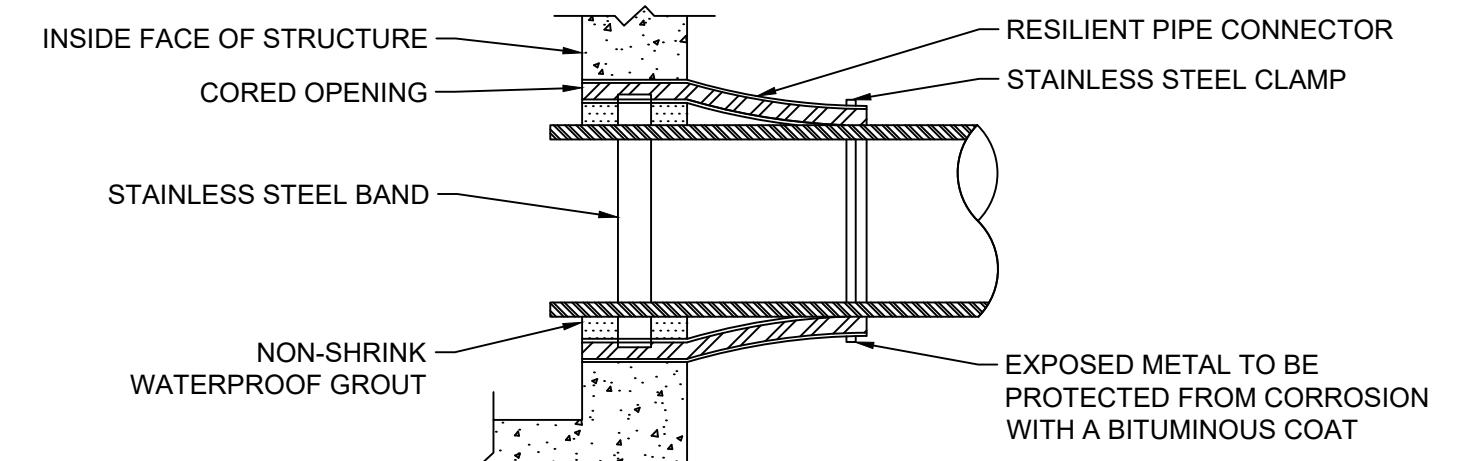
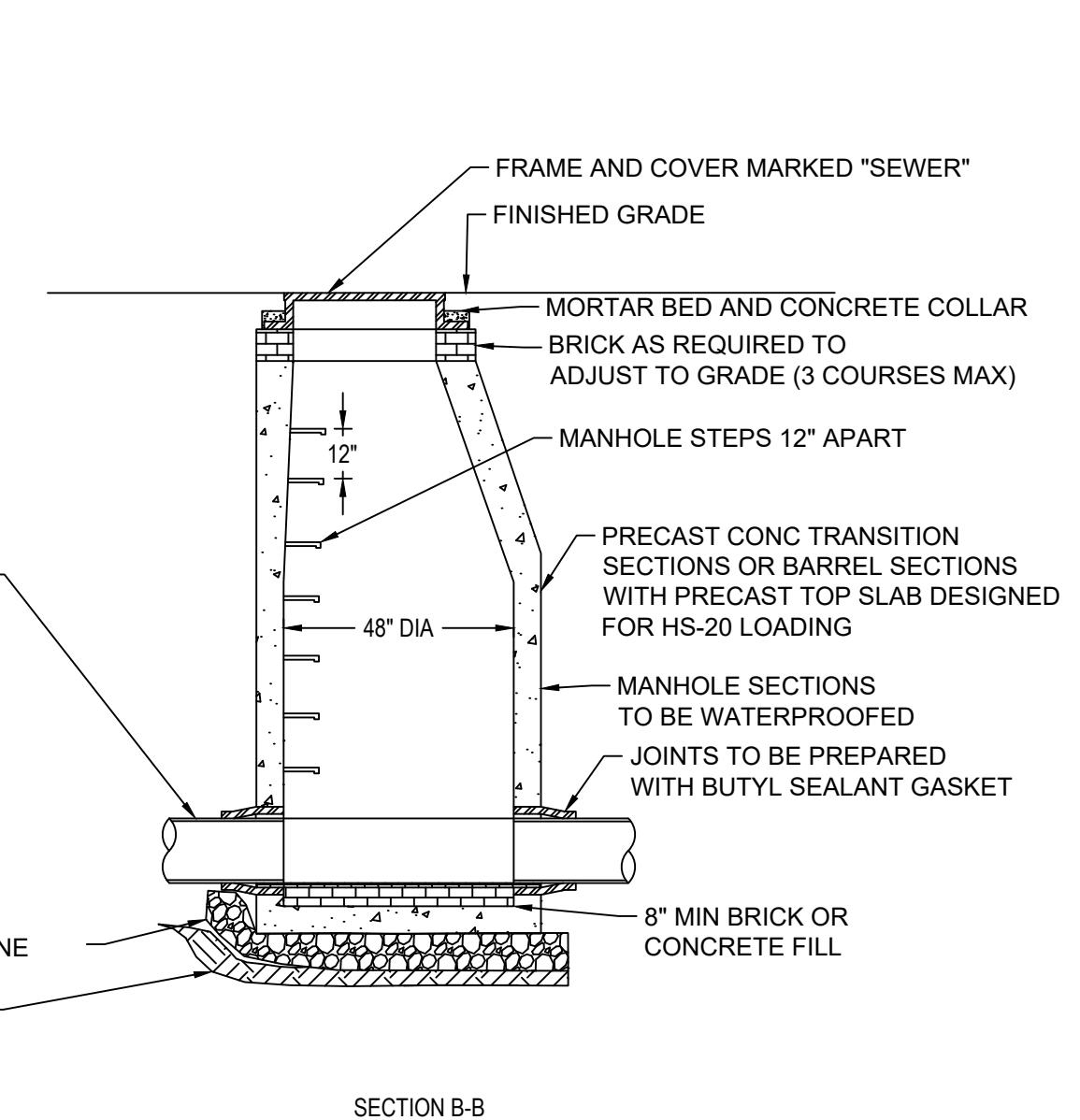
PROJECT LOCATION
550 King Street, LLC
Littleton, MA 01460

DRAWING TITLE
Construction Details

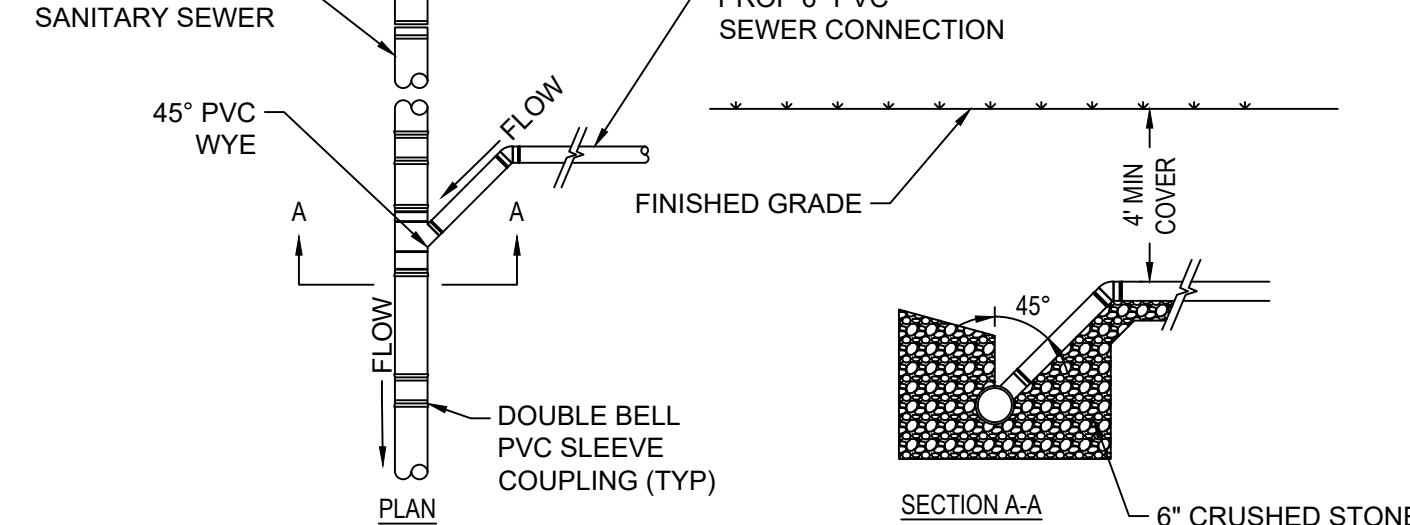
PROJECT NO.
 T1180
 TEC CAD FILE
 T1180_DET
 DRAWING NO.
 C-13
 SHEET 13 OF 16

 11/26/25



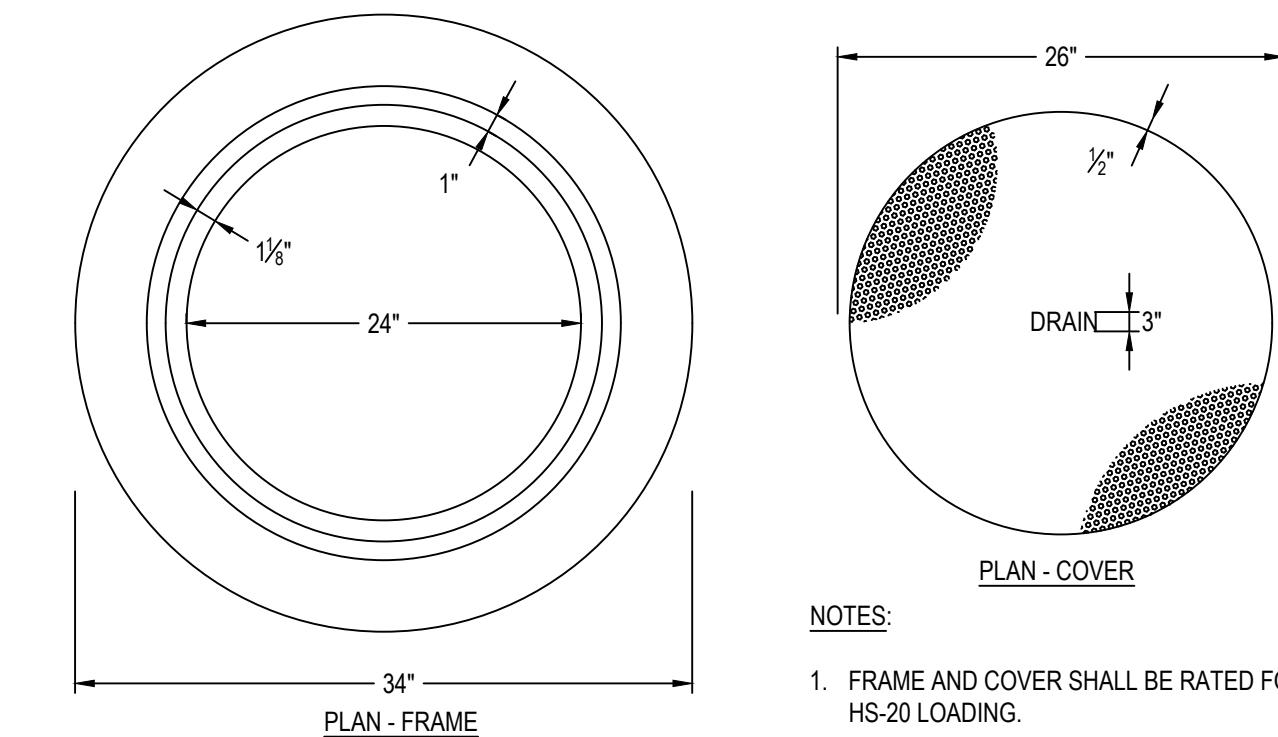
SEWER MANHOLE
N.T.S.



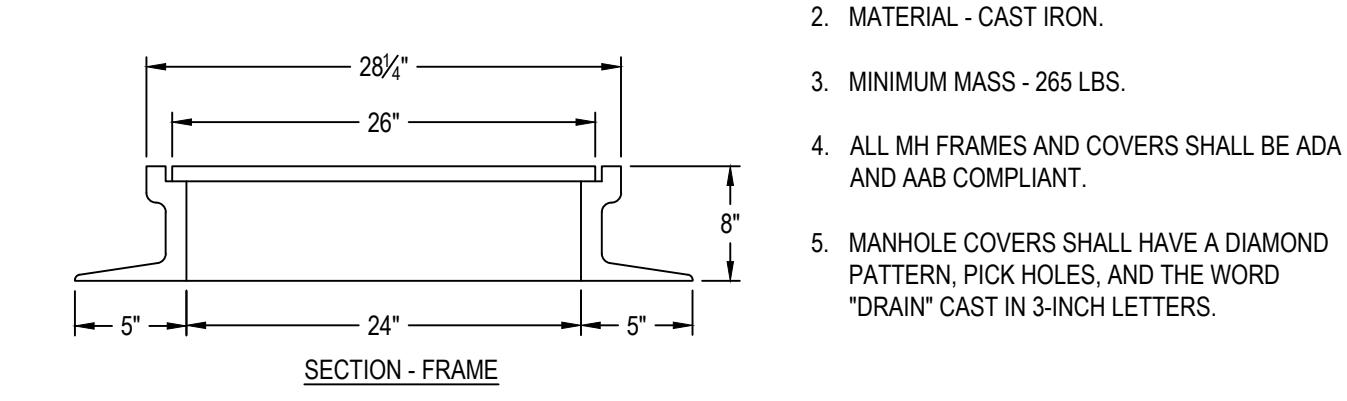
SEWER PIPE CONNECTION



TYPICAL SEWER SERVICE CONNECTION
N.T.S.

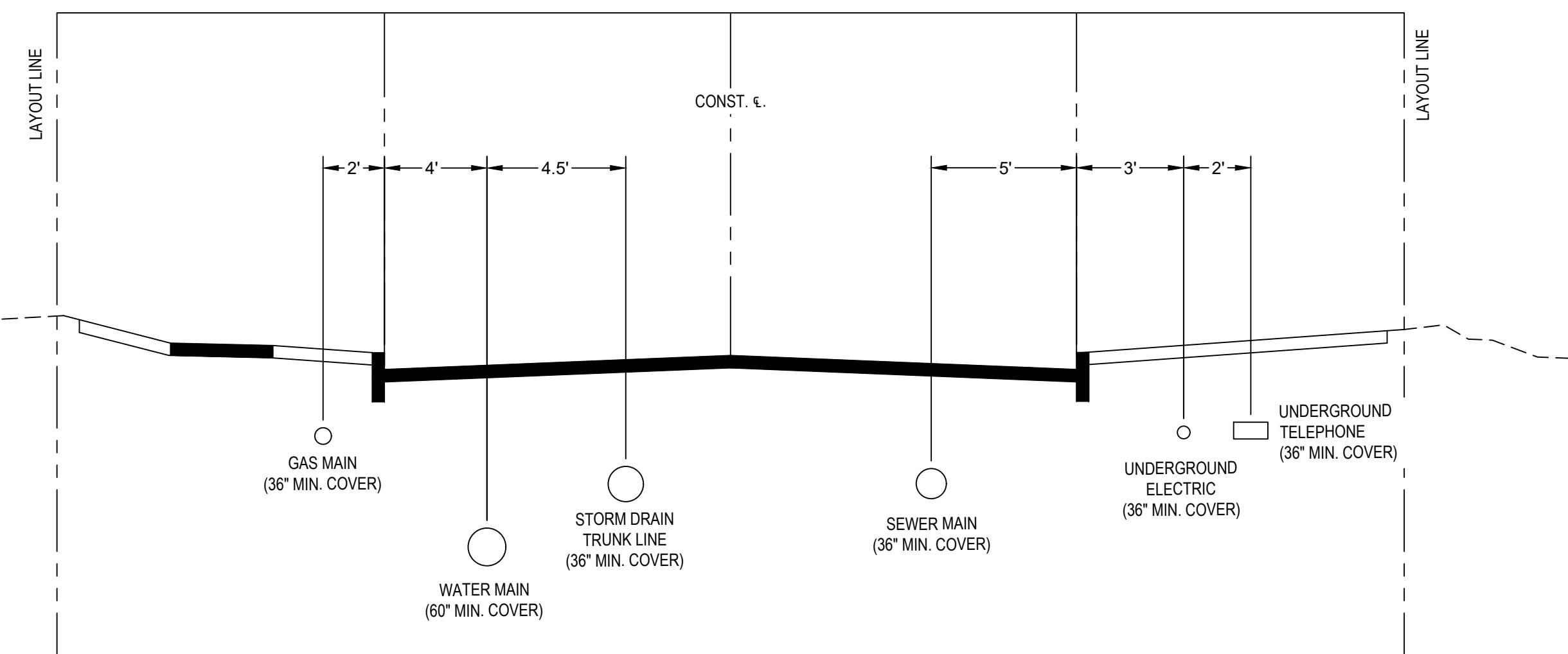


PLAN - COVER



MANHOLE FRAME AND COVER
N.T.S.

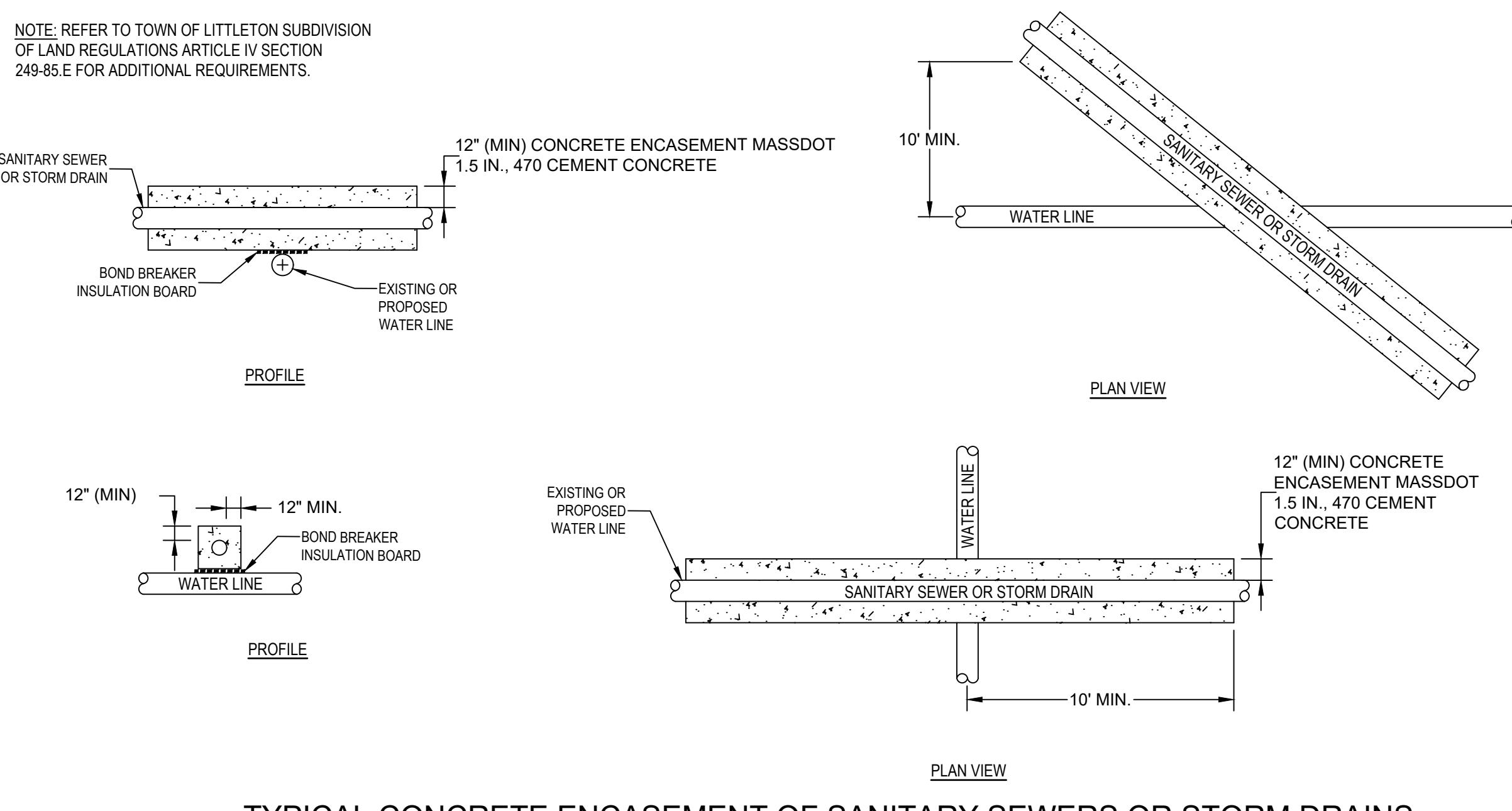
PREPARED FOR
Lupoli Companies
 290 Merrimack Street
 Lawrence, MA 01840



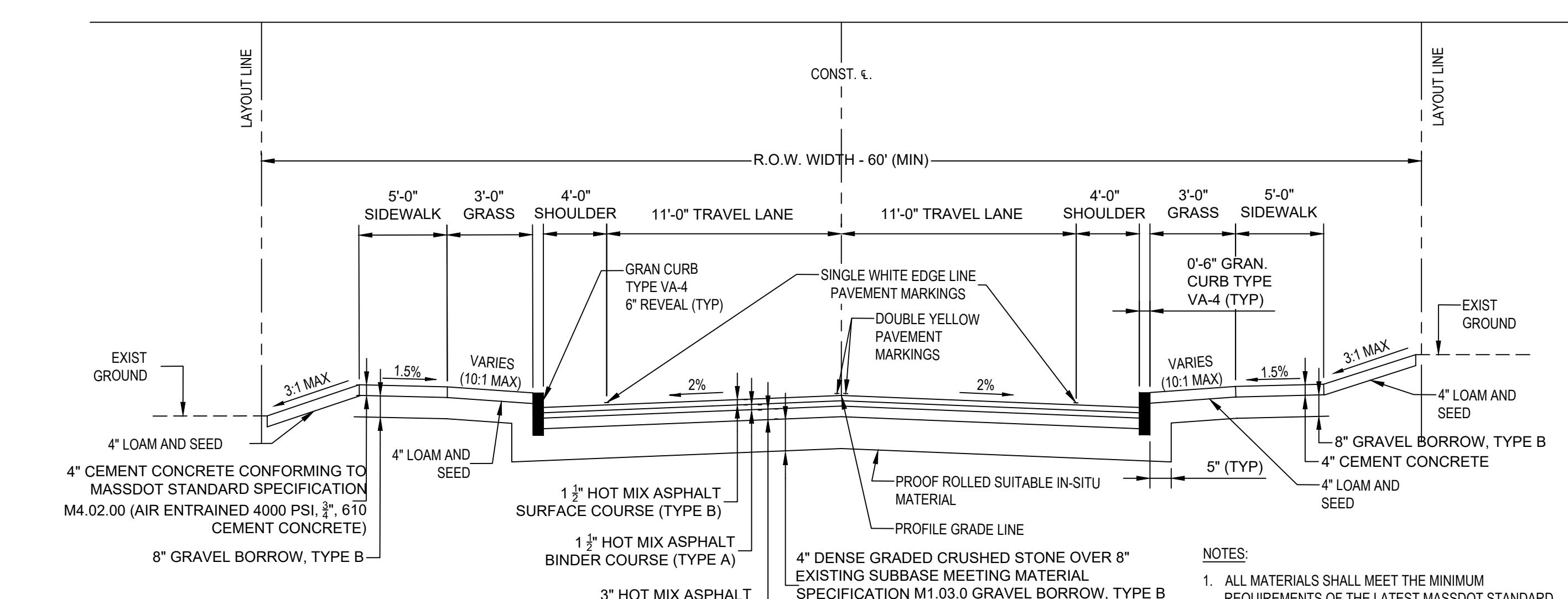
NOTES:
 1. ALL MATERIALS SHALL MEET THE MINIMUM REQUIREMENTS OF THE LATEST MASSDOT STANDARD SPECIFICATIONS FOR HIGHWAYS AND BRIDGES AMENDED.

ROADWAY UTILITIES - TYPICAL SECTION
N.T.S.

NOTE: REFER TO TOWN OF LITTLETON SUBDIVISION OF LAND REGULATIONS ARTICLE IV SECTION 249-85.E FOR ADDITIONAL REQUIREMENTS.



TYPICAL CONCRETE ENCASEMENT OF SANITARY SEWERS OR STORM DRAINS



COLLECTOR ROAD TYPICAL SECTION

NOTES:
 1. ALL MATERIALS SHALL MEET THE MINIMUM REQUIREMENTS OF THE LATEST MASSDOT STANDARD SPECIFICATIONS FOR HIGHWAYS AND BRIDGES AS AMENDED.
 2. TOLERANCE FOR CONSTRUCTION = $\pm 0.5\%$.
 3. MAXIMUM GRADE SHALL BE 8%.

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PREPARED FOR
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REVISIONS

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Permitting

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Street Commons

PROJECT LOCATION
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Littleton, MA 01460

DRAWING TITLE
Construction Details

PROJECT NO.
T1180

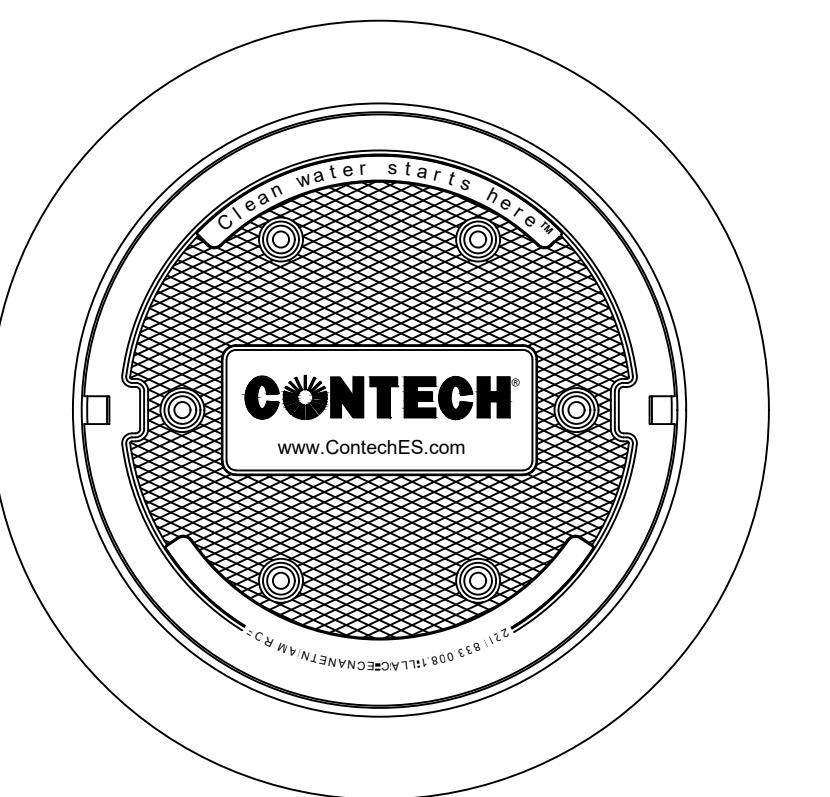
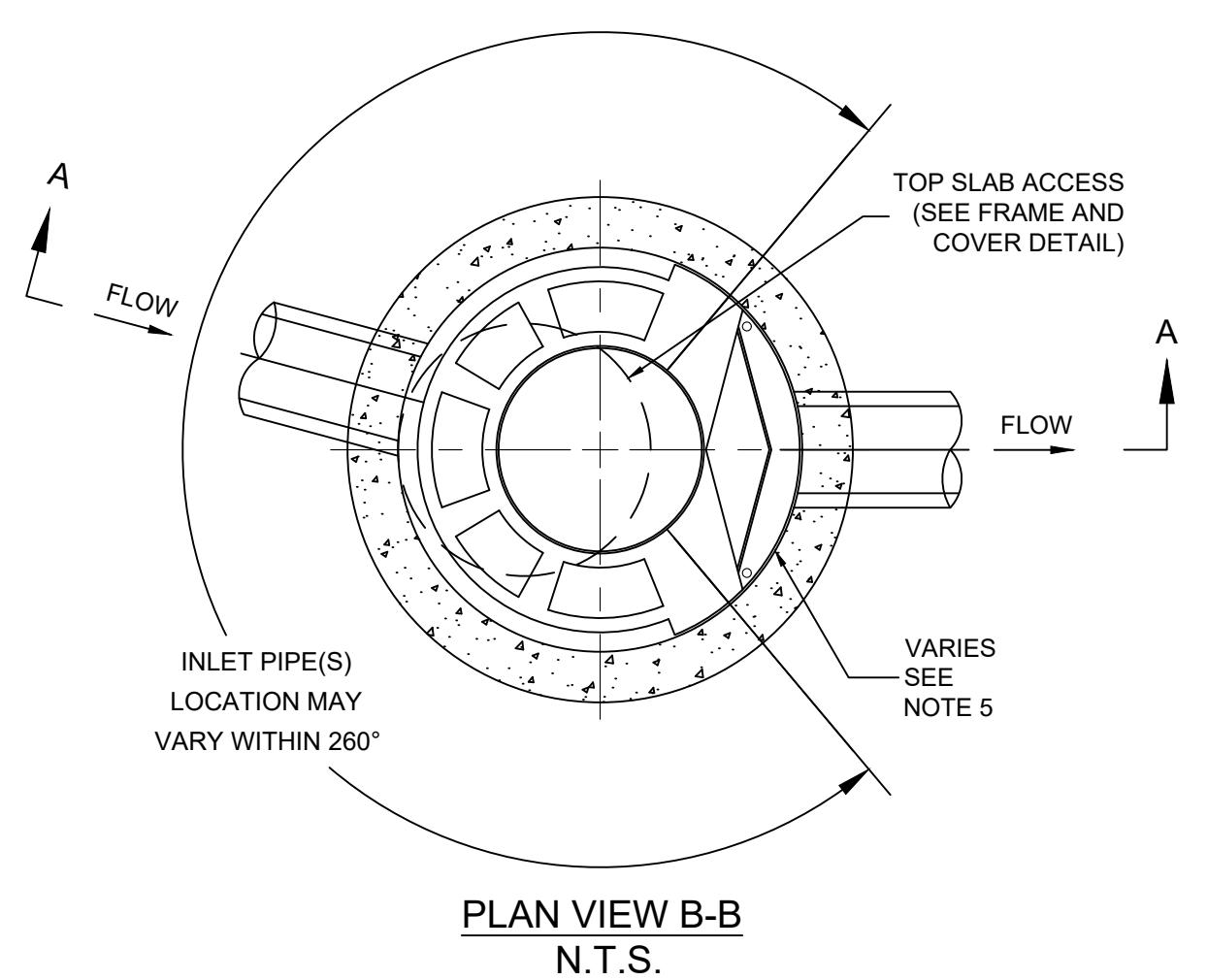
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T1180_DET

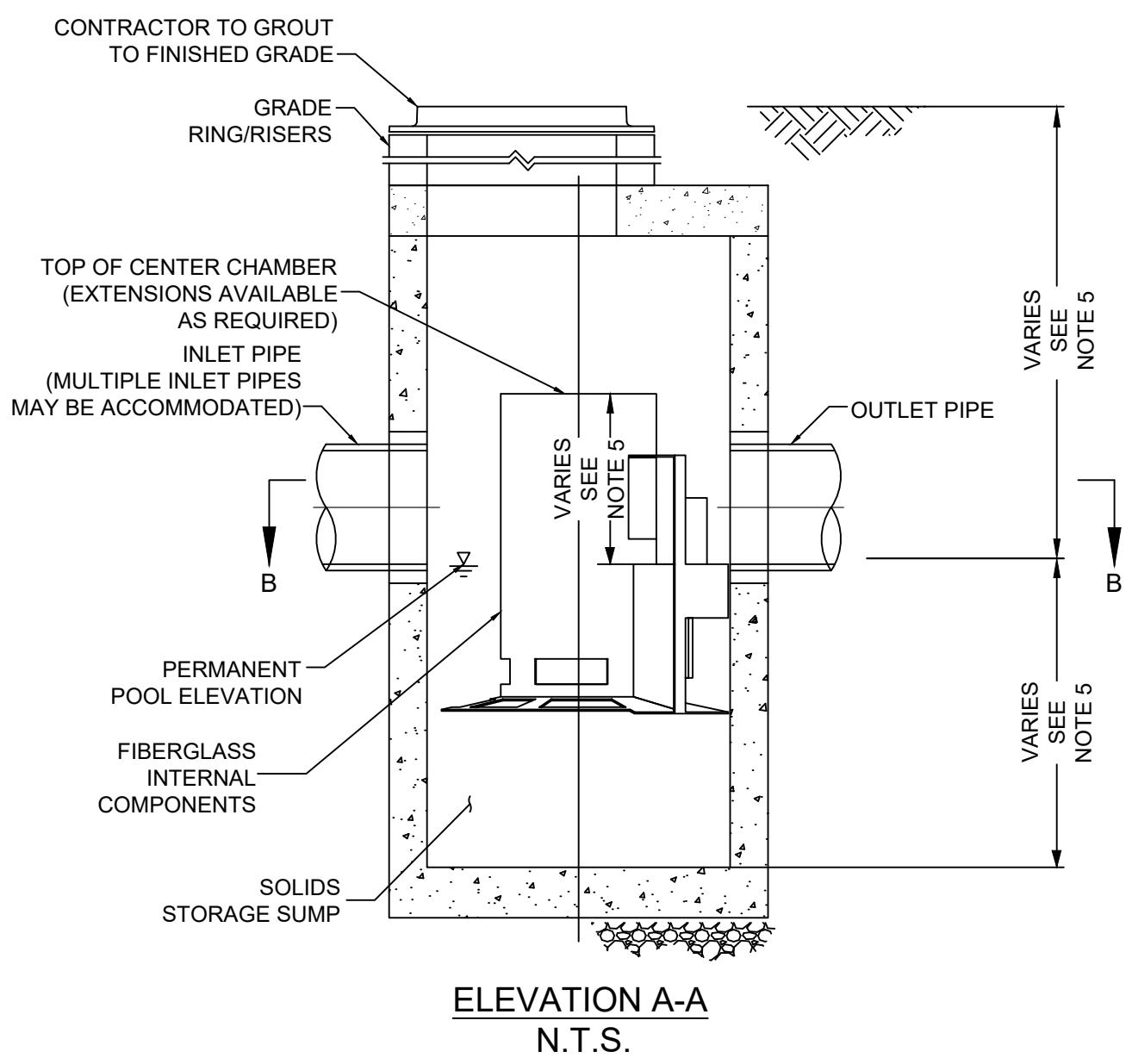
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C-16

SHEET 16 OF 16



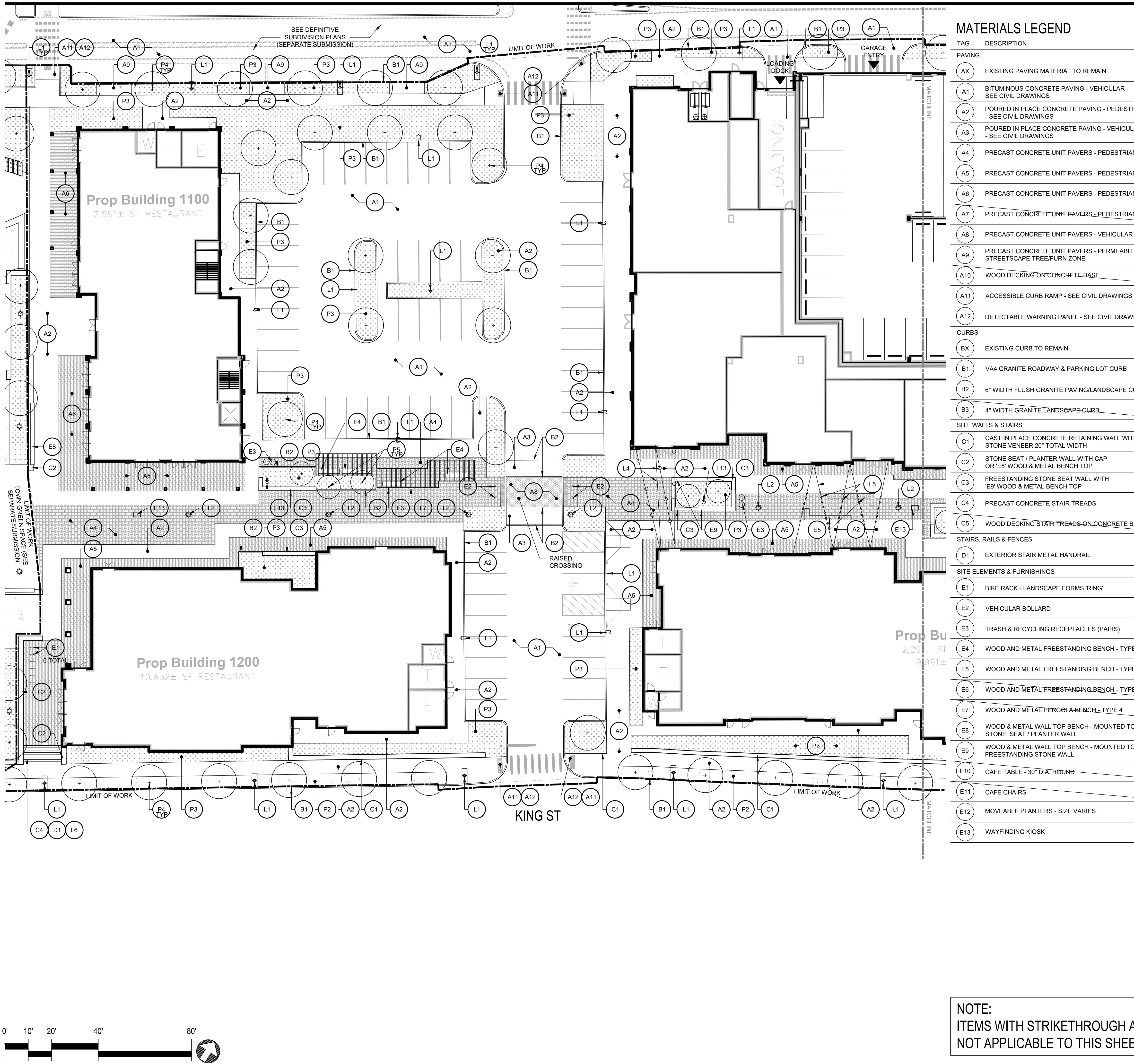
FRAME AND COVER
(DIAMETER VARIES)
N.T.S.



WATER QUALITY UNIT
N.T.S.

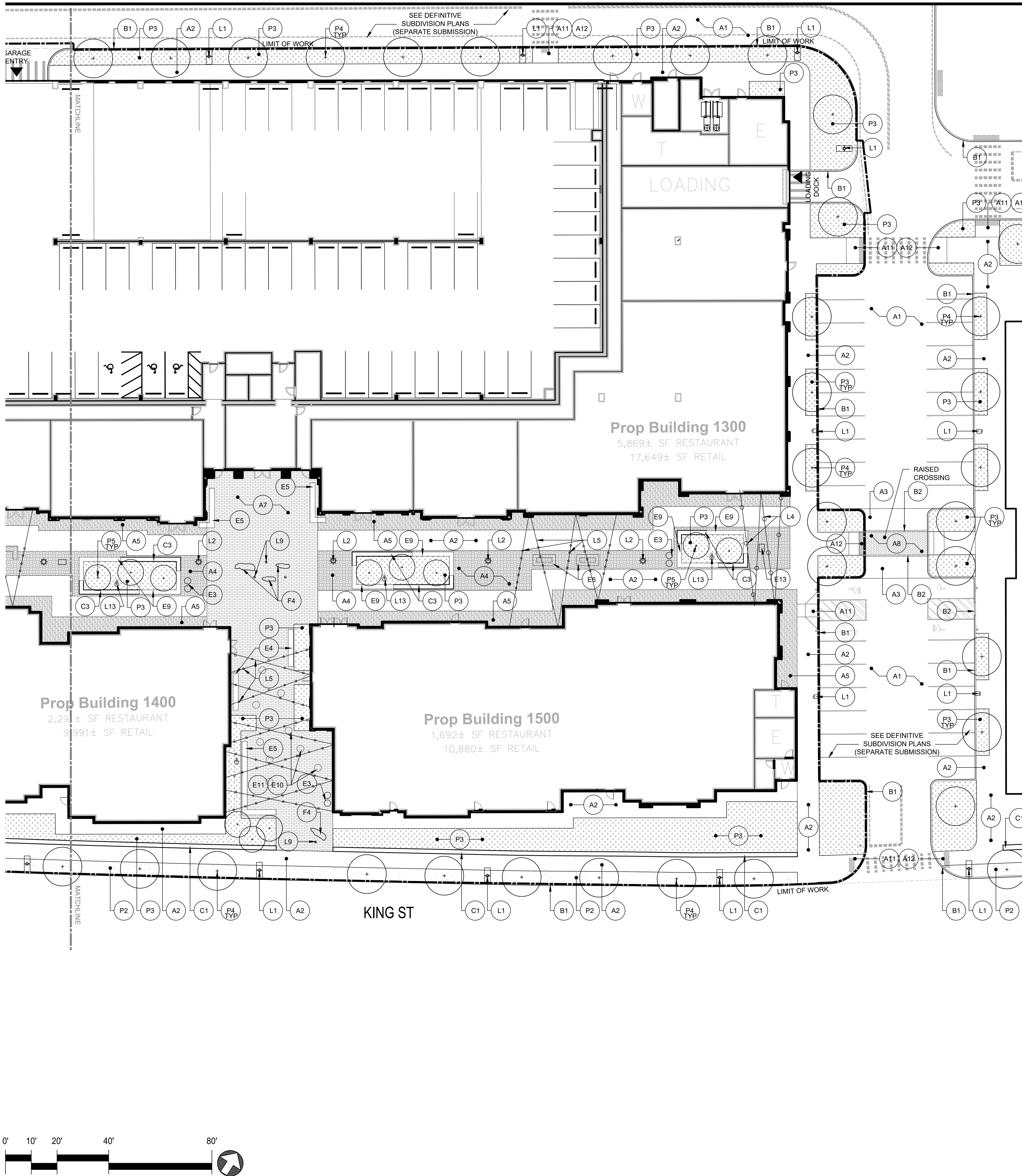
NOTES:
1. ALL WATER QUALITY UNITS SHALL BE CDS HYDRODYNAMIC SEPARATORS AS MANUFACTURED BY CONTECH, OR EQUAL.
2. CONTRACTOR SHALL PROVIDE WATER QUALITY UNIT SIZING CALCULATIONS AND SHOP DRAWINGS TO ENGINEER FOR REVIEW PRIOR TO CONSTRUCTION.
3. WATER QUALITY STRUCTURE SHALL BE IN ACCORDANCE WITH ALL DESIGN DATA AND INFORMATION BASED ON THE MANUFACTURER'S SPECIFICATIONS. CONTRACTOR TO CONFIRM STRUCTURE MEETS THE REQUIREMENTS OF THE PROJECT.
4. THE LOAD RATING SHALL BE HS-20 FOR THE COVER. THE WATER QUALITY UNIT SHALL BE PRECAST CONCRETE CONFORMING TO ASTM C478 AND AASHTO LOAD RATING.
5. COORDINATE WITH MANUFACTURER FOR WATER QUALITY UNIT DIMENSIONS.

WATER QUALITY UNIT TABLE			
NAME	MODEL NUMBER	INVERT (IN)	INVERT (OUT)
WQU-101	CDS3035-6	277.05 (NW)	276.95 (SE)
WQU-102	CDS2025-5	283.00 (SE)	282.90 (NW)
WQU-103	CDS3035-6	277.98 (SW) 277.98 (NE) 277.98 (NW)	277.88 (S)
WQU-104	CDS2015-4	275.11 (SE)	275.01 (NW)
WQU-105	CDS2015-4	277.54 (N)	277.44 (SW)



MATERIALS LEGEND

TAG	DESCRIPTION	DETAIL
PAVING		
A1X	EXISTING PAVING MATERIAL TO REMAIN	
A1A	BITUMINOUS CONCRETE PAVING - VEHICULAR - SEE CIVIL DRAWINGS	
A1B	POURED IN PLACE CONCRETE PAVING - PEDESTRIAN 6" - SEE CIVIL DRAWINGS	
A1C	POURED IN PLACE CONCRETE PAVING - VEHICULAR 10" - SEE CIVIL DRAWINGS	
A1D	PRECAST CONCRETE UNIT PAVERS - PEDESTRIAN TYPE 1	
A1E	PRECAST CONCRETE UNIT PAVERS - PEDESTRIAN TYPE 2	
A1F	PRECAST CONCRETE UNIT PAVERS - PEDESTRIAN TYPE 3	
A1G	PRECAST CONCRETE UNIT PAVERS - PEDESTRIAN TYPE 4	
A1H	PRECAST CONCRETE UNIT PAVERS - VEHICULAR	
A1I	PRECAST CONCRETE UNIT PAVERS - PERMEABLE AT STREETSCAPE TREE/FURN ZONE	
A1J	WOOD DECKING ON CONCRETE BASE	
A1K	ACCESSIBLE CURB RAMP - SEE CIVIL DRAWINGS	
A1L	DETECTABLE WARNING PANEL - SEE CIVIL DRAWINGS	
CURBS		
B1X	EXISTING CURB TO REMAIN	
B1A	VA4 GRANITE ROADWAY & PARKING LOT CURB	
B1B	6" WIDTH FLUSH GRANITE PAVING/LANDSCAPE CURB	
B1C	4" WIDTH GRANITE LANDSCAPE CURB	
SITE WALLS & STAIRS		
C1A	CAST IN PLACE CONCRETE RETAINING WALL WITH STONE VENEER 20" TOTAL WIDTH	
C1B	STONE SEAT / PLANTER WALL WITH CAP OR 'E8' WOOD & METAL BENCH TOP	
C1C	FREESTANDING STONE SEAT WALL WITH 'E9' WOOD & METAL BENCH TOP	
C1D	PRECAST CONCRETE STAIR TREADS	
C1E	WOOD DECKING STAIR TREADS ON CONCRETE BASE	
STAIRS, RAILS & FENCES		
D1A	EXTERIOR STAIR METAL HANDRAIL	
SITE ELEMENTS & FURNISHINGS		
E1A	BIKE RACK - LANDSCAPE FORMS 'RING'	
E1B	VEHICULAR BOLLARD	
E1C	TRASH & RECYCLING RECEPTACLES (PAIRS)	
E1D	WOOD AND METAL FREESTANDING BENCH - TYPE 1	
E1E	WOOD AND METAL FREESTANDING BENCH - TYPE 2	
E1F	WOOD AND METAL FREESTANDING BENCH - TYPE 3	
E1G	WOOD AND METAL PERGOLA BENCH - TYPE 4	
E1H	WOOD & METAL WALL TOP BENCH - MOUNTED TO 'C2' STONE SEAT / PLANTER WALL	
E1I	WOOD & METAL WALL TOP BENCH - MOUNTED TO 'C3' FREESTANDING STONE WALL	
E1J	CAFE TABLE - 30" DIA. ROUND	
E1K	CAFE CHAIRS	
E1L	MOVEABLE PLANTERS - SIZE VARIES	
E1M	WAYFINDING KIOSK	
PROGRAM & MISCELLANEOUS SUPPORT ELEMENTS		
F1A	WOOD & METAL PAVILION - TYPE 1	
F1B	WOOD & METAL PAVILION - TYPE 2	
F1C	WOOD & METAL PAVILION - TYPE 3	
F1D	ART ELEMENT - SIZE VARIES	
F1E	AERATION GRATES AND SUBSURFACE PIPING AT SAND BASED STRUCTURAL SOIL	
F1F	LANDSCAPE AREA DRAIN GRATE	
LIGHTING & ELECTRICAL		
L1A	VEHICULAR SCALE POST TOP FIXTURE	
L1B	PEDESTRIAN SCALE POST TOP FIXTURE	
L1C	BOLLARD LIGHTING	
L1D	CATENARY LIGHTING - TYPE 1	
L1E	CATENARY LIGHTING - TYPE 2	
L1F	RECESSED STAIR/CHEEK WALL LIGHTS	
L1G	DOWNLIGHTS MOUNTED IN OVERHEAD PAVILION	
L1H	FEATURE LIGHTING (HIGHLIGHTS) - SET IN PLANTING BED	
L1I	ART LIGHTING - FLUSH	
L1J	LED STRIP BENCH UNDERLIGHTING	
L1K	POWER BOLLARD (EVENT POWER)	
L1L	CHARGING STATION (PUBLIC)	
L1M	ELECTRICAL RECEPTACLES	
L1N	OUTDOOR RATED WIRELESS ACCESS POINT	
SEE ARCHITECTURAL AND LIGHTING DRAWINGS FOR BUILDING-MOUNTED LIGHTING.		
PLANTING		
P1A	HIGH USE SOD LAWN	
P2A	SEEDED LAWN	
P3A	PLANTING BED - SEE PLANTING SHEETS FOR TYPE	
P4A	DECIDUOUS SHADE TREE - 3.5" - 4" CALIPER	
P5A	ORNAMENTAL TREE - 2.5" - 3" CALIPER	



MATERIALS LEGEND

TAG	DESCRIPTION	DETAIL
PAVING		
A1	EXISTING PAVING MATERIAL TO REMAIN	
A2	BITUMINOUS CONCRETE PAVING - VEHICULAR - SEE CIVIL DRAWINGS	
A3	POURED IN PLACE CONCRETE PAVING - PEDESTRIAN 6" - SEE CIVIL DRAWINGS	
A4	POURED IN PLACE CONCRETE PAVING - VEHICULAR 10" - SEE CIVIL DRAWINGS	
A5	PRECAST CONCRETE UNIT PAVERS - PEDESTRIAN TYPE 1	
A6	PRECAST CONCRETE UNIT PAVERS - PEDESTRIAN TYPE 2	
A7	PRECAST CONCRETE UNIT PAVERS - PEDESTRIAN TYPE 3	
A8	PRECAST CONCRETE UNIT PAVERS - PEDESTRIAN TYPE 4	
A9	PRECAST CONCRETE UNIT PAVERS - VEHICULAR	
A10	PRECAST CONCRETE UNIT PAVERS - PERMEABLE AT STREETSCAPE TREE/FURN ZONE	
A11	WOOD DECKING ON CONCRETE BASE	
A12	ACCESSIBLE CURB RAMP - SEE CIVIL DRAWINGS	
A13	DETECTABLE WARNING PANEL - SEE CIVIL DRAWINGS	
CURBS		
B1	EXISTING CURB TO REMAIN	
B2	VA4 GRANITE ROADWAY & PARKING LOT CURB	
B3	6" WIDTH FLUSH GRANITE PAVING/LANDSCAPE CURB	
B4	4" WIDTH GRANITE LANDSCAPE CURB	
SITE WALLS & STAIRS		
C1	CAST IN PLACE CONCRETE RETAINING WALL WITH STONE VENEER 20" TOTAL WIDTH	
C2	STONE SEAT / PLANTER WALL WITH CAP OR E8' WOOD & METAL BENCH TOP	
C3	FREESTANDING STONE SEAT WALL WITH E8' WOOD & METAL BENCH TOP	
C4	PRECAST CONCRETE STAIR TREADS	
C5	WOOD DECKING STAIR TREADS ON CONCRETE BASE	
STAIRS, RAILS & FENCES		
D1	EXTERIOR STAIR METAL HANDRAIL	
SITE ELEMENTS & FURNISHINGS		
E1	BIKE RACK - LANDSCAPE FORMS - RING	
E2	VEHICULAR BOLLARD	
E3	TRASH & RECYCLING RECEPTACLES (PAIRS)	
E4	WOOD AND METAL FREESTANDING BENCH - TYPE 1	
E5	WOOD AND METAL FREESTANDING BENCH - TYPE 2	
E6	WOOD AND METAL FREESTANDING BENCH - TYPE 3	
E7	WOOD AND METAL PERGOLA BENCH - TYPE 4	
E8	WOOD & METAL WALL TOP BENCH - MOUNTED TO 'C2' STONE SEAT / PLANTER WALL	
E9	WOOD & METAL WALL TOP BENCH - MOUNTED TO 'C3' FREESTANDING STONE WALL	
E10	CAFE TABLE - 30" DIA. ROUND	
E11	CAFE CHAIRS	
E12	MOVEABLE PLANTERS - SIZE VARIES	
E13	WAYFINDING KIOSK	

JF
SJ,JC,HE
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11/26/2025
1"=20'-0"

PREPARED FOR
Lupoli Companies
290 Merrimack Street
Lawrence, MA 01840

REVISIONS

ISSUED FOR
Permitting

PROJECT TITLE
Phase 1 Retail
Development at King
Street Commons

PROJECT LOCATION
550 King Street, LLC
Littleton, MA 01460

DRAWING TITLE
Site Materials Plan
Pedestrian Walkway

PROJECT NO.
T1180

TEC CAD FILE
L1.0 Site Landscape Plan

DRAWING NO.

L102-PW
SHEET OF X

REPRESENTATIVE PLANT LIST

Symbol	Quantity	Botanical Name	Common Name	Size	Spacing	Notes
TREES						
AM AR		<i>Amelanchier arborea</i>	Downy Serviceberry	10'-12' ht, B&B		multi-stem, matched
AC FR		<i>Acer x freemanii 'Jeffersred'</i>	Autumn Blaze Maple	4" caliper, B&B		Single stem, matched specimen
AC RU		<i>Acer rubrum 'Karpick'</i>	Karpick Maple	4" caliper, B&B		Single stem, matched specimen
AM GR		<i>Amelanchier x grandiflora 'Autumn Brilliance'</i>	Autumn Brilliance Serviceberry	10'-12' ht, B&B		Multi-stem, matched
BE NI		<i>Betula nigra 'Cully'</i>	Heritage River Birch	16'-18' ht, B&B		Multi-stem / clump
BE PO		<i>Betula populifolia 'Whitespire'</i>	Whitespire Grey Birch	16'-18' ht, B&B		Multi-stem / clump
CA BE		<i>Carpinus caroliniana</i>	American Hornbeam	10'-12' ht, B&B		multi-stem, matched
CE OC		<i>Celtis occidentalis</i>	Hackberry	4" Caliper, B&B		Single stem, matched specimen
CC RU		<i>Cornus x 'Rutgan'</i>	Stellar Pink Dogwood	3" caliper, B&B		Single stem, matched specimen
CR VI		<i>Crataegus viridis 'Winter King'</i>	Winter King Hawthorn	3" caliper, B&B		Single stem, matched specimen
GI BI		<i>Ginkgo biloba</i>	Ginkgo	4" Caliper, B&B		Single stem, matched specimen, NO FEMALES
GL TR		<i>Gleditsia triacanthos 'Shademaster'</i>	Shademaster Honeylocust	4" caliper, B&B		Single stem, matched specimen
HA IN		<i>Hamamelis x intermedia 'Arnold Promise'</i>	Arnold Promise Witch Hazel	10'-12' ht, B&B		Multi-stem, matched
HA VE		<i>Hamamelis vernalis 'Autumn Embers'</i>	Autumn Embers Witch Hazel	6'-8' ht, B&B		Multi-stem, matched
JU VI		<i>Juniperus virginiana</i>	Eastern Red Cedar	10'-12' ht, B&B		
LI ST		<i>Liquidambar styraciflua 'Rotundiloba'</i>	Fruitless Sweetgum	4" caliper, B&B		Single stem, matched specimen
LI TU		<i>Liriodendron tulipifera</i>	Tuliptree	4" caliper, B&B		Single stem, matched specimen
PI TH		<i>Pinus thunbergiana</i>	Japanese Black Pine	10'-12' ht, B&B		
QU BI		<i>Quercus bicolor</i>	Swamp White Oak	4" caliper, B&B		Single stem, matched specimen
UL XP		<i>Ulmus 'Patriot'</i>	Patriot Elm	4" caliper, B&B		Single stem, matched specimen, first branch to 7 ft
SHRUBS						
Bu Gm		<i>Buxus 'Green Mountain'</i>	Green Mountain Boxwood	24-30" ht	36" O.C.	
Bu Wg		<i>Buxus microphylla japonica 'Winter Gem'</i>	Winter Gem Boxwood	18-24" ht	36" O.C.	
Co Iv		<i>Cornus alba 'Ivory Halo'</i>	Variegated Red Twig Dogwood	30-36" ht	36" O.C.	
Fo Ma		<i>Fothergilla major 'Mount Airy'</i>	Mt. Airy Dwarf Fothergilla	24-30" ht	30" O.C.	
Hy Lr		<i>Hydrangea macrophylla 'Lady in Red'</i>	Lady in Red Hydrangea	30-36" ht	36" O.C.	
Hy Qu		<i>Hydrangea quercifolia</i>	Oakleaf Hydrangea	30-36" ht	36" O.C.	
Hy Sq		<i>Hydrangea quercifolia 'Snow Queen'</i>	Snow Queen Oakleaf Hydrangea	30-36" ht	36" O.C.	
Hy Fr		<i>Hypericum frondosum 'Sunburst'</i>	Sunburst St. John's Wort	18-24" ht	24" O.C.	
Ix De		<i>Ilex glabra 'Densa'</i>	Dense Inkberry	30-36" ht	36" O.C.	
Ix Sh		<i>Ilex glabra 'Shamrock'</i>	Shamrock Inkberry	30-36" ht	36" O.C.	
Mi De		<i>Microbiota decussata</i>	Siberian Carpet Cypress	3 GAL / 18-24" ht	36" O.C.	
My Pe		<i>Myrica pensylvanica</i>	Northern Bayberry	36" ht	60" O.C.	
Rh Da		<i>Rhododendron 'Dora Amateis'</i>	Dora Amateis Rhododendron	30-36" ht	30" O.C.	
Rh Gl		<i>Rhus aromatica 'Gro-Low'</i>	Gro-Low Fragrant Sumac	24-30" ht	24" O.C.	
Ro Bl		<i>Rosa 'Blushing Knock Out'</i>	Blushing Knock Out Rose	3 GAL / 18-24" ht	24" O.C.	
Ta Re		<i>Taxus bacata 'Repandens'</i>	Spreading English Yew	12'-18" ht	24" O.C.	
Va An		<i>Vaccinium angustifolium</i>	Low Bush Blueberry	3 GAL	24" O.C.	
Vi Bl		<i>Viburnum dentatum 'Christom'</i>	Blue Muffin Viburnum	30-36" ht	36" O.C.	
Vi Ju		<i>Viburnum x 'Juddii'</i>	Judd Viburnum	30-36" ht	48" O.C.	
Vi Sb		<i>Viburnum carlesii 'SMVCB' P.P. 25872</i>	Spice Baby Viburnum	24-30" ht	36" O.C.	
PERENNIALS						
ach mi		<i>Achillea millefolium 'Pretty Belinda'</i>	Pretty Belinda Yarrow	2 GAL	18" O.C.	
aga ba		<i>Agastache 'Black Adder'</i>	Black Adder Hyssop	2 GAL	18" O.C.	
alc mo		<i>Alchemilla mollis</i>	Common Lady's Mantle	1 GAL	12" O.C.	
ams bi		<i>Amsonia x 'Blue Ice'</i>	Blue Star Flower	1 GAL	12" O.C.	
ams ta		<i>Amsonia tabernaemontana 'Walter'</i>	Eastern Bluestar	1 GAL	18" O.C.	
ane sc		<i>Anemone x 'September Charm'</i>	September Charm Windflower	2 GAL	24" O.C.	
asc tu		<i>Asclepias tuberosa</i>	Butterfly Weed	1 GAL	18" O.C.	
bap au		<i>Baptisia australis</i>	False Indigo	2 GAL	18" O.C.	
den pu		<i>Dennstaedtia punctilobula</i>	Hay Scented Fern	2 GAL	30" O.C.	
ech pu		<i>Echinacea purpurea</i>	Purple Coneflower	2 GAL	18" O.C.	
ger ro		<i>Geranium x 'Rozanne'</i>	Rozanne Cranesbill	1 GAL	18" O.C.	
hem fr		<i>Hemerocallis 'Fragrant Returns'</i>	Fragrant Returns Daylily	2 GAL	18" O.C.	
heu ss		<i>Heuchera 'Stormy Seas'</i>	Coral Bells	2 GAL	24" O.C.	
lup pe		<i>Lupinus perennis</i>	Wild Blue Lupine	1 GAL	18" O.C.	
nep fa		<i>Nepeta x faassenii 'Walkers Low'</i>	Walkers Low Catmint	2 GAL	18" O.C.	
rud fu		<i>Rudbeckia fulgida 'Goldsturm'</i>	Black Eyed Susan	2 GAL	18" O.C.	
rud tr		<i>Rudbeckia triloba</i>	Brown Eyed Susan	1 GAL	18" O.C.	
sal mn		<i>Salvia 'May Night'</i>	May Night Salvia	2 GAL	18" O.C.	
GRASSES & GROUND COVERS						
bou gr		<i>Bouteloua gracilis 'Blonde Ambition'</i>	Side Oats Grama	2 GAL	30" O.C.	
car pe		<i>Carex pendula</i>	Drooping Sedge	2 GAL	30" O.C.	
car pn		<i>Carex pensylvanica</i>	Pennsylvania Sedge	Plug	12" O.C.	
cha la		<i>Chasmanthium latifolium</i>	Northern Sea Oats	2 GAL	30" O.C.	
cha rm		<i>Chasmanthium latifolium 'River Mist'</i>	Variegated Northern Sea Oats	2 GAL	30" O.C.	
des ce		<i>Deschampsia cespitosa 'Pixie Fountain'</i>	Tufted Hair Grass	2 GAL	24" O.C.	
epi ru		<i>Epimedium x rubrum</i>	Red Barrenwort	1 GAL	12" O.C.	
euro co		<i>Euonymus coloratus</i>	Wintercreeper Euonymus	1 GAL	12" O.C.	
lir sp		<i>Liriope spicata</i>	Lilyturf	1 GAL	12" O.C.	
mis si		<i>Miscanthus sinensis 'Adagio'</i>	Dwarf Silver Grass	2 GAL	30" O.C.	
pan vi		<i>Panicum virgatum</i>	Switchgrass	Plug	12" O.C.	

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3. NO SUBSTITUTIONS OF PLANT SPECIES WITHOUT LANDSCAPE ARCHITECT'S WRITTEN APPROVAL.

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5. LOCATE AND VERIFY UTILITY LINE LOCATIONS PRIOR TO STAKING AND REPORT CONFLICTS TO LANDSCAPE ARCHITECT.

6. DEMOLITION DEBRIS, GARBAGE, LUMPS OF CONCRETE, STEEL AND OTHER MATERIALS DELETERIOUS TO PLANT'S HEALTH AS DETERMINED BY LANDSCAPE ARCHITECT SHALL BE REMOVED FROM ALL PLANTING AREAS.

7. NO PLANTING TO BE INSTALLED BEFORE ACCEPTANCE OF ROUGH GRADING.

8. ALL PROPOSED TREE LOCATIONS SHALL BE STAKED OR LAID OUT IN THEIR APPROXIMATE LOCATION BY THE CONTRACTOR. REFER TO LAYOUT AND PLANTING SHEETS FOR LAYOUT INFORMATION. THE CONTRACTOR SHALL ADJUST THE LOCATIONS AS REQUESTED BY THE LANDSCAPE ARCHITECT TO ACCOUNT FOR SUBSURFACE UTILITIES AND OTHER FIELD CONDITIONS. FINAL LOCATIONS OF ALL PLANTS MUST BE APPROVED BY THE LANDSCAPE ARCHITECT PRIOR TO PLANTING.

9. INSTALL PLANTS WITH ROOT FLARES 1" ABOVE FINISHED GRADE AFTER SETTLEMENT. IMMEDIATELY REPLANT PLANTS THAT SETTLE OUT OF PLUMB OR BELOW FINISHED GRADE.

10. PLANT UNDER FULL TIME SUPERVISION OF CERTIFIED ARBORIST, NURSERYMAN, OR LICENSED LANDSCAPE ARCHITECT. PROVIDE WRITTEN VERIFICATION OF CERTIFICATION AND/OR LICENSE FOR LANDSCAPE ARCHITECT'S APPROVAL.

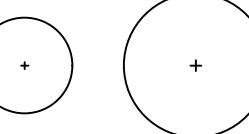
11. WATER PLANTS THOROUGHLY AFTER INSTALLATION, A MINIMUM OF TWICE WITHIN THE FIRST 24 HOURS.

12. REPAIR DAMAGE DUE TO OPERATIONS INSIDE AND OUTSIDE OF LIMIT OF WORK

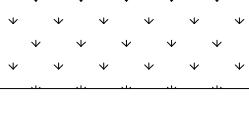
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PLANTING LEGEND

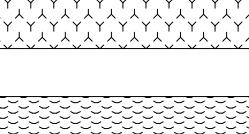
PROPOSED TREE



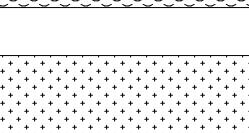
PROPOSED HIGH USE SOD LAWN



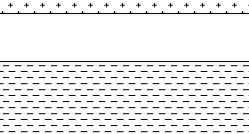
PROPOSED SEDED LAWN



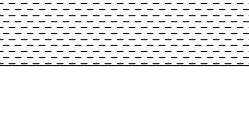
PROPOSED PLANT BED - TYPE 1: 75% GROUNDCOVER, 25% PERENNIALS AND ORNAMENTAL GRASSES

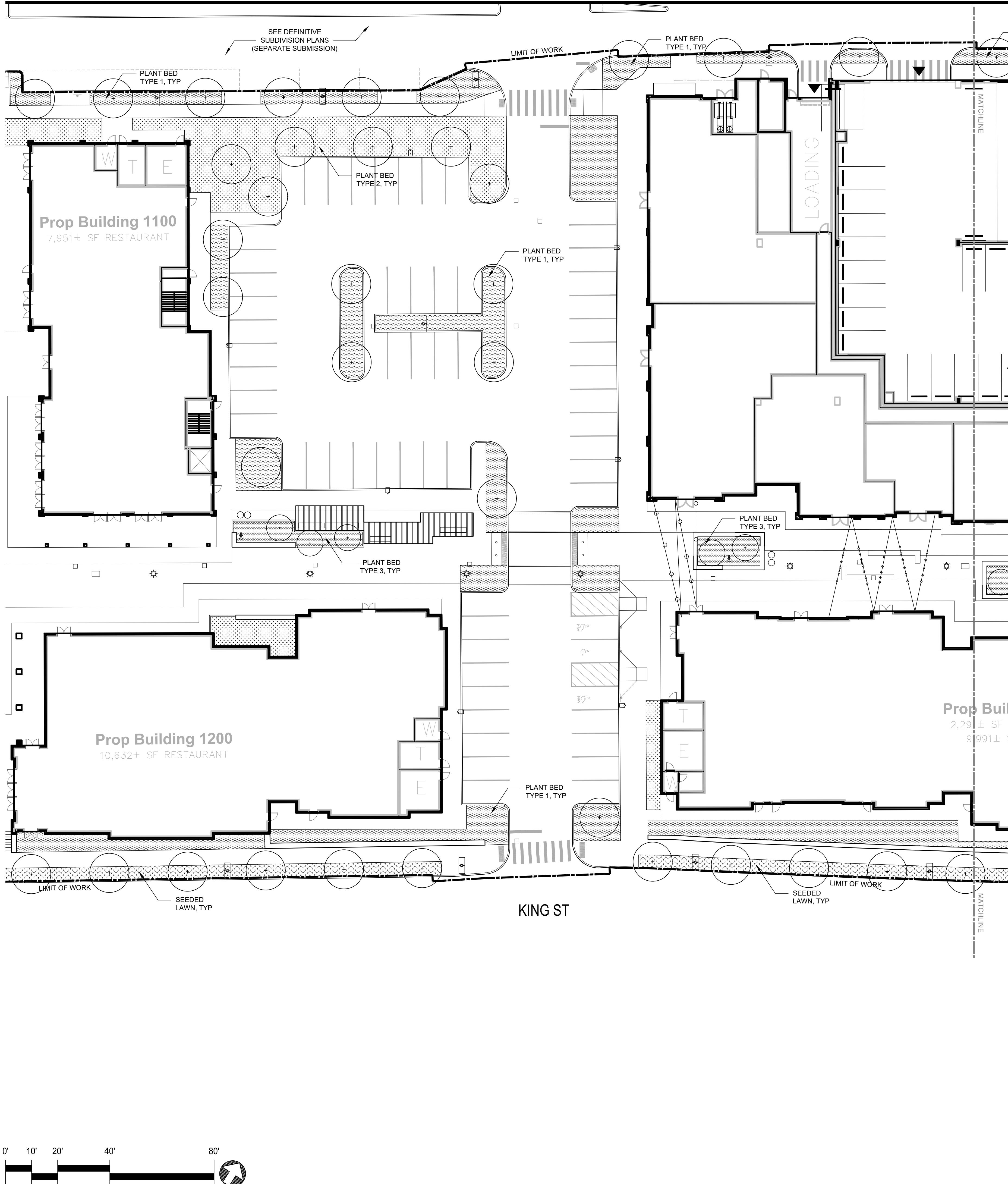


PROPOSED PLANT BED - TYPE 2: 50% DECIDUOUS / EVERGREEN SHRUBS, 25% PERENNIALS, 25% ORNAMENTAL GRASSES



PROPOSED PLANT BED - TYPE 3: 25% DECIDUOUS / EVERGREEN SHRUBS, 50% PERENNIALS, 25% ORNAMENTAL GRASSES





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PLANTING LEGEND

PROPOSED TREE

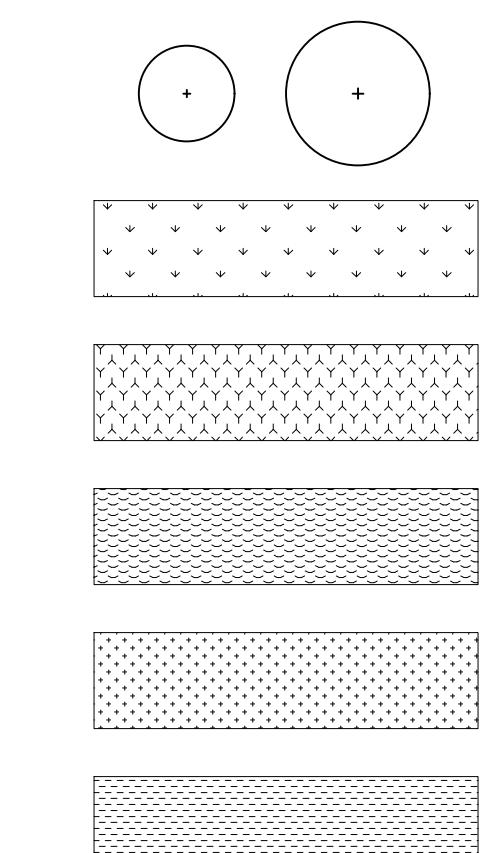
PROPOSED HIGH USE SOD LAWN

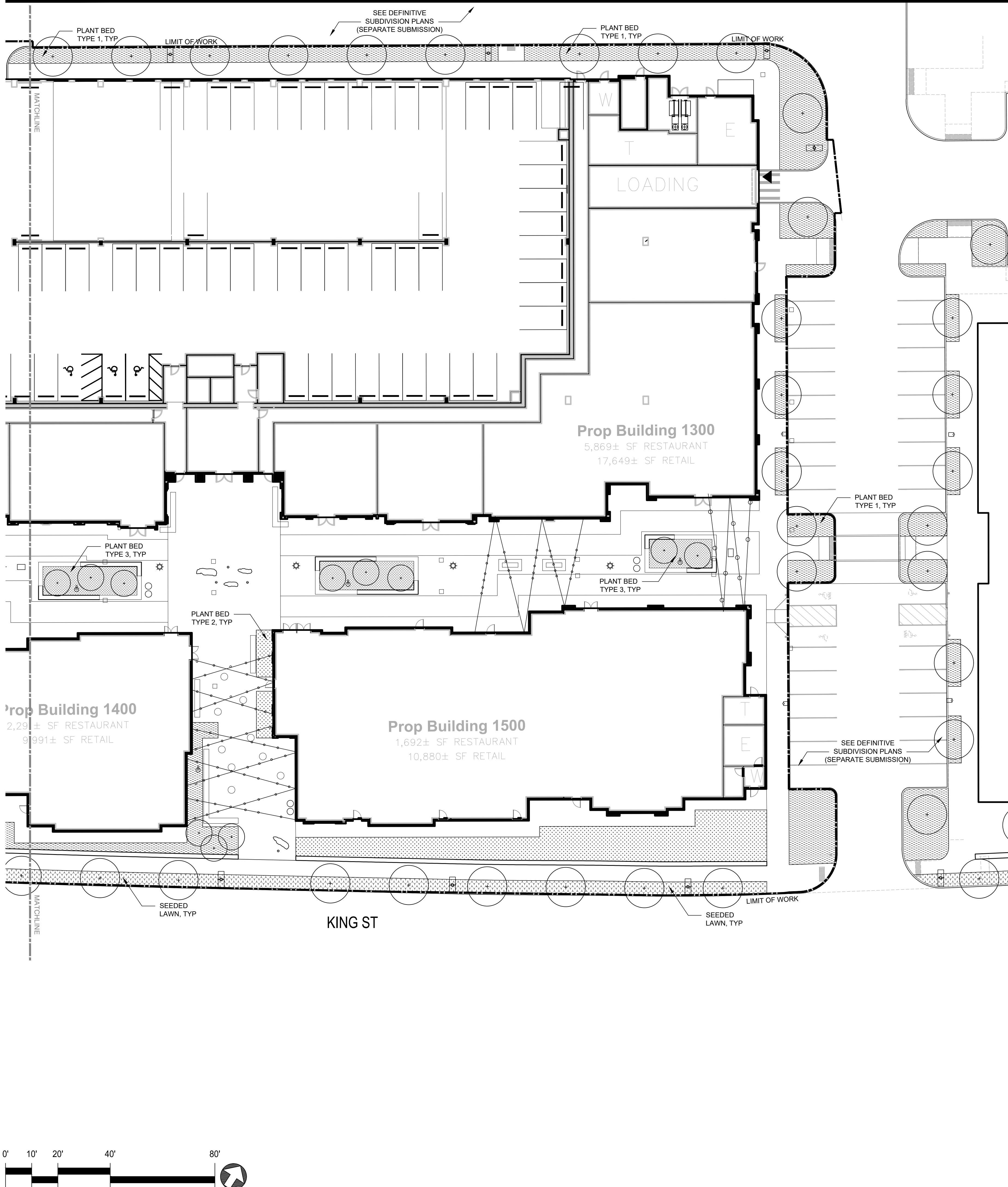
PROPOSED SEEDED LAWN

PROPOSED PLANT BED - TYPE 1:
75% GROUNDCOVER, 25% PERENNIALS AND
ORNAMENTAL GRASSES

PROPOSED PLANT BED - TYPE 2:
50% DECIDUOUS / EVERGREEN SHRUBS, 25%
PERENNIALS, 25% ORNAMENTAL GRASSES

PROPOSED PLANT BED - TYPE 3:
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PLANTING LEGEND

PROPOSED TREE

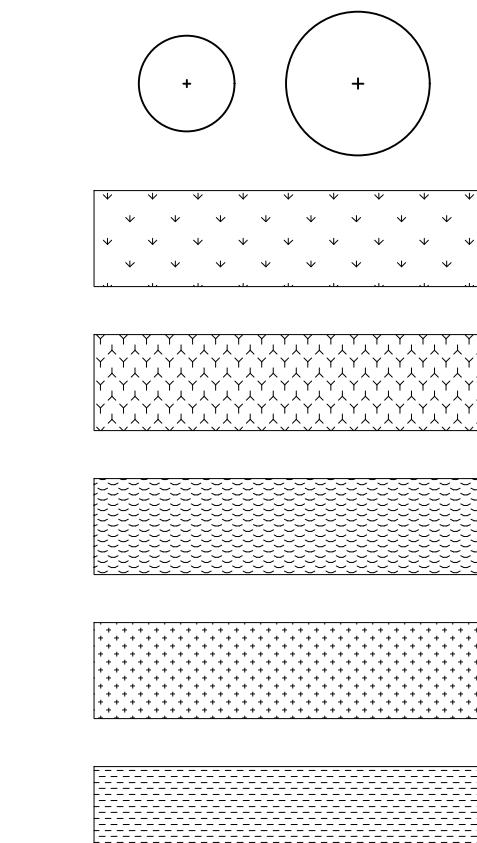
PROPOSED HIGH USE SOD LAWN

PROPOSED SEEDED LAWN

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PERENNIALS, 25% ORNAMENTAL GRASSES

PROPOSED PLANT BED - TYPE 3:
25% DECIDUOUS / EVERGREEN SHRUBS, 50%
PERENNIALS, 25% ORNAMENTAL GRASSES



JF
SJ,JC,HE
JF,SJ
11/26/2025
1"=20'-0"

PREPARED FOR
Lupoli Companies
290 Merrimack Street
Lawrence, MA 01840

REVISIONS

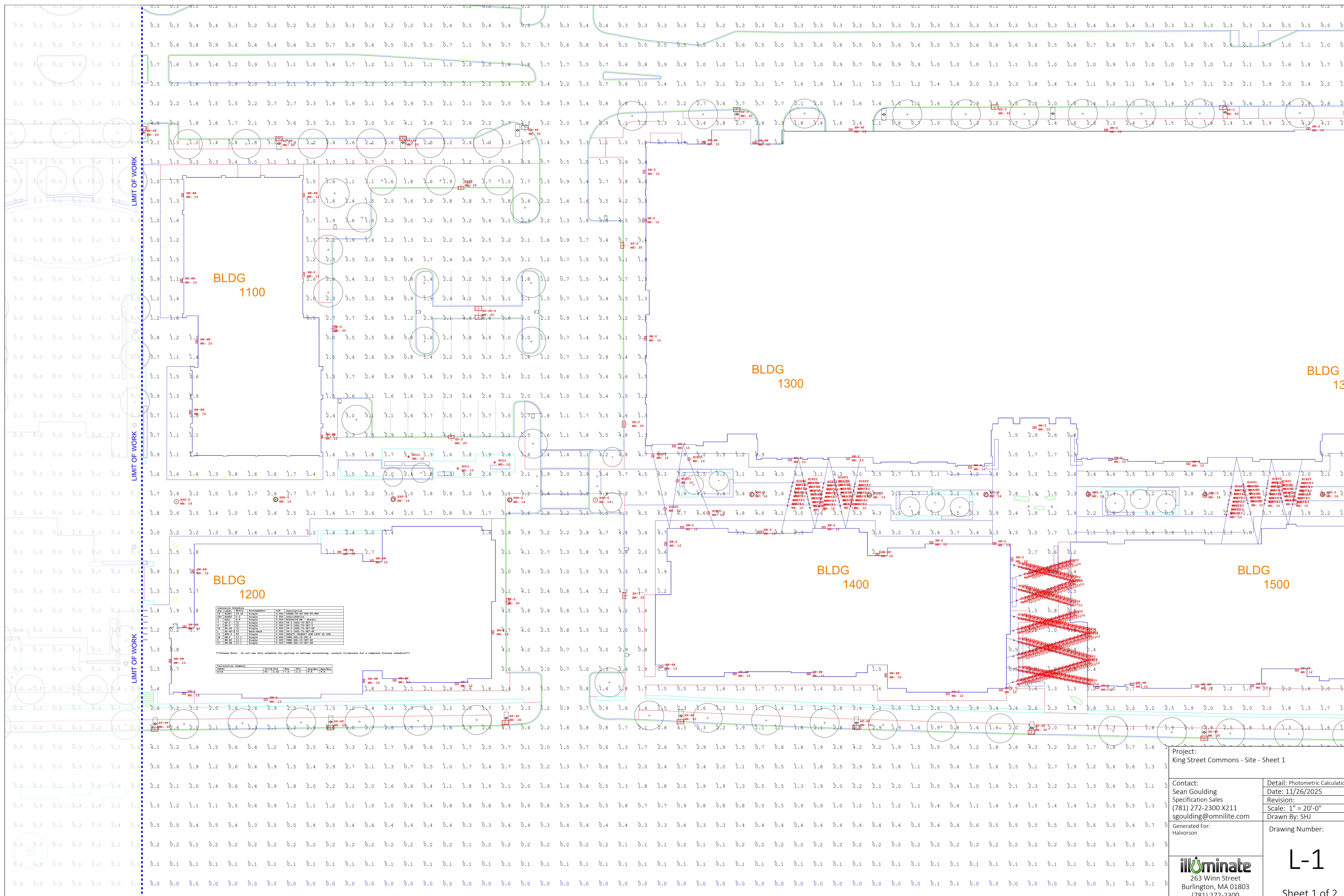
ISSUED FOR
Permitting

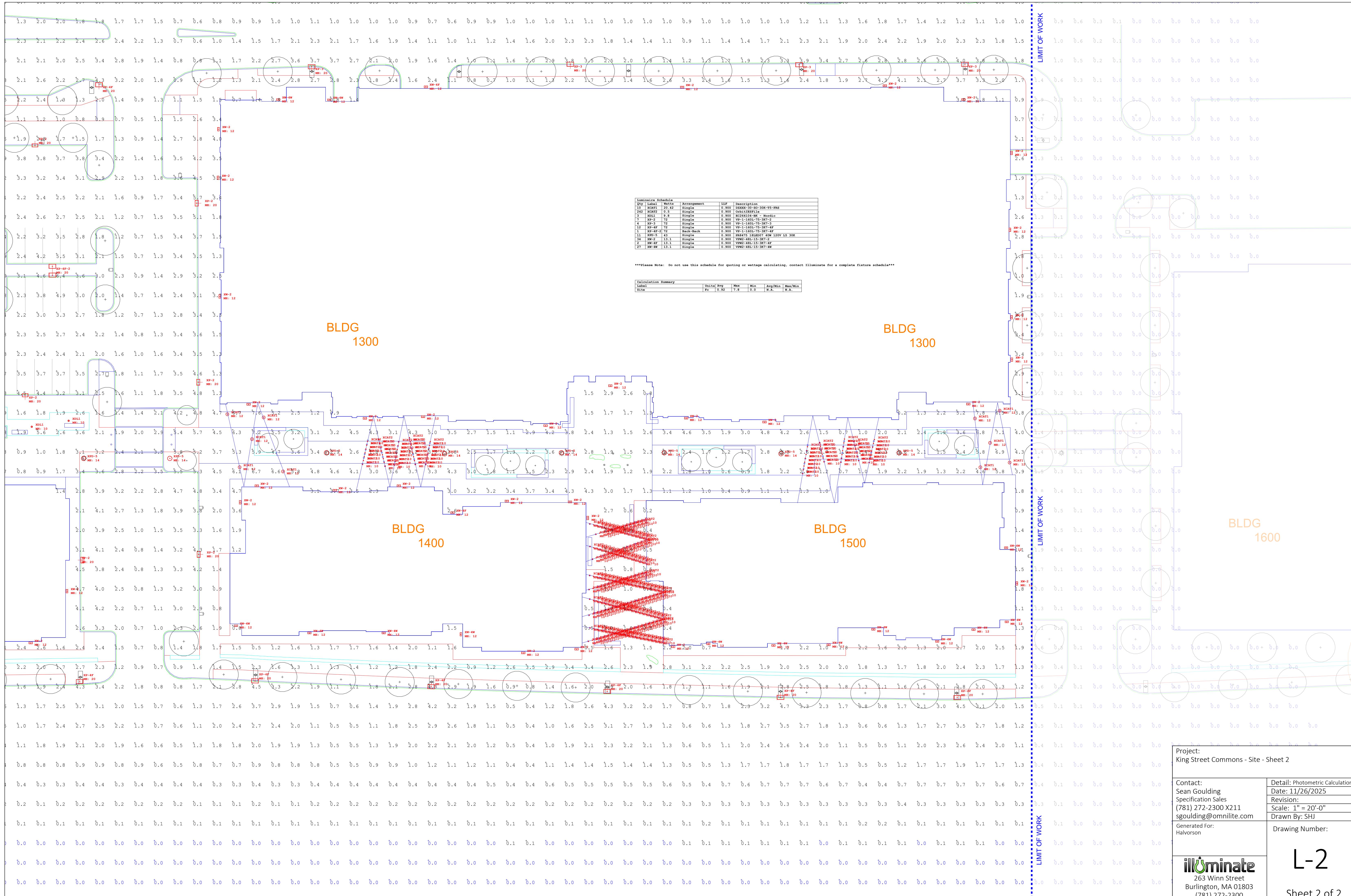
PROJECT TITLE
Phase 1 Retail
Development at King
Street Commons

PROJECT LOCATION
550 King Street, LLC
Littleton, MA 01460

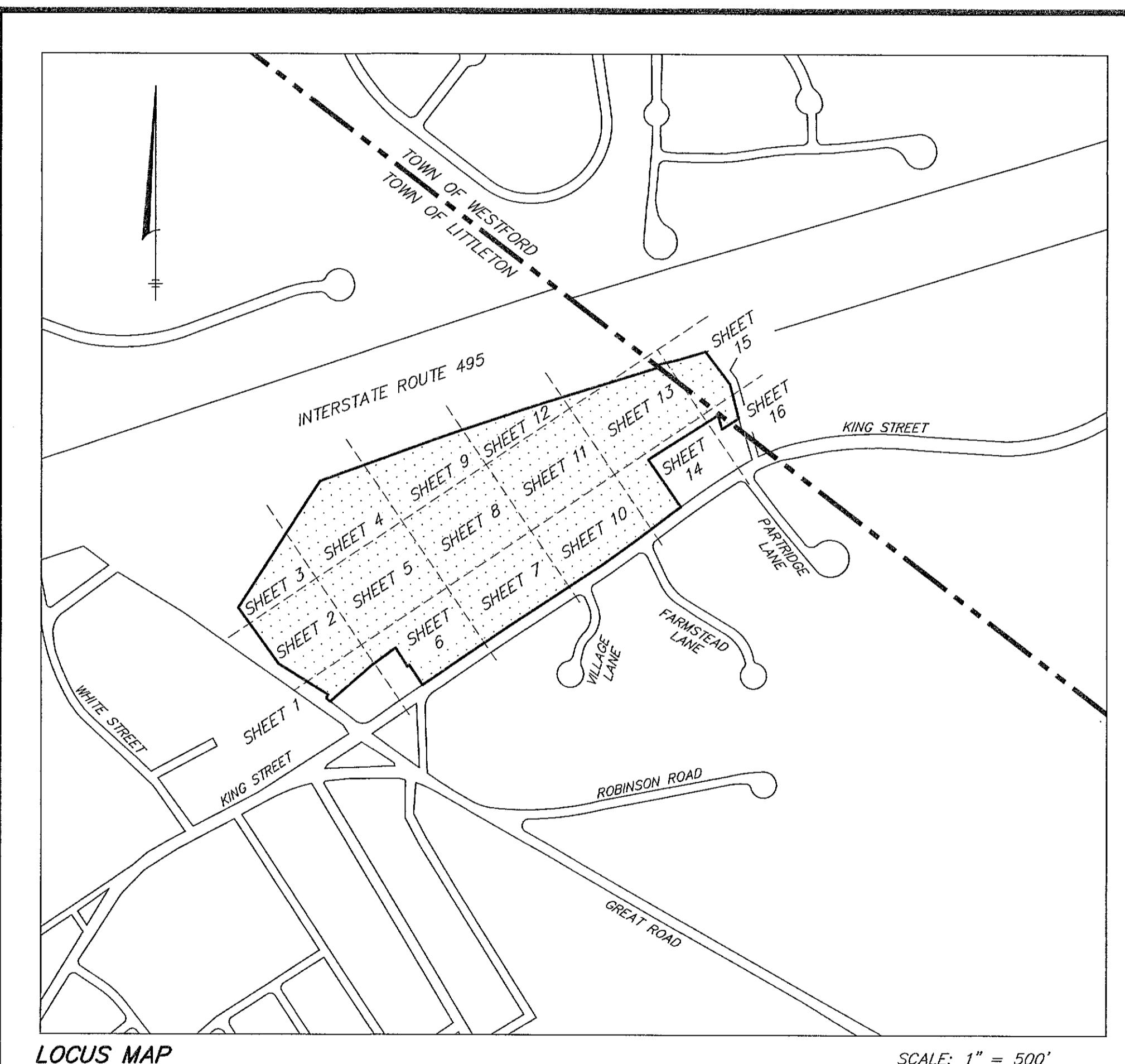
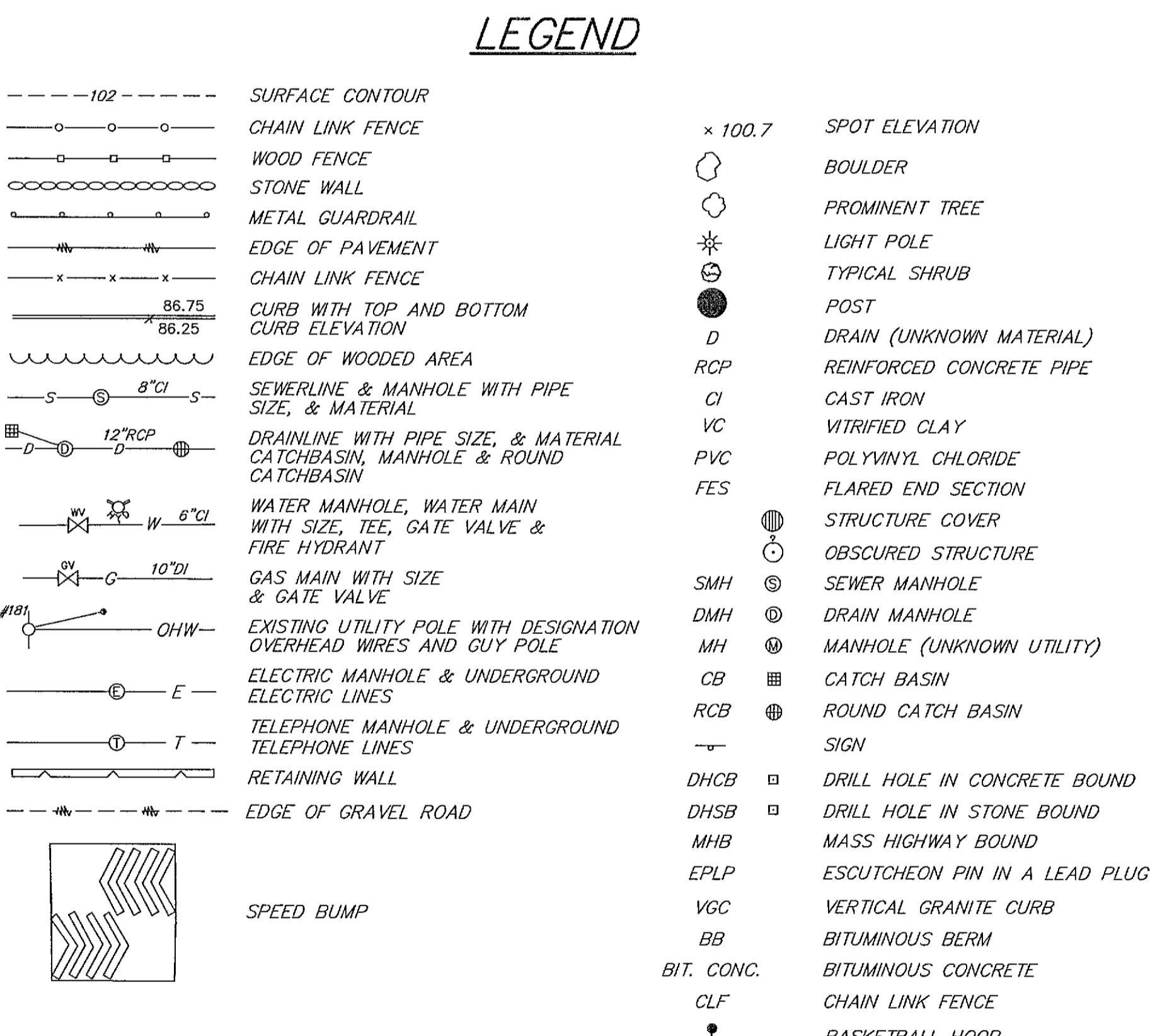
DRAWING TITLE
Site Planting Plan
Pedestrian Walkway

PROJECT NO.
T1180
TEC CAD FILE
L4.0 Site Planting Plan
DRAWING NO.
L402-PW
SHEET OF X





EXISTING CONDITIONS PLAN OF LAND IN LITTLETON, MASSACHUSETTS



ELEVATION BENCH MARKS		
DATUM: NAVD88 (SEE NOTE 1)		
NO.	DESCRIPTION	ELEV.
A	HYDRANT - X-CUT	278.30
B	HYDRANT - BOLT OVER MAIN OUTLET	271.61
C	SPIKE SET	285.54
D	HYDRANT - BOLT OVER MAIN OUTLET	299.58
E	UP#6 - SPIKE SET	284.41

ASSESSORS:

PARCEL ID# U08-10-0 (NO. 550)
PARCEL ID# U08-17-4 (NO. 584)

RECORD OWNER:
550 KING STREET LLC

REFERENCES:

MIDDLESEX SOUTH REGISTRY OF DEEDS
DEED BOOK 80208, PAGE 416
DEED BOOK 78708, PAGE 547
PLAN 538 OF 2006
PLAN 82 OF 2008

MIDDLESEX NORTH REGISTRY OF DEEDS
DEED BOOK 36259, PAGE 193
PLAN BOOK 221, PLAN 46

ZONING:

KING STREET COMMON
VILLAGE COMMON

NOTES:

1) THE HORIZONTAL DATUM FOR THIS SURVEY IS THE MASSACHUSETTS COORDINATE SYSTEM, NAD 1983, MAINLAND ZONE. THE VERTICAL DATUM FOR THIS SURVEY IS THE NORTH AMERICAN VERTICAL DATUM OF 1988 (NAVD88). SAID DATUMS WERE ESTABLISHED VIA GPS OBSERVATIONS UTILIZING NAD83 (NA2011) EPOCH 2010.00 (MYCS2) AND GEOD 18.

2) UNDERGROUND UTILITIES ARE SHOWN HEREON FROM FIELD LOCATIONS OF SURFACE VISIBLE STRUCTURES AND FROM AVAILABLE RECORD INFORMATION ON FILE AT THE TOWN OF LITTLETON DEPARTMENT OF PUBLIC WORKS, AND PRIVATE UTILITY COMPANIES. OTHER UNDERGROUND UTILITIES MAY EXIST. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO VERIFY THE LOCATION, SIZE & ELEVATION OF ALL UTILITIES WITHIN THE AREA OF PROPOSED WORK AND TO CONTACT "DIG-SAFE" AT 811 AT LEAST 72 HOURS PRIOR TO ANY EXCAVATION, DEMOLITION OR CONSTRUCTION.

3) THE LIMIT OF BORDERING VEGETATED WETLANDS SHOWN HEREON WAS DELINEATED BY HANCOCK ASSOCIATES AND LOCATED VIA FIELD SURVEY.

4) THE SURVEYED PREMISES AS SHOWN HEREON IS NOT LOCATED WITHIN A SPECIAL FLOOD HAZARD AREA, OR OTHER FLOOD AREA, AS SHOWN ON FEMA NATIONAL FLOOD INSURANCE PROGRAM (NFIP) FLOOD INSURANCE RATE MAP (FIRM) NUMBER 25017C0236F, HAVING AN EFFECTIVE DATE OF JULY 7, 2014.

5) THIS PLAN IS THE RESULT OF AN ON-THE-GROUND INSTRUMENT SURVEY PERFORMED BY HANCOCK ASSOCIATES THROUGH FEBRUARY OF 2022 IN CONJUNCTION WITH PHOTOGRAMMETRIC INFORMATION PROVIDED BY EASTERN TOPOGRAPHICS.

SITE ADDRESS:

#550
KING STREET

Littleton, Massachusetts

PREPARED FOR:

LUPOLI
COMPANIES,
LLC

290 Merrimack Street
Lawrence, Massachusetts 01843

HANCOCK
ASSOCIATES

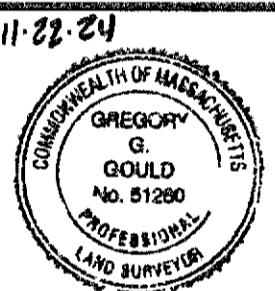
Civil Engineers

Land Surveyors

Wetland Scientists

34 CHELMSFORD ST., CHELMSFORD, MA 01824
VOICE (978) 244-0110, FAX (978) 244-1133
WWW.HANCOCKASSOCIATES.COM

11-22-24



1 JAR GGG 11/22/24 ADDITIONAL UTILITIES

DATE: 4/11/2022 DRAWN BY: MJS
SCALE: 1" = 20' CHECK BY: GGG

**EXISTING
CONDITIONS
PLAN OF LAND
IN
LITTLETON,
MASSACHUSETTS**

PLOT DATE: Nov 28, 2024 4:07 pm

PATH: X:\25579\Littleton\Surv\DWG\

DWG: 25579sv.dwg

LAYOUT: EC

SHEET: COVER

PROJECT NO.: 25579

SITE ADDRESS:

#550
KING STREET

Littleton, Massachusetts

PREPARED FOR:

LUPOLI
COMPANIES,
LLC

290 Merrimack Street
Lawrence, Massachusetts 01843

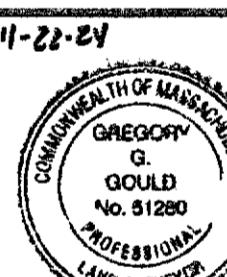
HANCOCK
ASSOCIATES

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34 CHELMSFORD ST., CHELMSFORD, MA 01824
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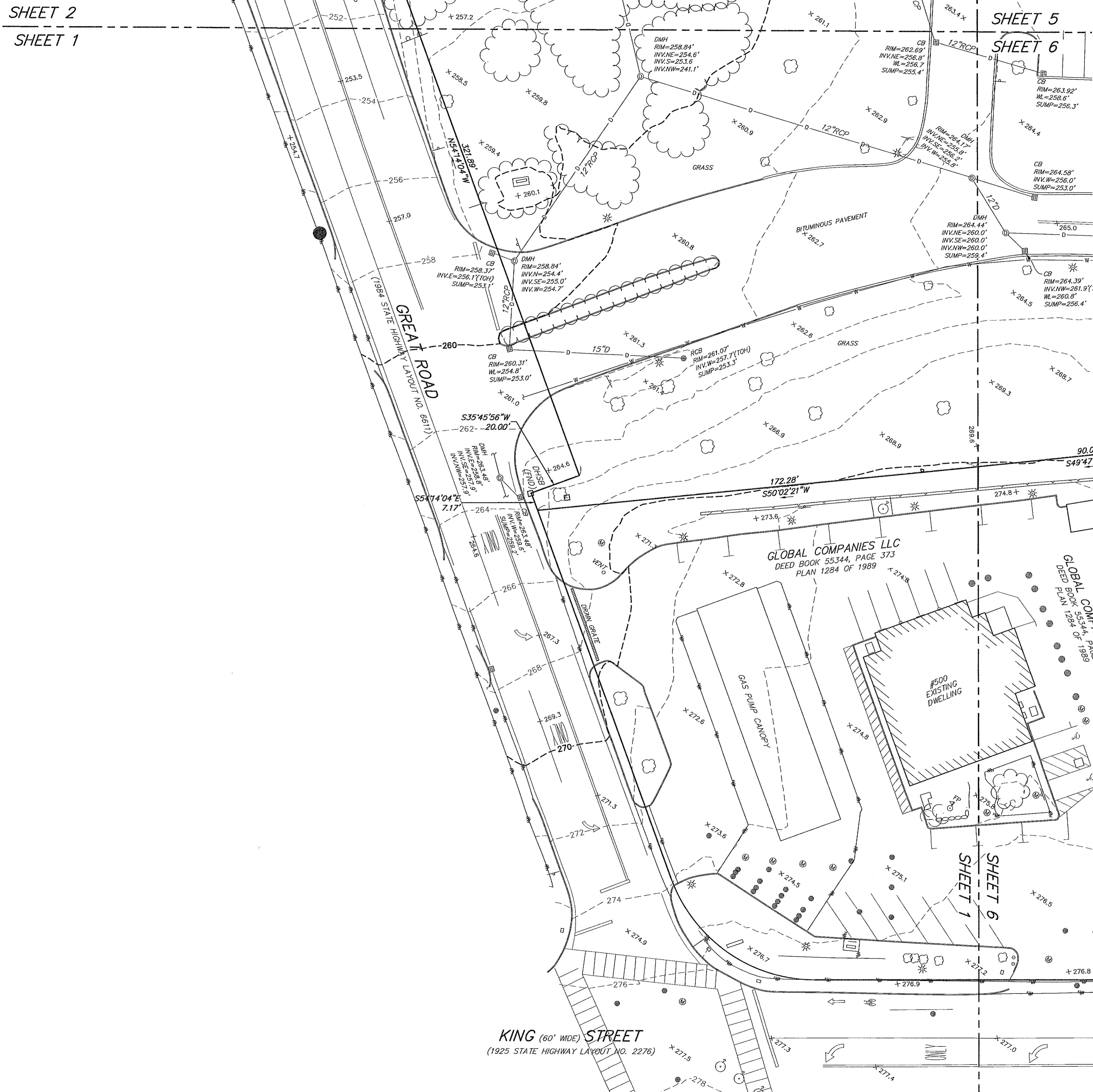
Gregory G. Gould
Professional Land Surveyor

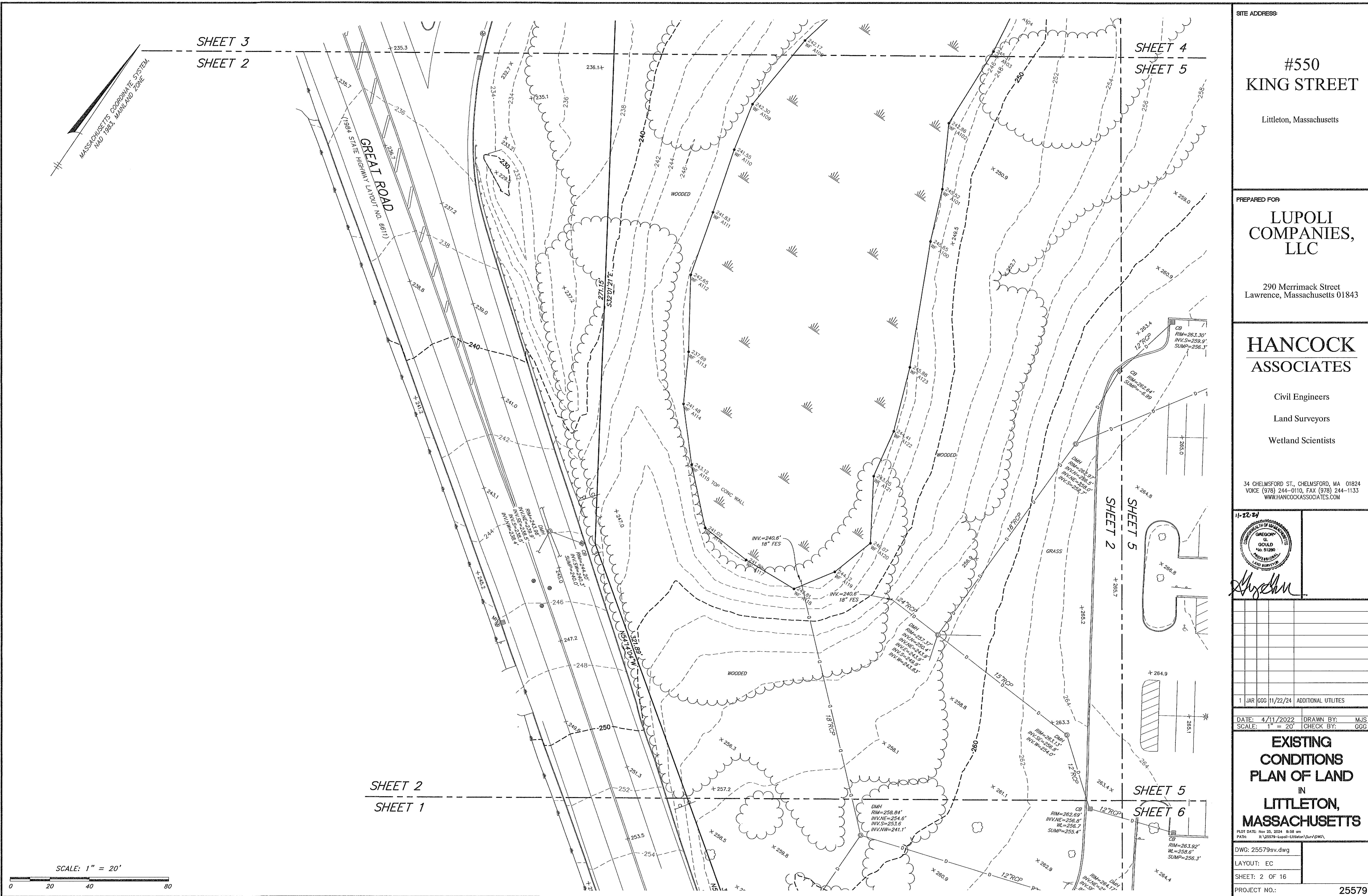
1 JAR GGG 11/22/24 ADDITIONAL UTILITIES

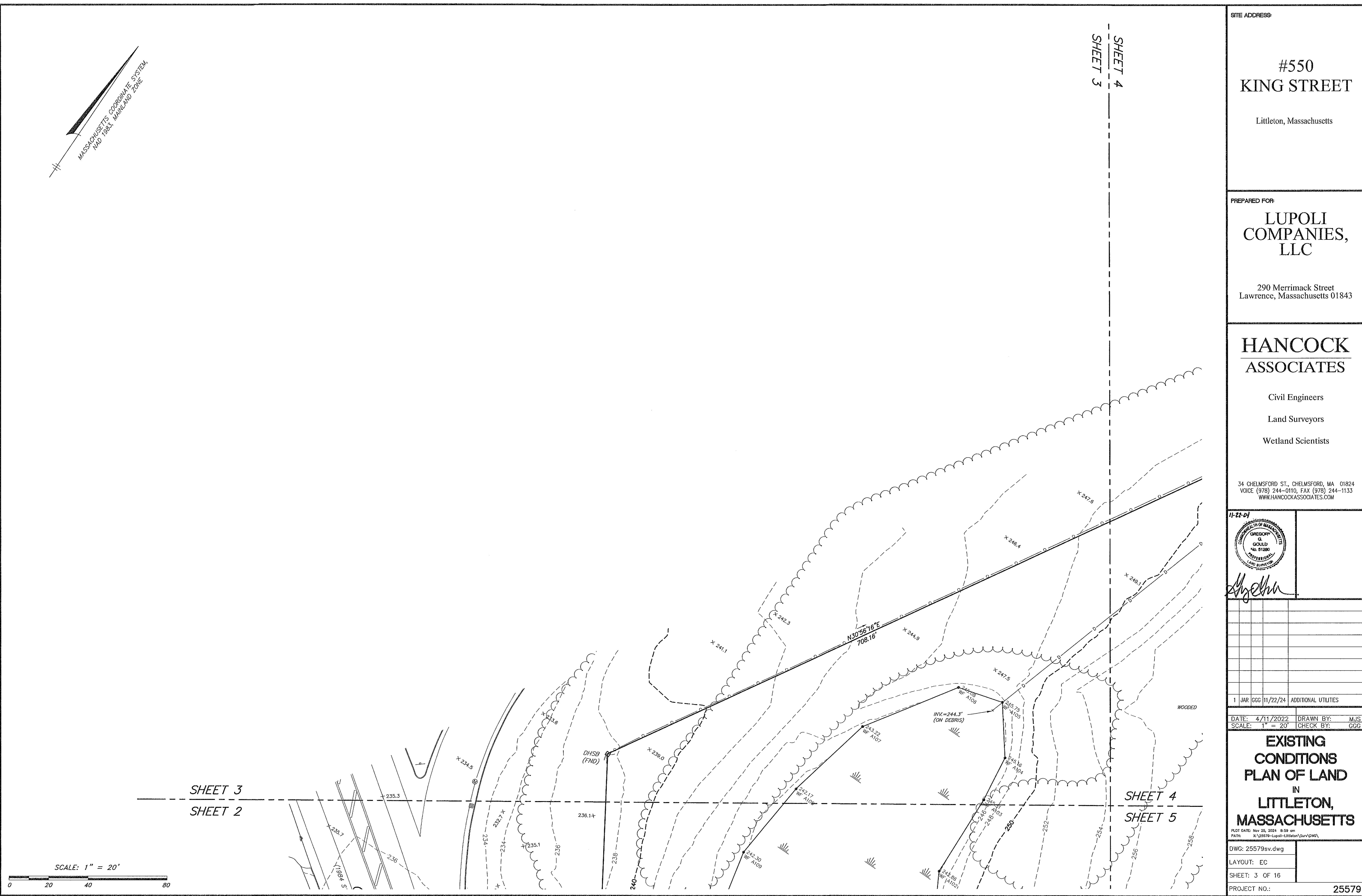
DATE: 4/11/2022 DRAWN BY: MJS
SCALE: 1" = 20' CHECK BY: GGG

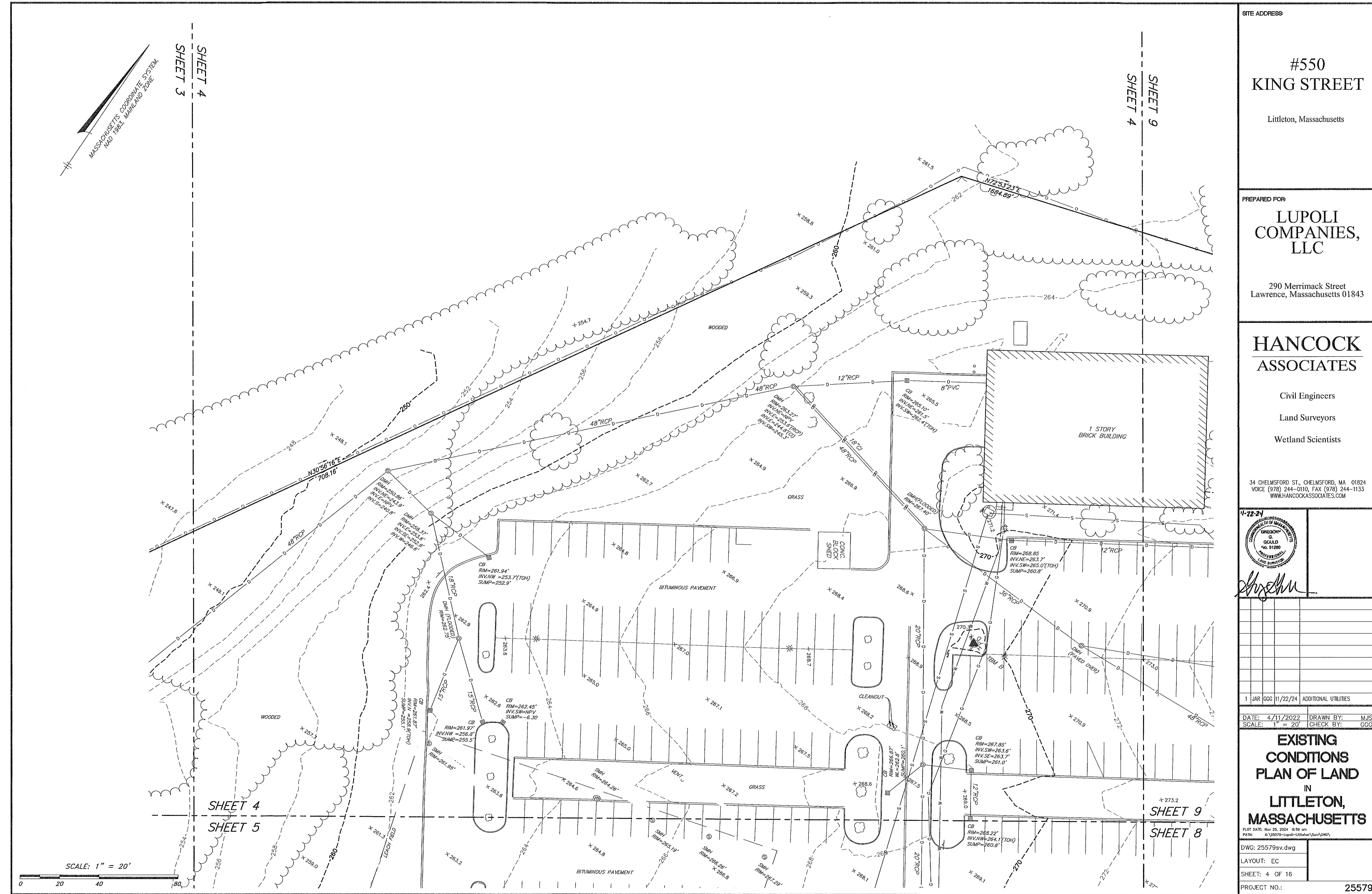
EXISTING
CONDITIONS
PLAN OF LAND
IN
LITTLETON,
MASSACHUSETTS

PLOT DATE: Nov 25, 2024 8:58 am
PATH: X:\B3579-Lupoli-Littleton\Surv\DWG\
DWG: 25579sv.dwg
LAYOUT: EC
SHEET: 1 OF 16
PROJECT NO.: 25579









SITE ADDRESS:

#550
KING STREET

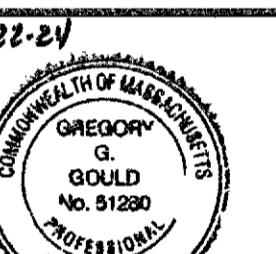
Littleton, Massachusetts

PREPARED FOR:
LUPOLI
COMPANIES,
LLC290 Merrimack Street
Lawrence, Massachusetts 01843HANCOCK
ASSOCIATES

Civil Engineers

Land Surveyors

Wetland Scientists

34 CHELMSFORD ST., CHELMSFORD, MA 01824
VOICE (978) 244-0110, FAX (978) 244-1133
WWW.HANCOCKASSOCIATES.COM

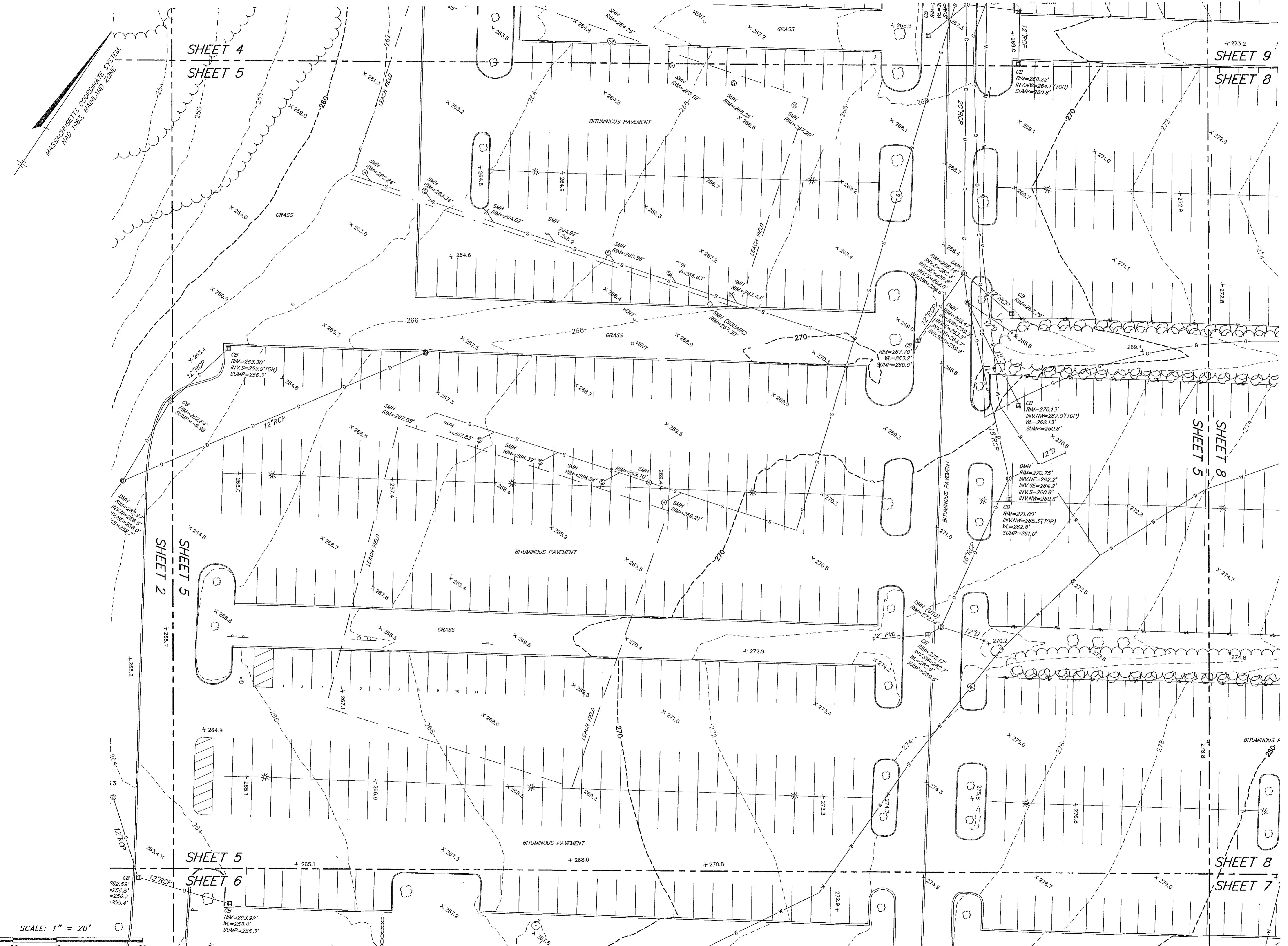
1 JAR GGG 11/22/24 ADDITIONAL UTILITIES

DATE: 4/11/2022 DRAWN BY: MJS
SCALE: 1" = 20' CHECK BY: GGG

**EXISTING
CONDITIONS
PLAN OF LAND
IN
LITTLETON,
MASSACHUSETTS**

PLOT DATE: Nov 23, 2024 9:00 am
FILE: X:\20079-Lupoli-Littleton\Survey\DWG\

DWG: 25579sv.dwg
LAYOUT: EC
SHEET: 5 OF 16
PROJECT NO.: 25579



SITE ADDRESS:

#550 ING STREET

Littleton, Massachusetts

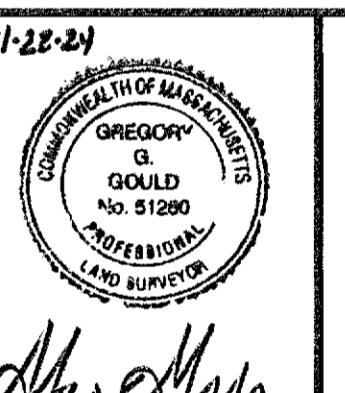
PREPARED FOR:

LUPOLI
COMPANIES,
LLC

290 Merrimack Street
Lawrence, Massachusetts 01843

HANCOCK

34 CHELMSFORD ST., CHELMSFORD, MA 01824
VOICE (978) 244-0110, FAX (978) 244-1133
WWW.HANCOCKASSOCIATES.COM



1 JAR GGG 11/22/24 ADDITIONAL UTILITIES

DATE: 4/11/2022	DRAWN BY: MJ
SCALE: 1" = 20'	CHECK BY: GG

**EXISTING
CONDITIONS
PLAN OF LAND
IN
LITTLETON,
MASSACHUSETTS**

PLOT DATE: Nov 26, 2024 4:09 pm

PATH: X:\25579-Lupoli-Littleton\Surv\DWG\

DWG: 25579sv.dwg

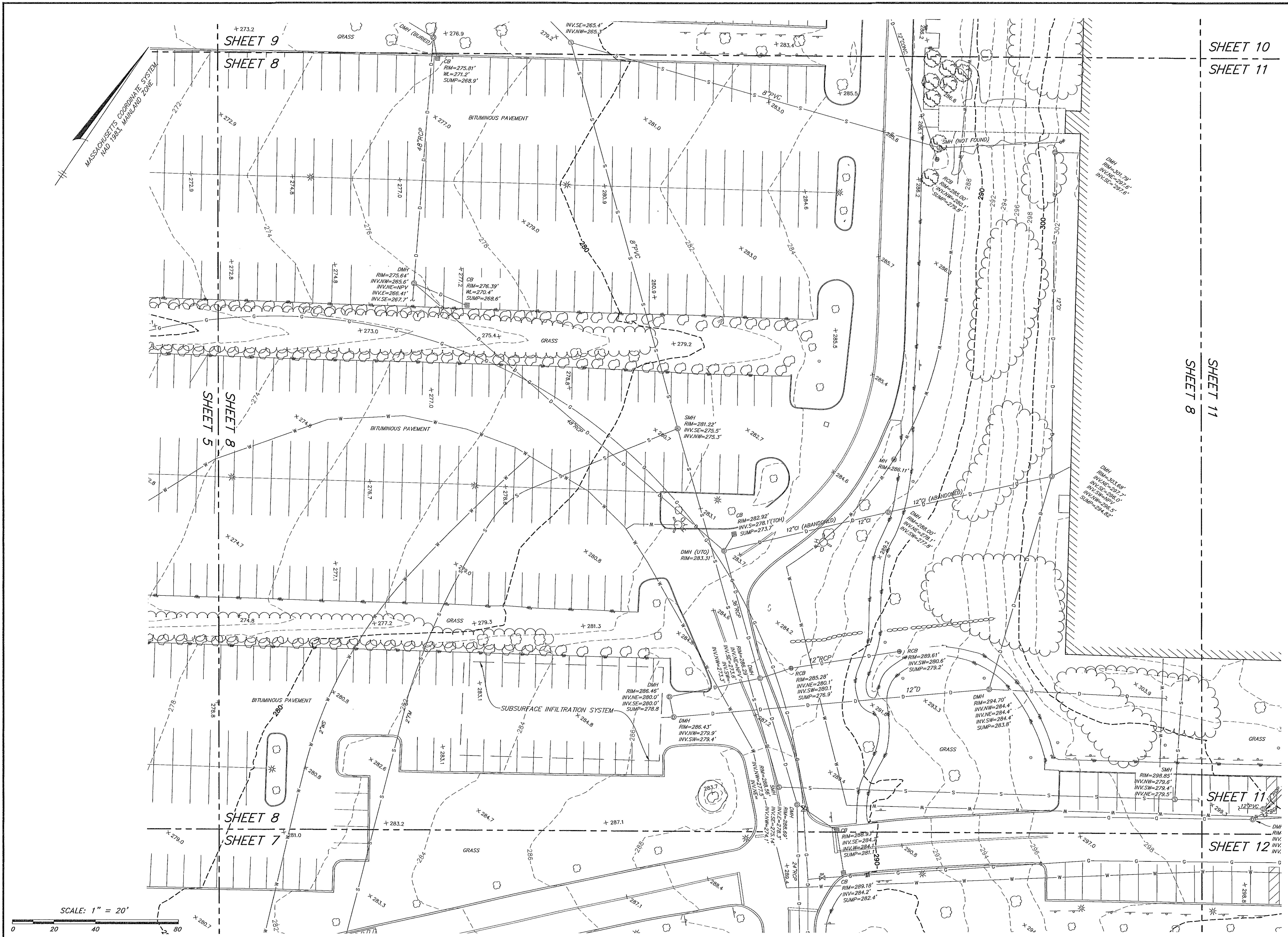
LAYOUT: EC

SHEET: 6 OF 16

PROJECT NO.: **2557**

Digitized by srujanika@gmail.com

<img alt="A detailed black and white technical map of a property area, likely a zoning or survey map. The map shows various lots, buildings, roads, and geographical features. Key features include: 1. A main road labeled 'KING (60' WIDE) STREET' at the bottom, with a note '(1925 STATE HIGHWAY LAYOUT NO. 2276)'. 2. Lots labeled '512 KING STREET REAL ESTATE TRUST' (Deed Book 19364, Page 120) and 'A&R REAL ESTATE TRUST' (Deed Book 15944, Page 488). 3. Buildings labeled '#510 EXISTING DWELLING' and '#512 EXISTING DWELLING'. 4. A 'BITUMINOUS PAVEMENT' road with elevations like +265.1, +268.6, and +270.8. 5. A 'WOODED' area and a 'BIORETENTION BASIN'. 6. A 'NO STRUCTURE LOCATED' area. 7. A 'GLOBAL COMPANIES LLC' property boundary. 8. A '136.34' wide right-of-way for '40' WIDE RIGHT OF WAY' with 'DEED BOOK 4749, PAGE 222', 'DEED BOOK 4812, PAGE 443', 'DEED BOOK 14103, PAGE 236', and 'PLAN BOOK 338, PLAN 43'. 9. Various property lines and corner markers like 'CB', 'CB (UTO)', 'DMH (UTO)', and 'NAIL (FND)'. 10. Elevation markers such as +264.4, +265.0, +266.9, +267.3, +268.9, +269.3, +270.0, +271.0, +272.0, +273.0, +274.0, +275.0, +276.0, +277.0, +278.0, +279.0, +280.0, +281.0, +282.0, +283.0, +284.0, +285.0, +286.0, +287.0, +288.0, +289.0, +290.0, +291.0, +292.0, +293.0, +294.0, +295.0, +296.0, +297.0, +298.0, +299.0, +300.0, +301.0, +302.0, +303.0, +304.0, +305.0, +306.0, +307.0, +308.0, +309.0, +310.0, +311.0, +312.0, +313.0, +314.0, +315.0, +316.0, +317.0, +318.0, +319.0, +320.0, +321.0, +322.0, +323.0, +324.0, +325.0, +326.0, +327.0, +328.0, +329.0, +330.0, +331.0, +332.0, +333.0, +334.0, +335.0, +336.0, +337.0, +338.0, +339.0, +340.0, +341.0, +342.0, +343.0, +344.0, +345.0, +346.0, +347.0, +348.0, +349.0, +350.0, +351.0, +352.0, +353.0, +354.0, +355.0, +356.0, +357.0, +358.0, +359.0, +360.0, +361.0, +362.0, +363.0, +364.0, +365.0, +366.0, +367.0, +368.0, +369.0, +370.0, +371.0, +372.0, +373.0, +374.0, +375.0, +376.0, +377.0, +378.0, +379.0, +380.0, +381.0, +382.0, +383.0, +384.0, 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SITE ADDRESS:

#550
ING STREET

Littleton, Massachusetts

PREPARED FOR:
**LUPOLI
COMPANIES,
LLC**

290 Merrimack Street
Lawrence, Massachusetts 01843

HANCOCK ASSOCIATES

Civil Engineers

Land Surveyors

Wetland Scientists

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COMMONWEALTH OF MASSACHUSETTS
GREGORY G.
GOULD
No. 51280
PROFESSIONAL
11-22-24

1 JAR GGG 11/22/24 ADDITIONAL UTILITIES

DATE: 4/11/2022	DRAWN BY: M
SCALE: 1" = 20'	CHECK BY: GG

EXISTING CONDITIONS PLAN OF LAND IN LITTLETON, MASSACHUSETTS

PLOT DATE: Nov 25, 2024 9:02 am
PATH: X:\25579-Lupoli-Littleton\Surv\DWG\

10 AUGUST 1993

LAYOUT: EC

SHEET: 8 OF 16

PROJECT NO.: **2557**

SITE ADDRESS:

#550
KING STREET

Littleton, Massachusetts

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Lawrence, Massachusetts 01843

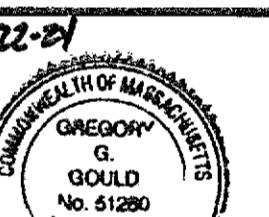
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1 JAR GGC 11/22/24 ADDITIONAL UTILITIES

DATE: 4/11/2022 DRAWN BY: MJS
SCALE: 1" = 20' CHECK BY: GGG

EXISTING
CONDITIONS
PLAN OF LAND
IN
LITTLETON,
MASSACHUSETTS

PLOT DATE: Nov 25, 2024 9:03 am
PATH: X:\25579-Lupoli-Littleton\Sur\DWG\

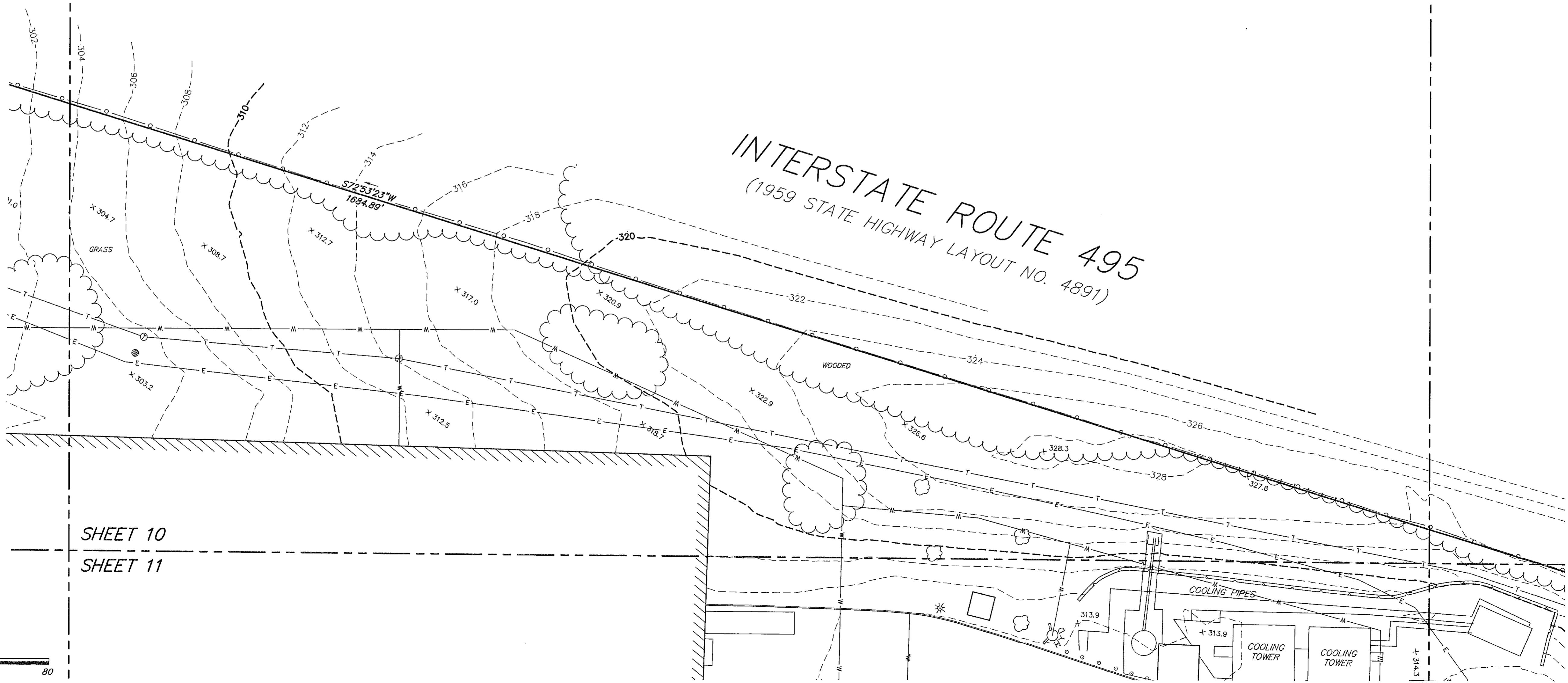
DWG: 25579sv.dwg
LAYOUT: EC
SHEET: 10 OF 16

PROJECT NO.: 25579

MASSACHUSETTS COORDINATE SYSTEM,
NAD 1953, MAINLAND FE ZONE,

SHEET 9

SHEET 10



SITE ADDRESS:

#550
KING STREET

Littleton, Massachusetts

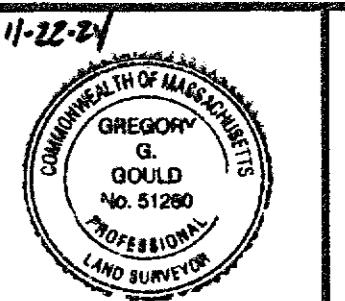
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Lawrence, Massachusetts 01843HANCOCK
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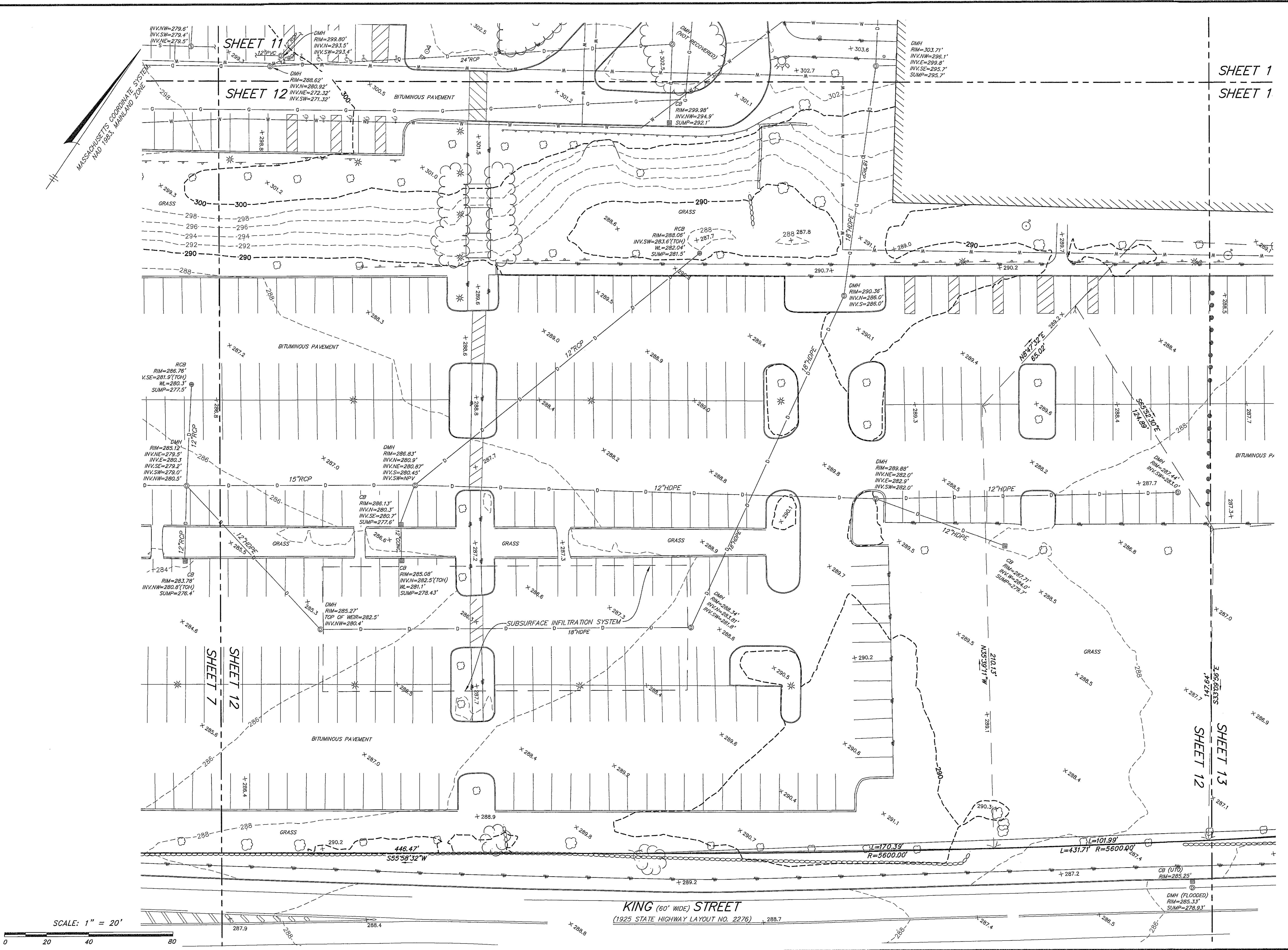
1 JAR GGG 11/22/24 ADDITIONAL UTILITIES

DATE: 4/11/2022 DRAWN BY: MJS
SCALE: 1" = 20' CHECK BY: GGC

**EXISTING
CONDITIONS
PLAN OF LAND
IN
LITTLETON,
MASSACHUSETTS**

PLOT DATE: Nov 25, 2024 9:04 am
PATH: X:\25579-Lupoli-Littleton\Surv\DWG\

DWG: 25579sv.dwg
LAYOUT: EC
SHEET: 12 OF 16
PROJECT NO.: 25579



SITE ADDRESS:

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Littleton, Massachusetts

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290 Merrimack Street
Lawrence, Massachusetts 01843

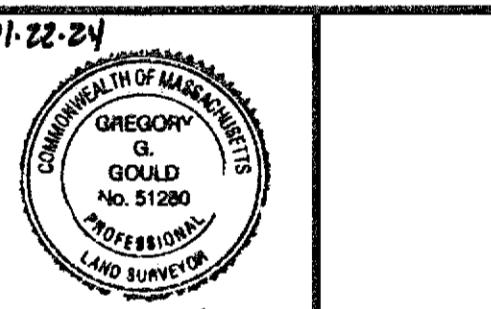
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1 JAR GGG 11/22/24 ADDITIONAL UTILITIES
DATE: 4/11/2022 DRAWN BY: MJS
SCALE: 1" = 20' CHECK BY: GGG

**EXISTING
CONDITIONS
PLAN OF LAND
IN
LITTLETON,
MASSACHUSETTS**

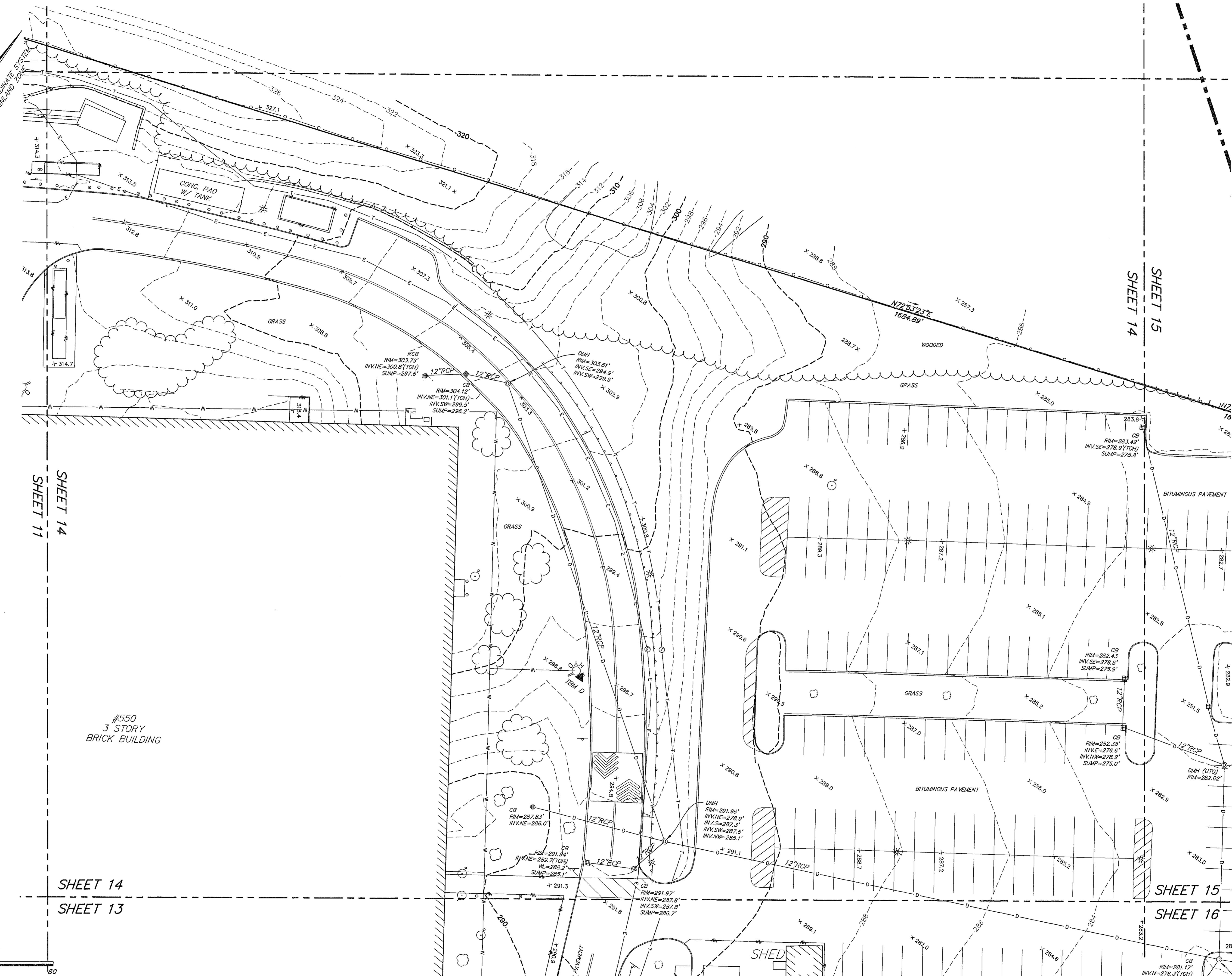
PLOT DATE: Nov 25, 2024 9:08 am
PATH: X:\25579-Lupoli-Littleton\Sur\DWG\

DWG: 25579sv.dwg

LAYOUT: EC

SHEET: 14 OF 16

PROJECT NO.: 25579



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11-22-24

1	JAR	GGG	11/22/24	ADDITIONAL UTILITIES
---	-----	-----	----------	----------------------

DATE: 4/11/2022	DRAWN BY: M
SCALE: 1" = 20'	CHECK BY: G

EXISTING

WATER CONDITIONS

PLAN OF LAND

IN
LITTLETON

LITTLETON, MASSACHUSETTS

PLOT DATE: Nov 25, 2024 9:07 am
PATH: X:\25579-Lupoff-Littleton\Surv\DWG\

DWG: 25579sv.dwg

LAYOUT: EC

PROJECT NO.: **2557**

卷之三十一

SITE ADDRESS:

#550
KING STREET

Littleton, Massachusetts

PREPARED FOR:

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COMPANIES, LLC

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Lawrence, Massachusetts 01843

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11-22-21



1 JAR GCG 11/22/24 ADDITIONAL UTILITIES

DATE: 4/11/2022 DRAWN BY: MJS
SCALE: 1" = 20' CHECK BY: GCG

EXISTING
CONDITIONS
PLAN OF LAND
IN
LITTLETON,
MASSACHUSETTS

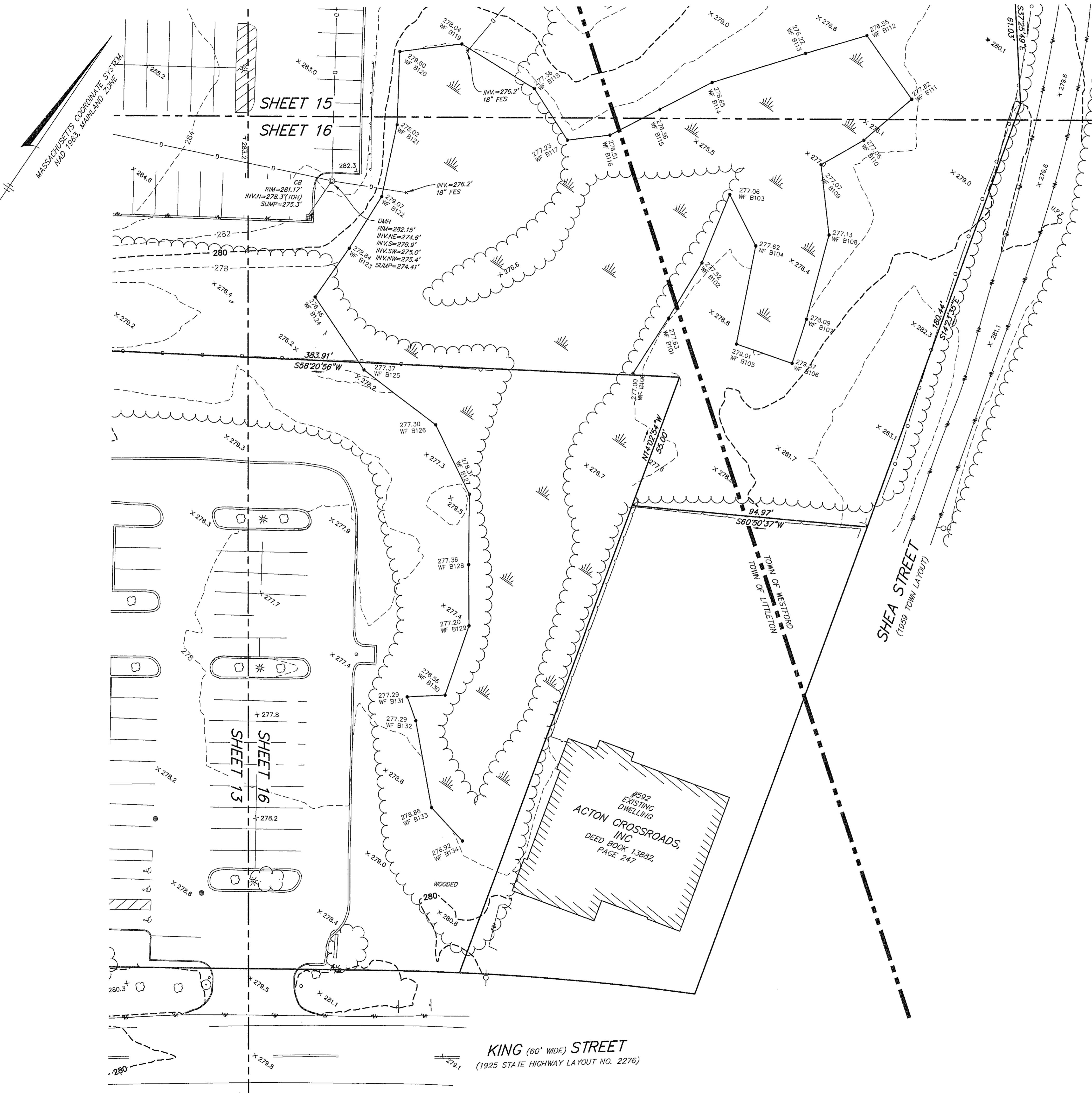
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PATH: X:\23579-Lupoli-Littleton\Surv\DWG\

DWG: 25579sv.dwg

LAYOUT: EC

SHEET: 16 OF 16

PROJECT NO.: 25579



ARCHITECT:
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617-547-8120

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Lawrence, MA
978-681-7777

CONTRACTOR:
CONTRACTOR FIRM
Address
City, State ZIP
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PCA PROJECT #: 24067.11

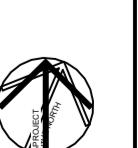
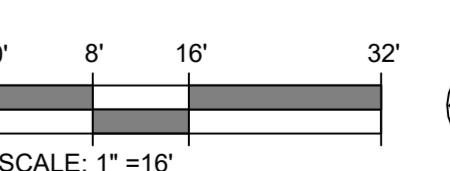
KING ST, BLDG 1100

KING ST, LITTLETON MA

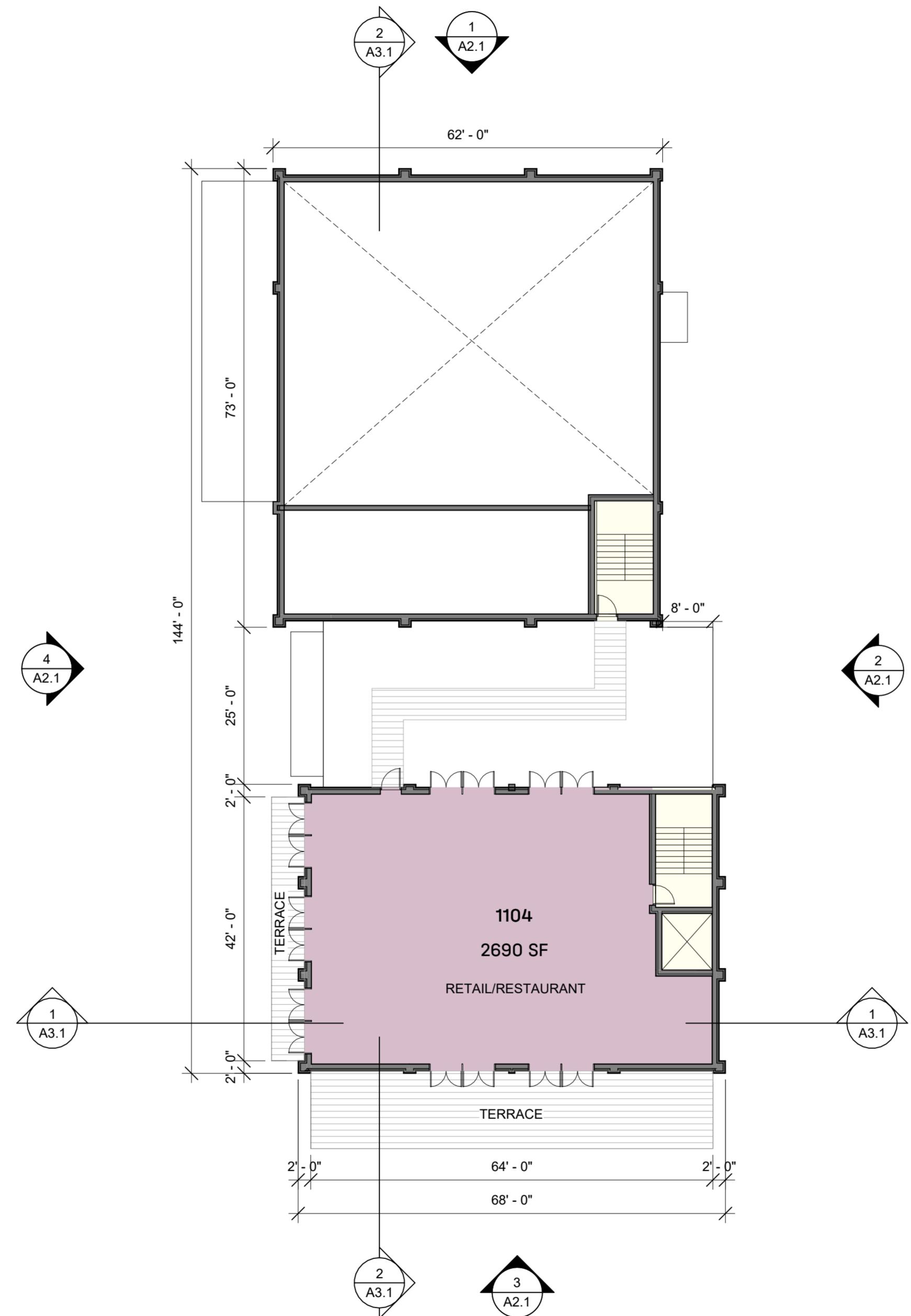
1100 - FLOOR PLANS

A1.1

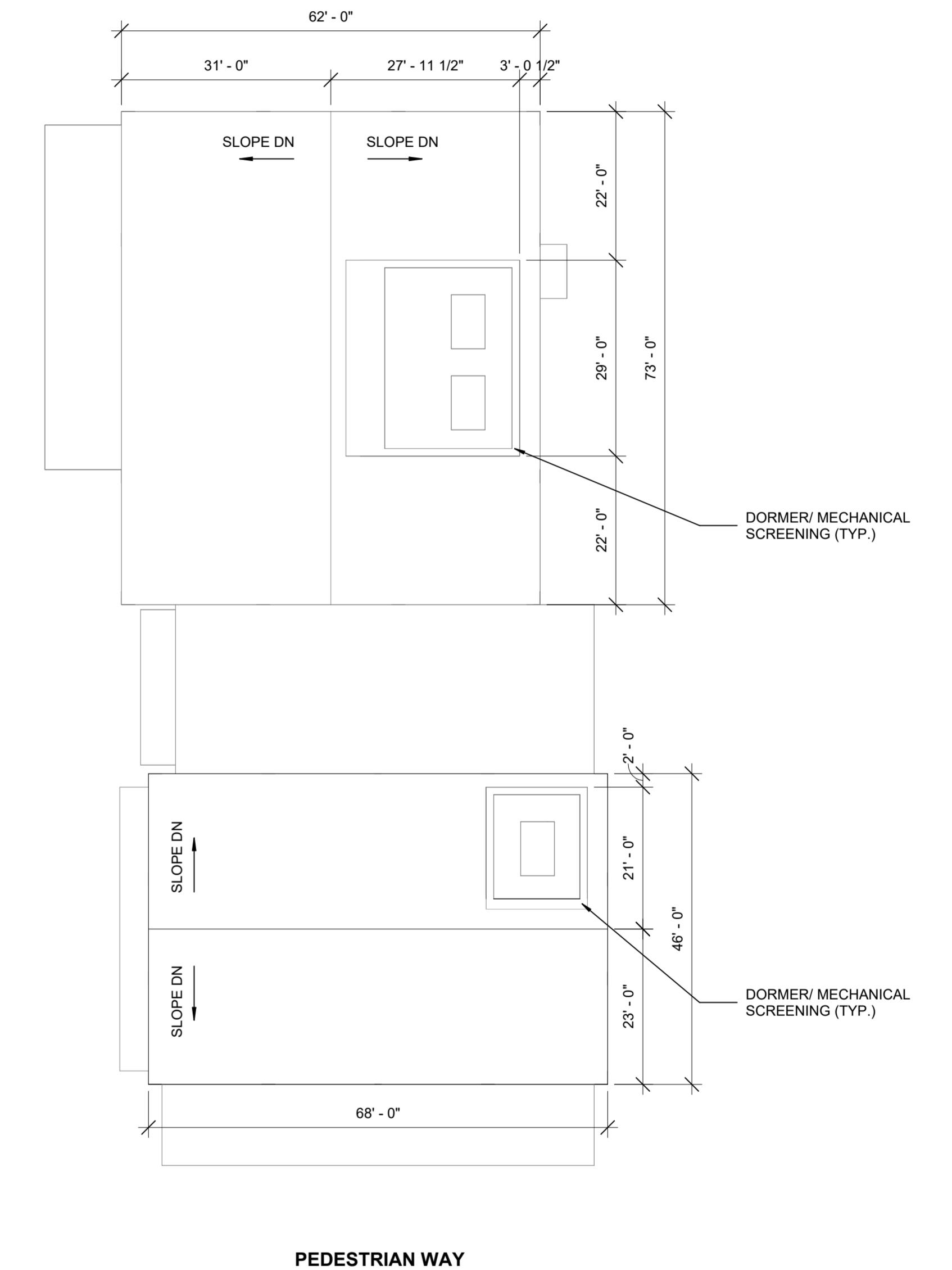
ORIGINAL ISSUE:
PERMITTING
11/26/2025
SCALE: 1/16" = 1'-0"



1 1100 - GROUND FLOOR CONCEPT
SCALE: 1/16" = 1'-0"



2 1100 - LEVEL 2 CONCEPT
SCALE: 1/16" = 1'-0"



3 1100 - ROOF PLAN CONCEPT
SCALE: 1/16" = 1'-0"

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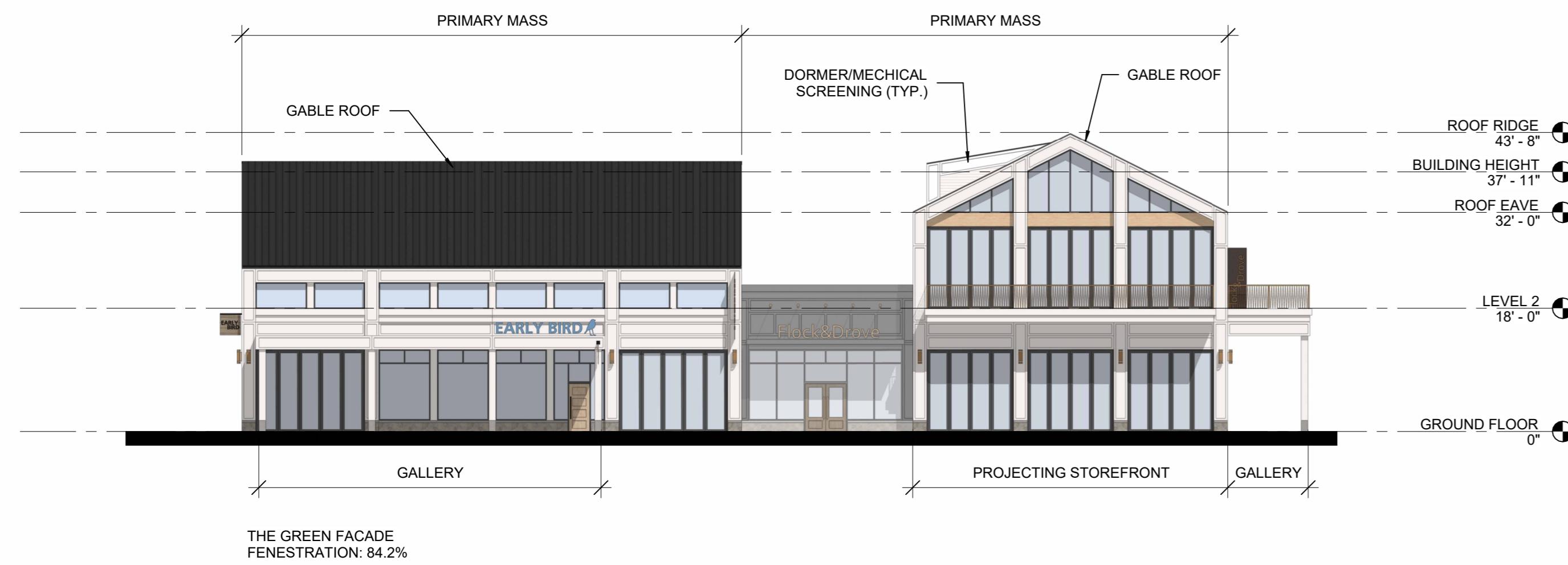
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Address
City, State ZIP
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KING ST, BLDG 1100
PCA PROJECT #: 24067.1

KING ST, LITTLETON MA



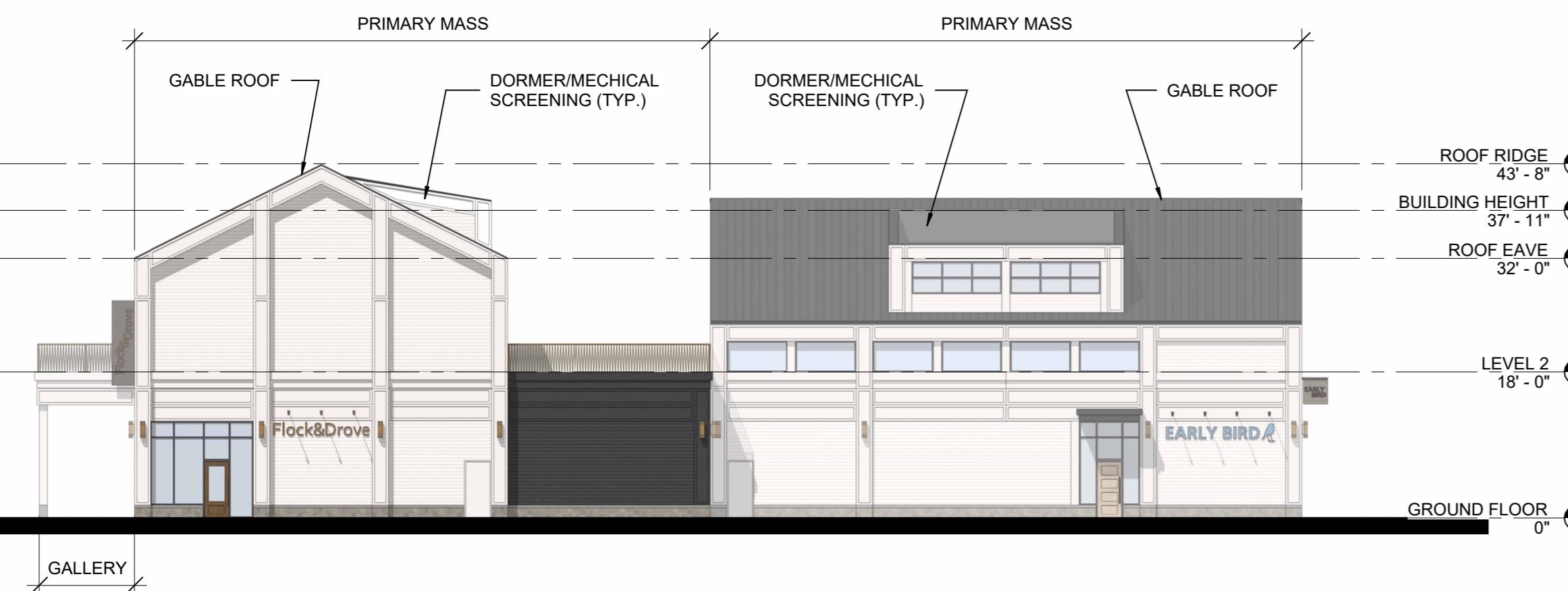
4 1100 - WEST ELEVATION

SCALE: 1/16" = 1'-0"



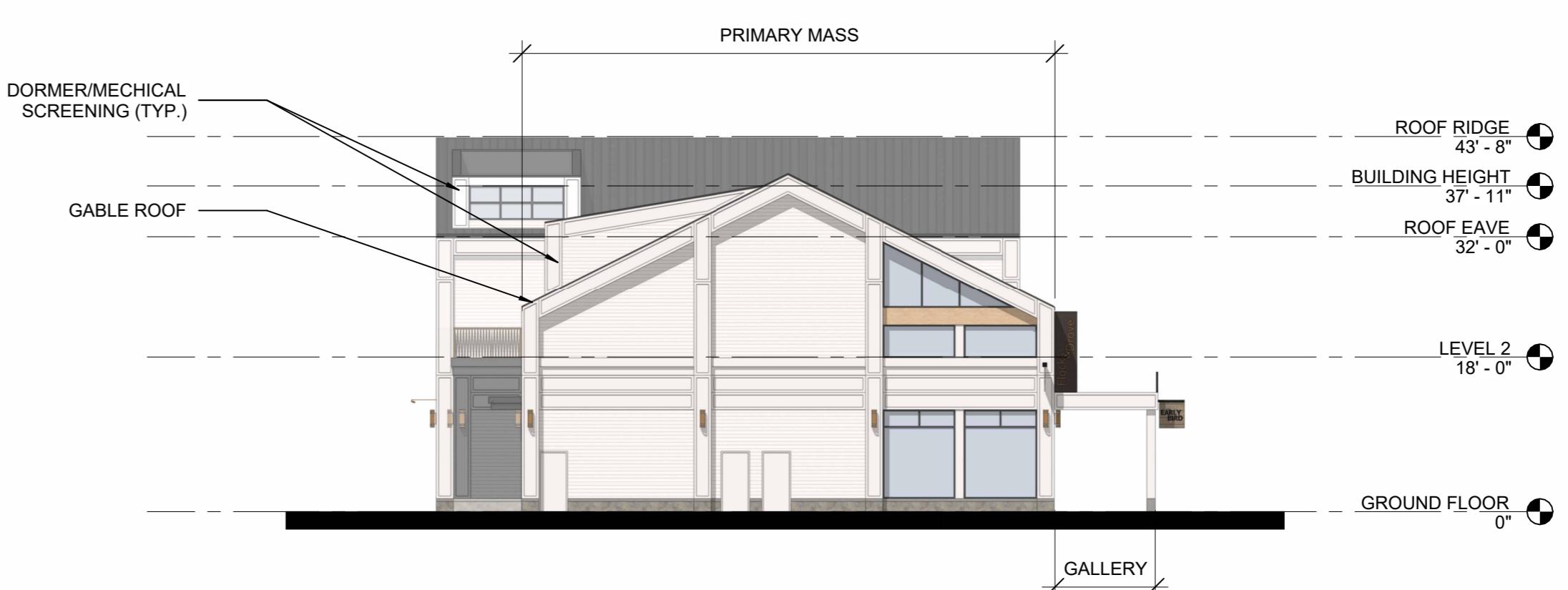
3 1100 - SOUTH ELEVATION

SCALE: 1/16" = 1'-0"



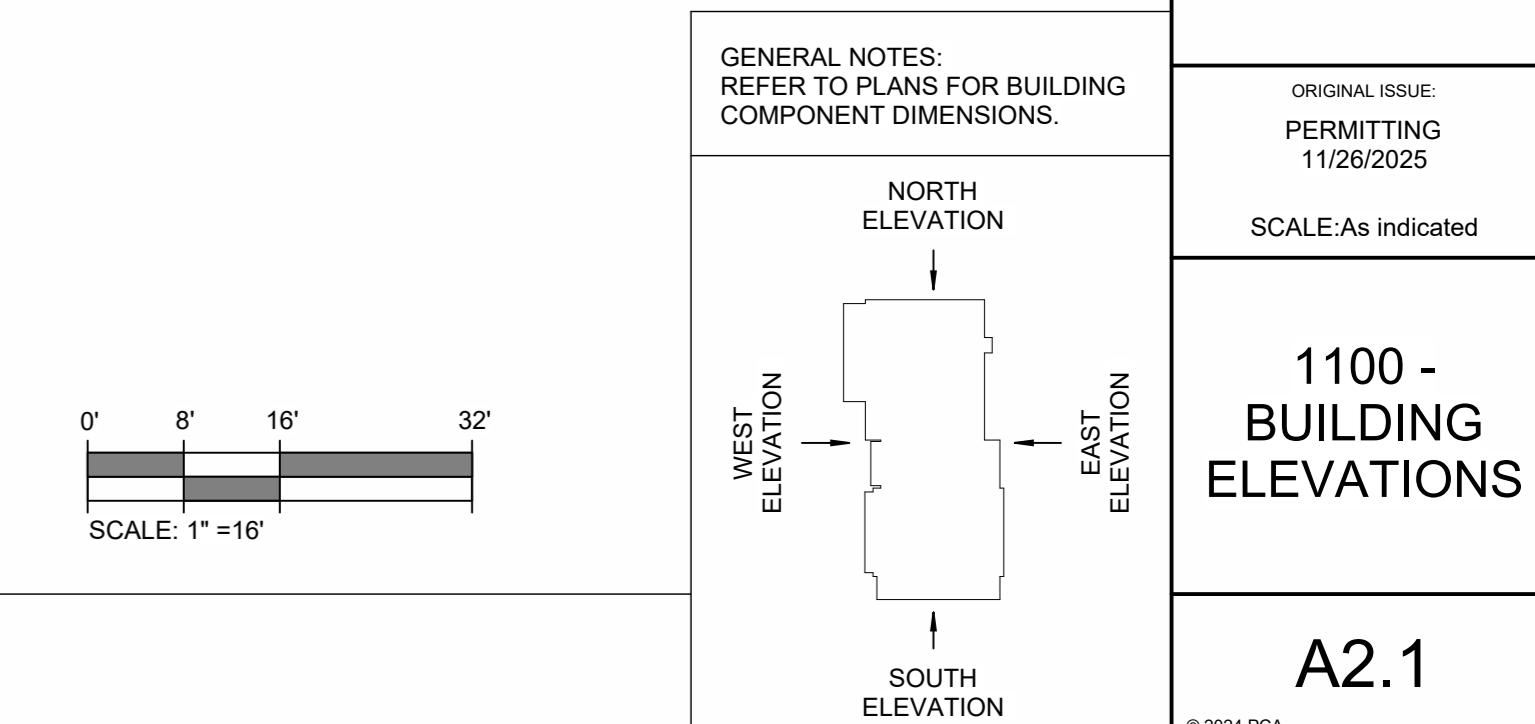
2 1100 EAST ELEVATION

SCALE: 1/16" = 1'-0"



1 1100 - NORTH ELEVATION

SCALE: 1/16" = 1'-0"



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Cambridge, MA 02139
617-547-8120

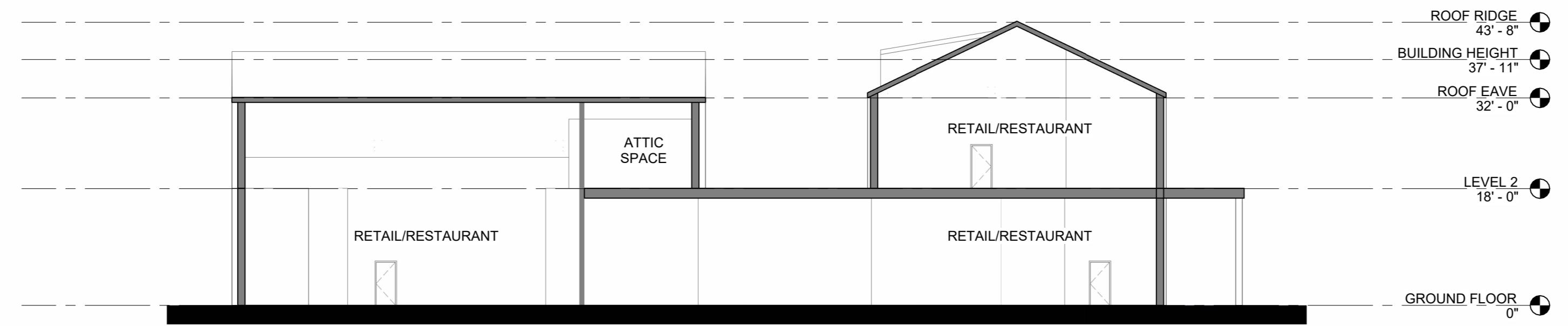
OWNER:
LUPOLI COMPANIES
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Lawrence, MA
978-681-7777

CONTRACTOR:
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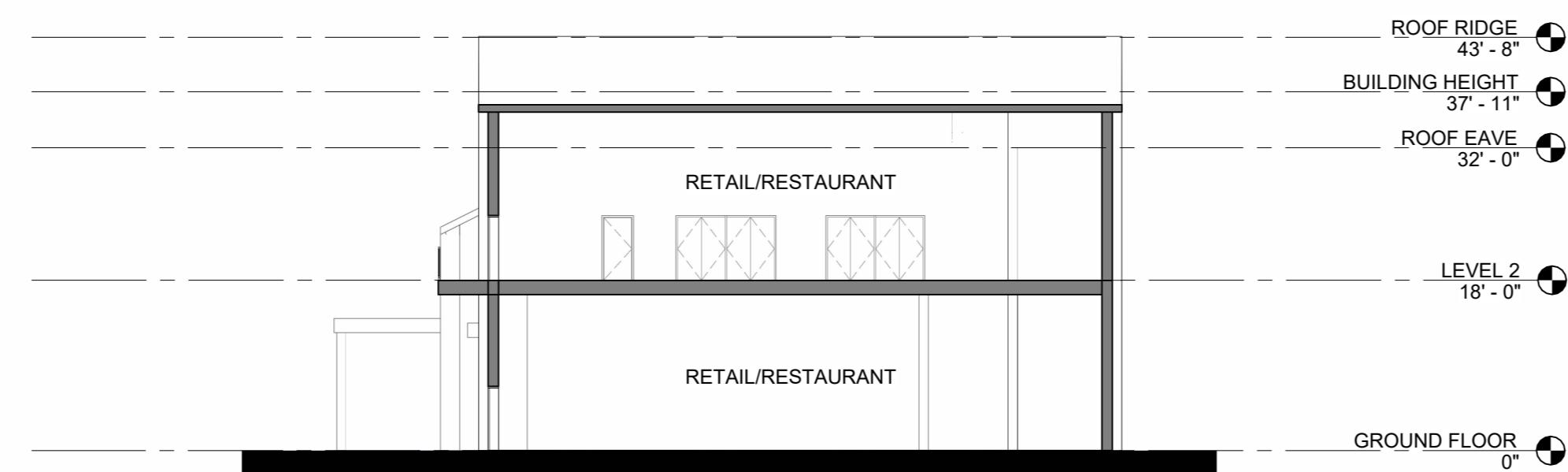
PCA PROJECT #: 24067.11

KING ST, BLDG 1100

KING ST, LITTLETON MA

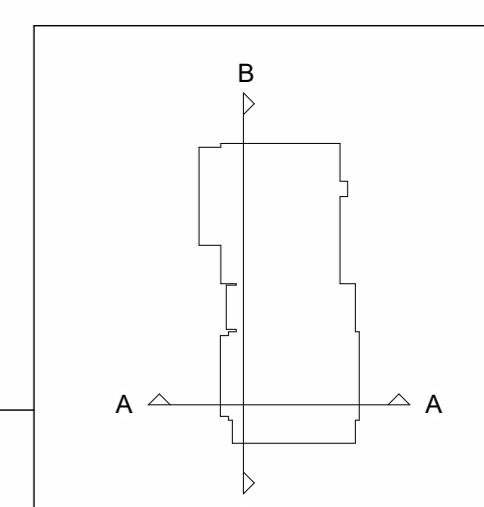


2 1100 - SECTION B
SCALE: 1/16" = 1'-0"



1 1100 - SECTION A
SCALE: 1/16" = 1'-0"

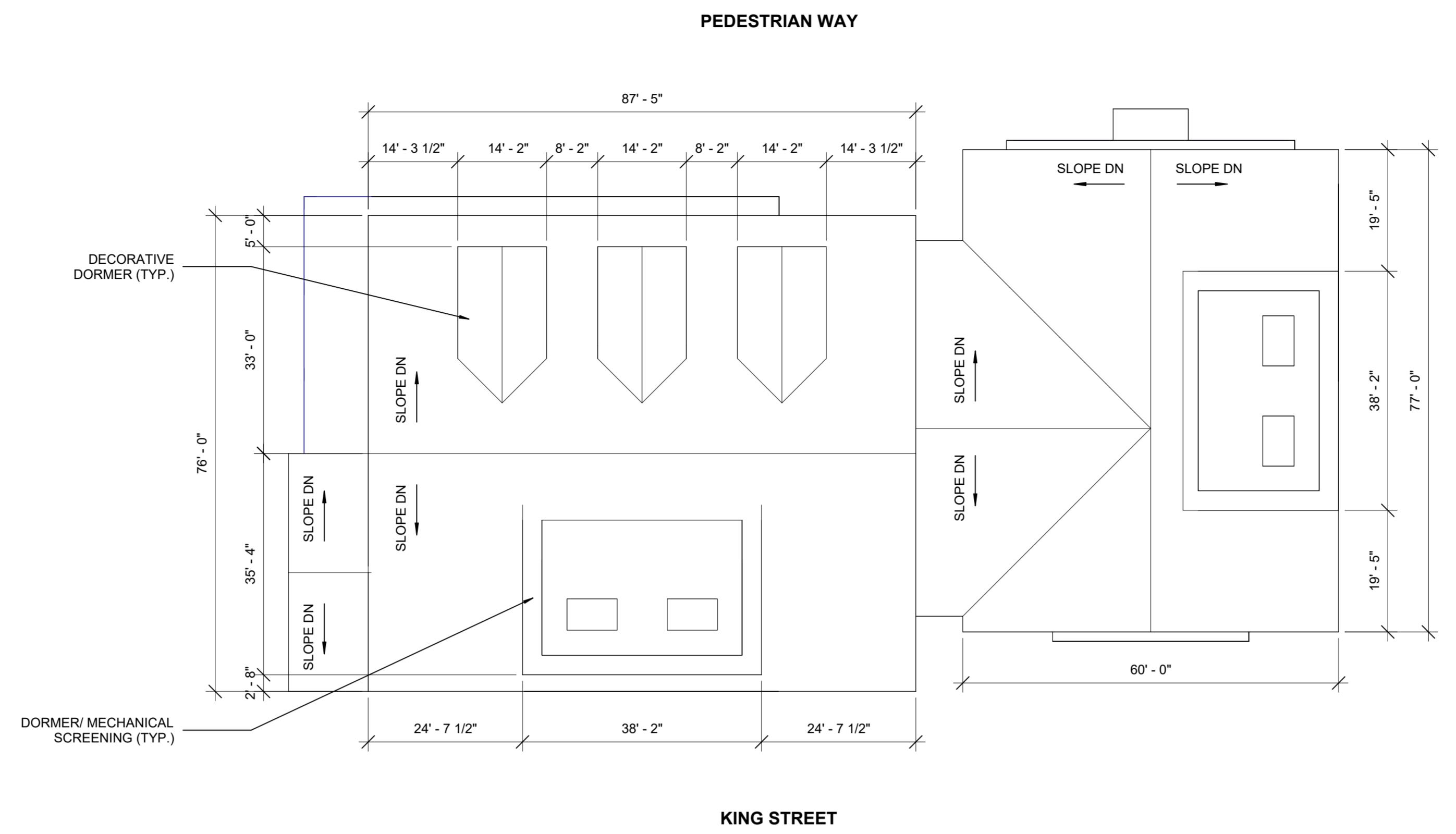
0' 8' 16' 32'
SCALE: 1"=16"



ORIGINAL ISSUE:
PERMITTING
11/26/2025
SCALE: As indicated

1100 -
BUILDING
SECTIONS

A3.1



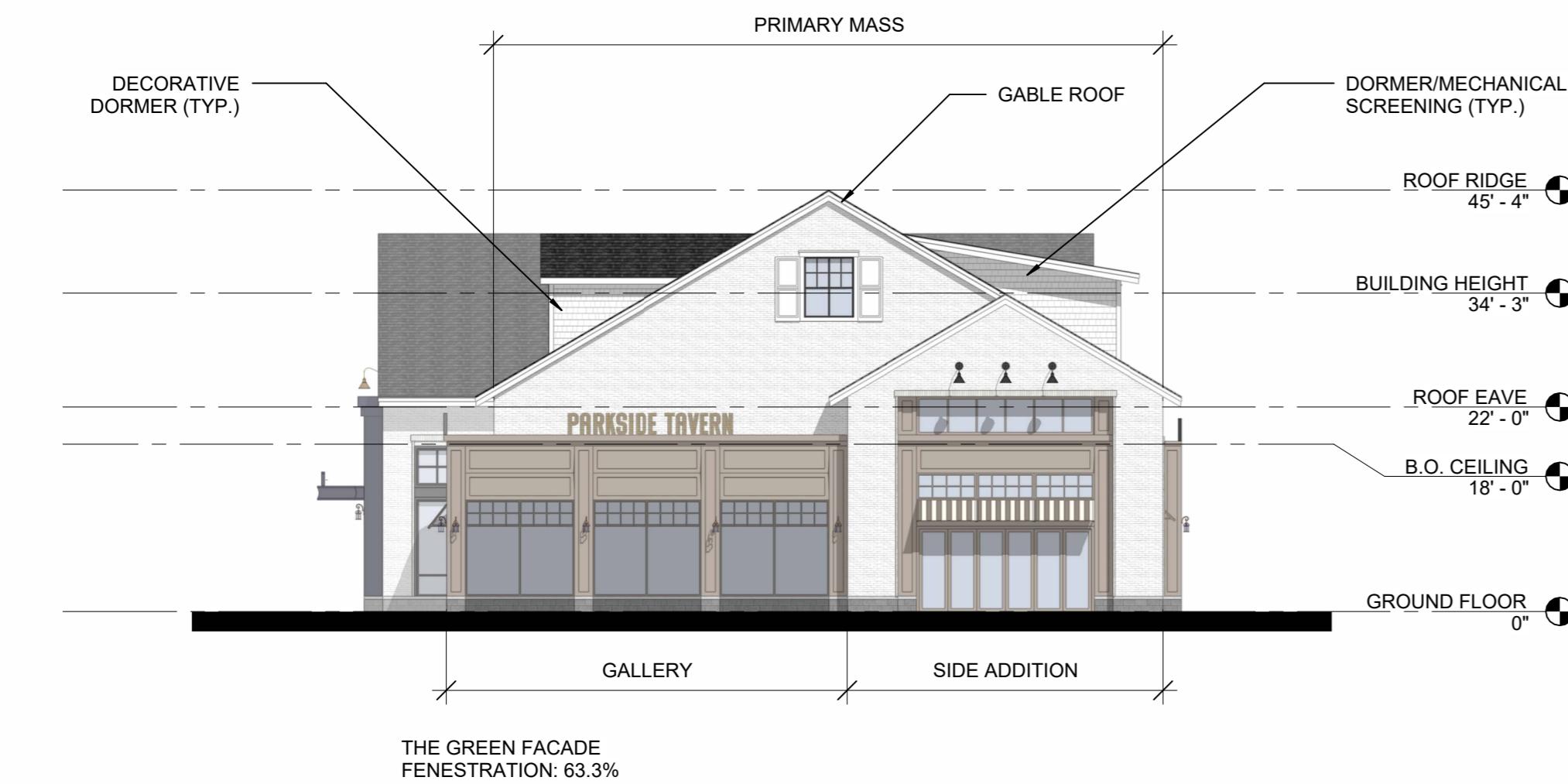
2 1200 - ROOF PLAN CONCEPT

SCALE: 1/16" = 1'-0"



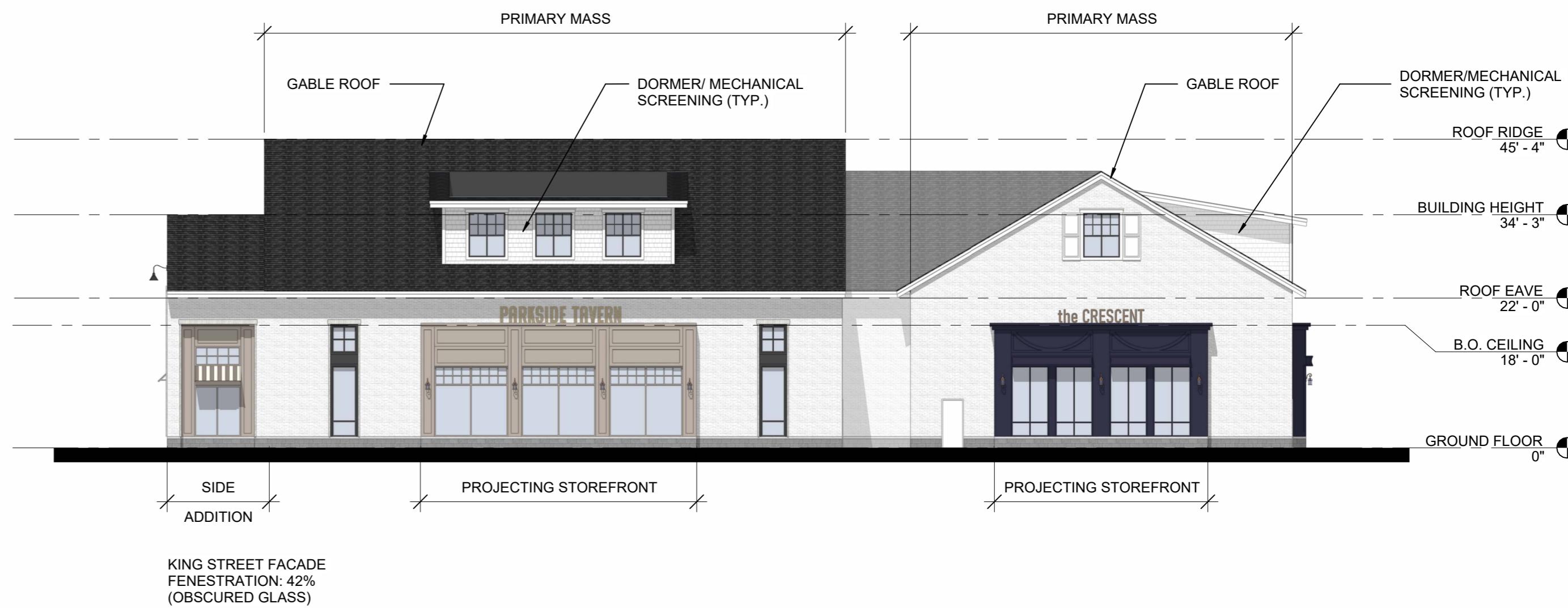
1 1200 - GROUND FLOOR CONCEPT

SCALE: 1/16" = 1'-0"



4 1200 - WEST ELEVATION

SCALE: 1/16" = 1'-0"



3 1200 - SOUTH ELEVATION

SCALE: 1/16" = 1'-0"



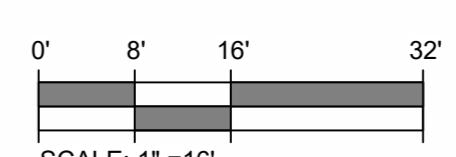
2 1200 - EAST ELEVATION

SCALE: 1/16" = 1'-0"



1 1200 - NORTH ELEVATION

SCALE: 1/16" = 1'-0"



SCALE: 1"-16"

GENERAL NOTES: REFER TO PLANS FOR BUILDING COMPONENT DIMENSIONS.	ORIGINAL ISSUE: PERMITTING 11/26/2025
	SCALE: As indicated
	1200 - BUILDING ELEVATIONS

A2.2

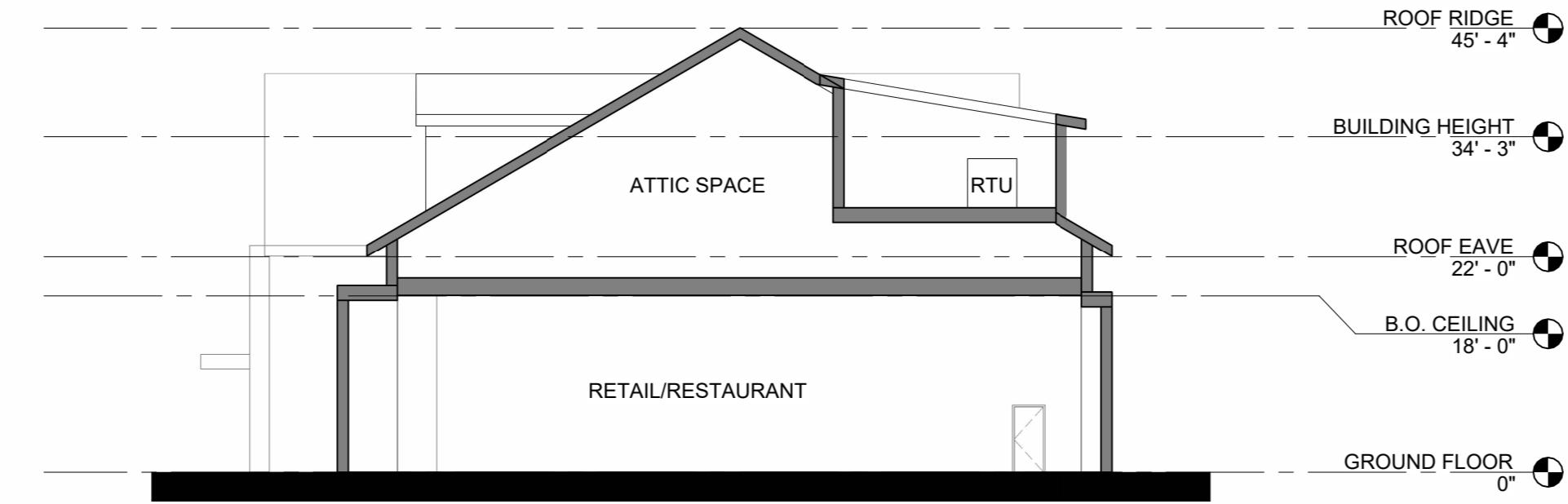
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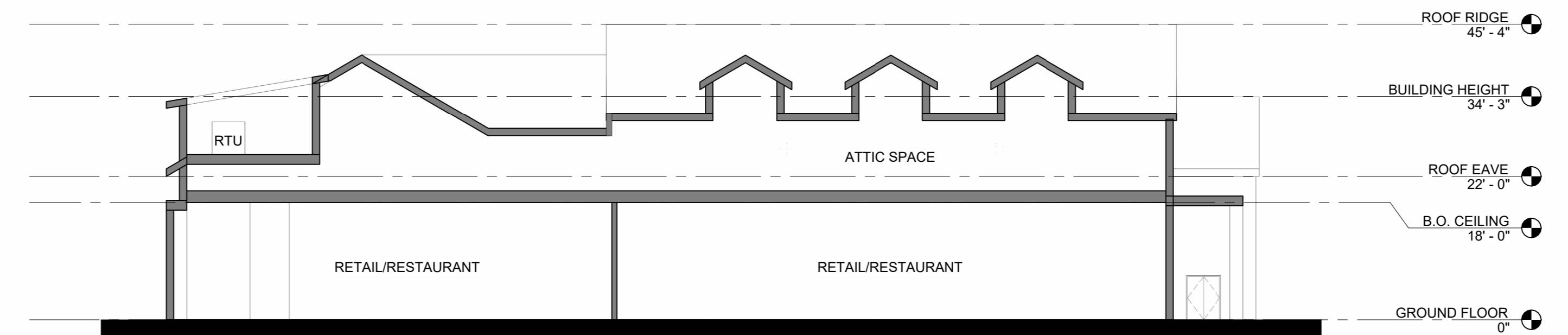
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Lawrence, MA
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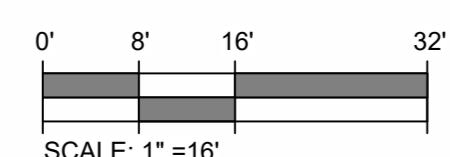
KING ST, BLDG 1200
PCA PROJECT #: 24067.11



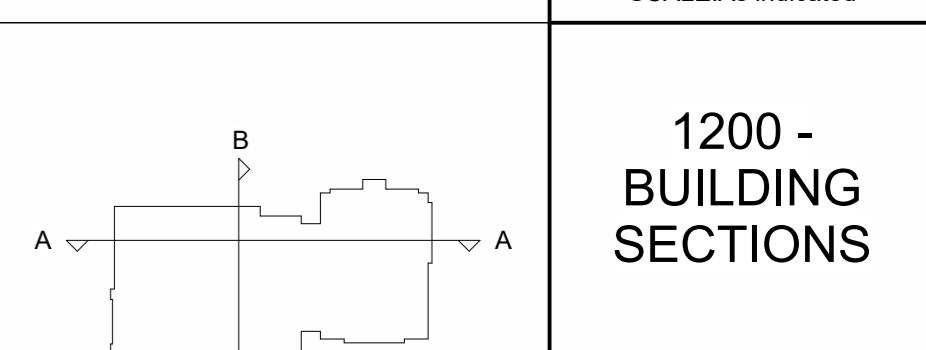
2 1200 - SECTION B
SCALE: 1/16" = 1'-0"



1 1200 - SECTION A
SCALE: 1/16" = 1'-0"



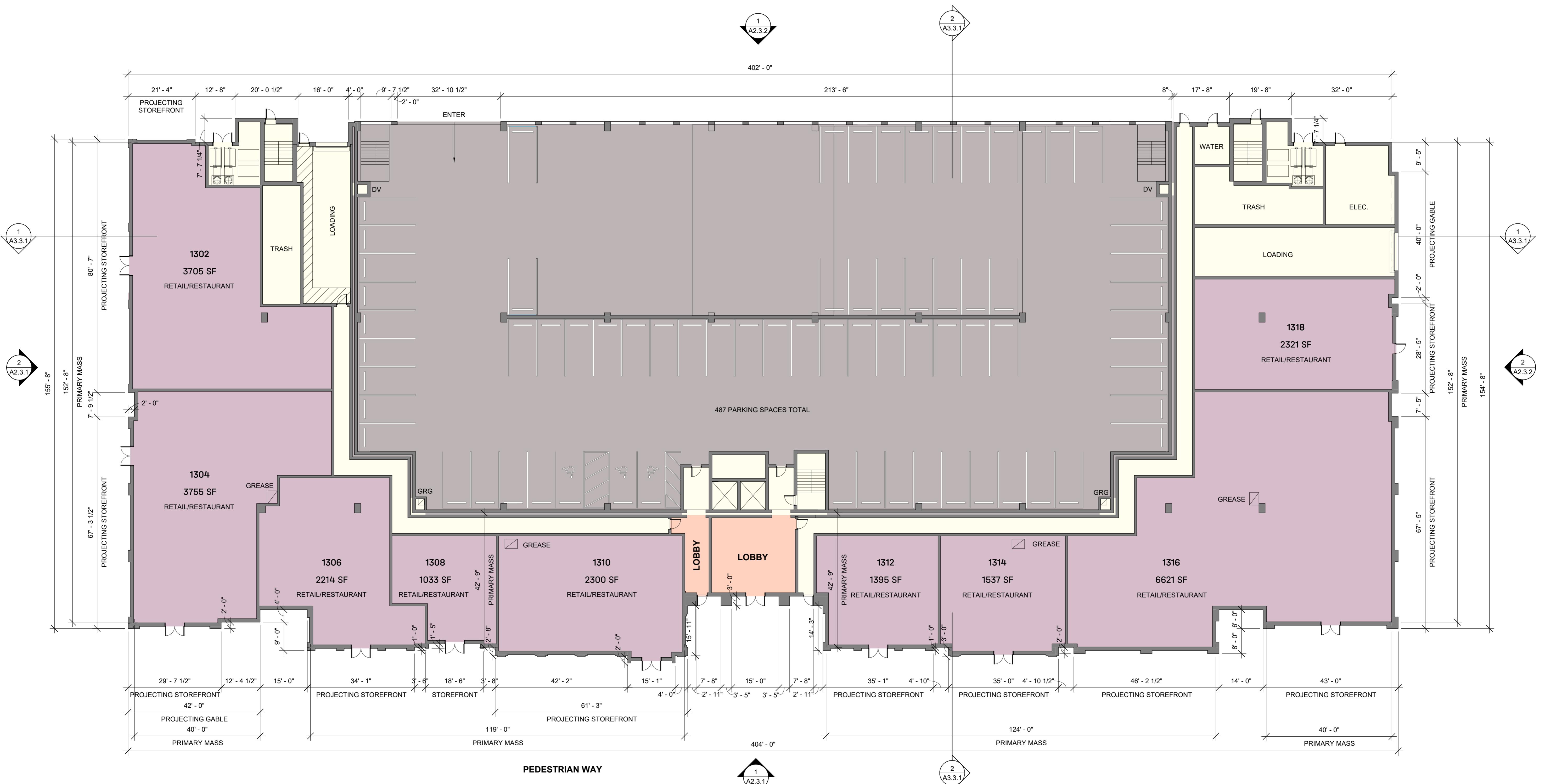
ORIGINAL ISSUE:
PERMITTING
11/26/2025
SCALE: As indicated

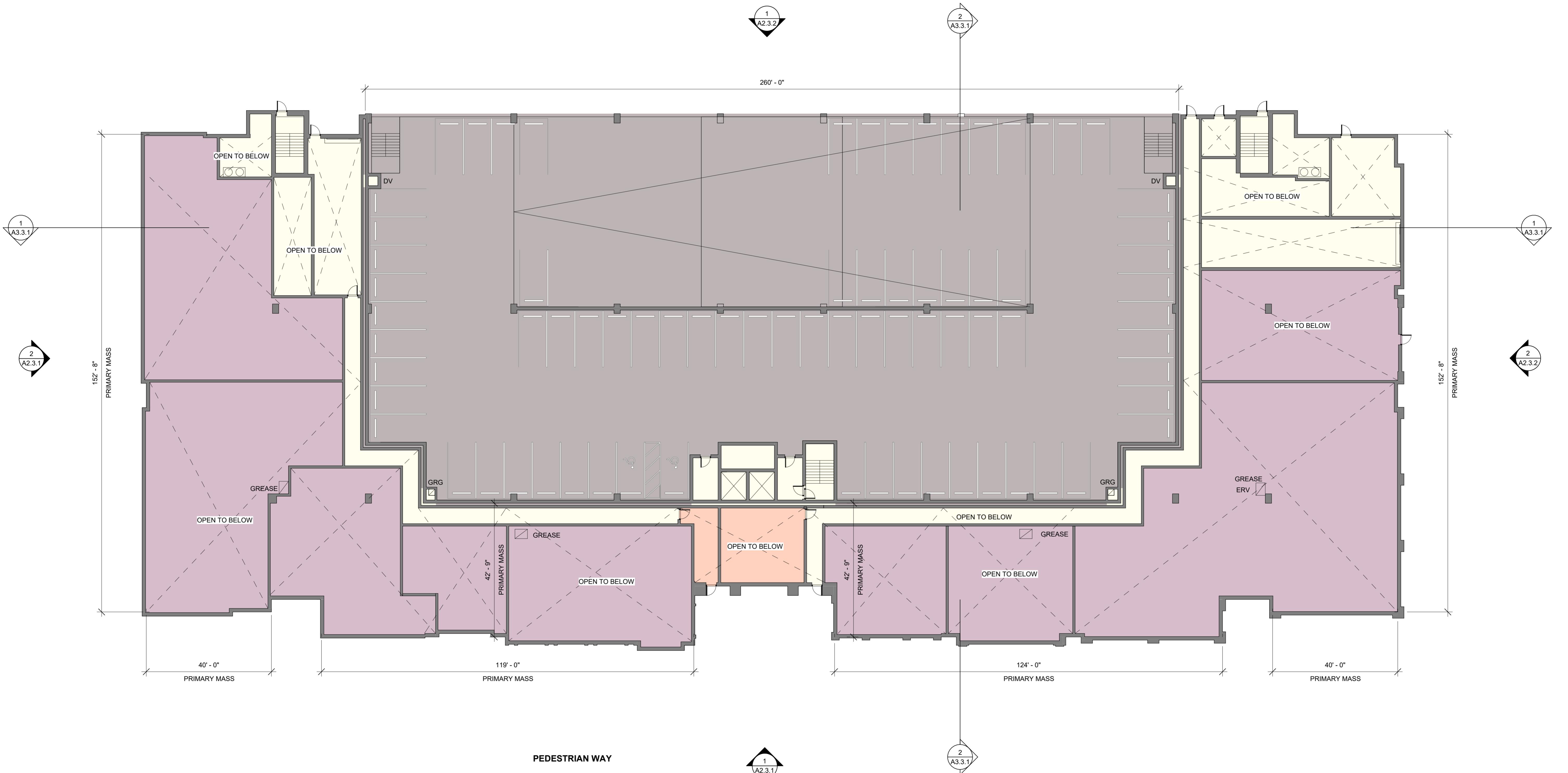


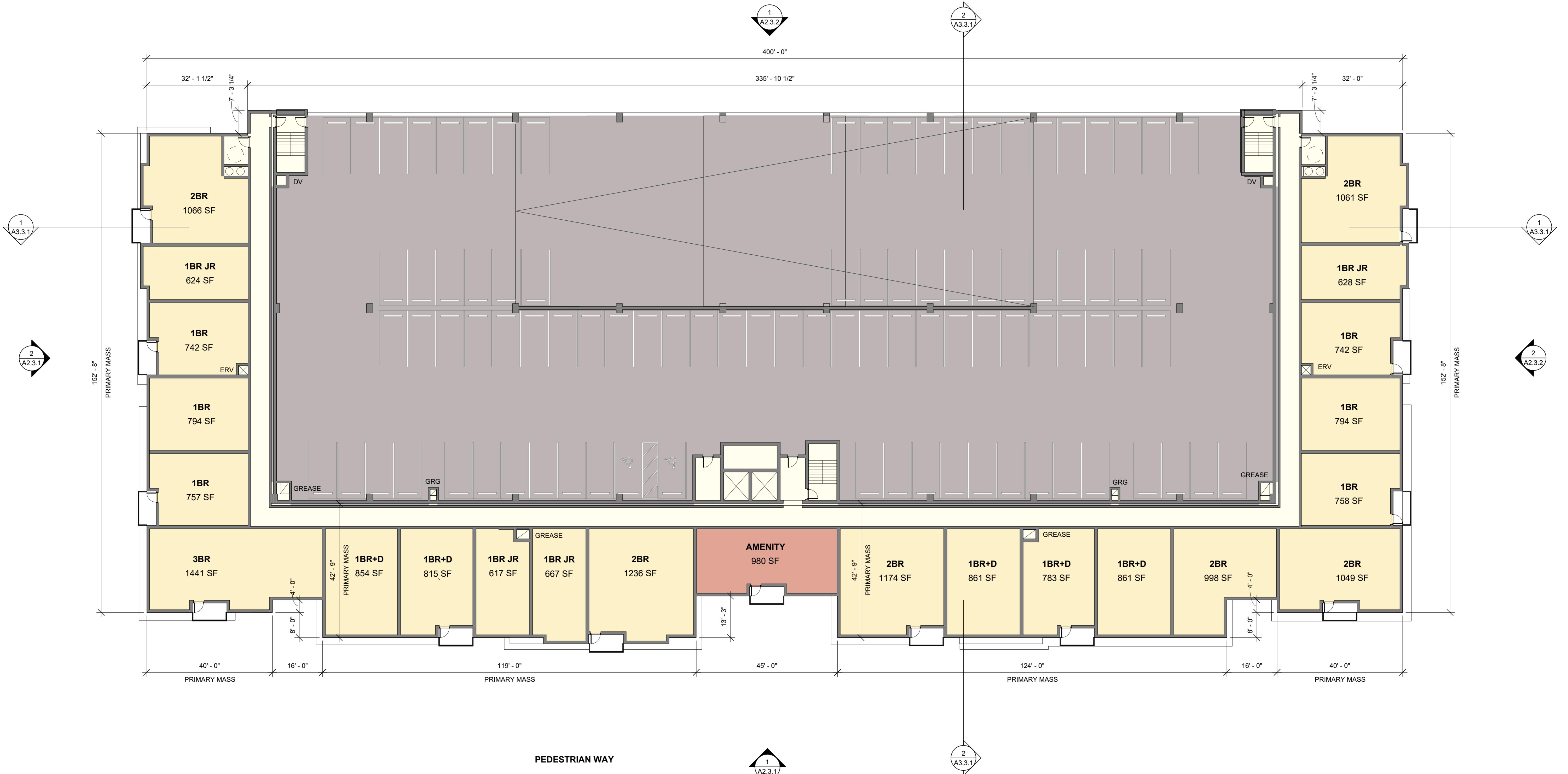
1200 -
BUILDING
SECTIONS

A3.2

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1000

1 1300 - LEVEL 3 CONCEPT

16'

A horizontal line with two vertical tick marks. The first section is labeled '8'' above it. The second section is labeled '16'' above it. Below the line, the text 'ALE: 1" =16'' is written.

1000 LEVEL 3 FLOOR PLAN

A1.3.3

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617-547-8120

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PCA PROJECT #: 24067.11

KING ST., BLDG I

11 of 11

ORIGINAL ISSUE:
PERMITTING
11/26/2025

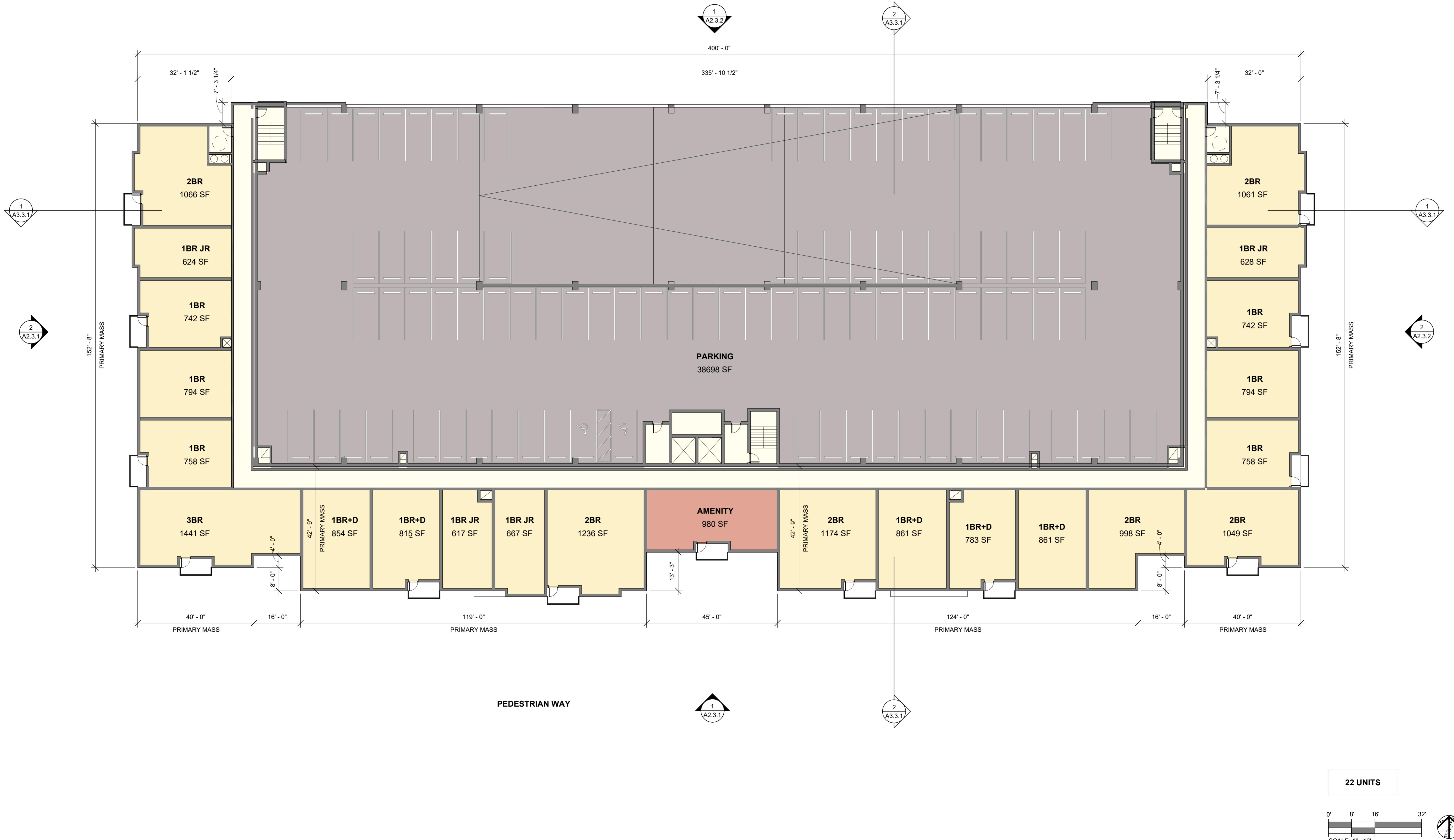
SCALE: 1/16" = 1'-0"

1300 - LEVEL 4 FLOOR PLAN

A1.3.4

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KING ST, BLDG 1300
PCA PROJECT #: 24067.11

KING STREET, LITTLETON MA

KING STREET, LITTLETON MA

ORIGINAL ISSUE:
PERMITTING
11/26/2025
SCALE: 1/16" = 1'-0"

1300 -
GARAGE
ROOF PLAN



0'
8'
16'
32'

SCALE: 1" = 16"



2 1300 - WEST ELEVATION

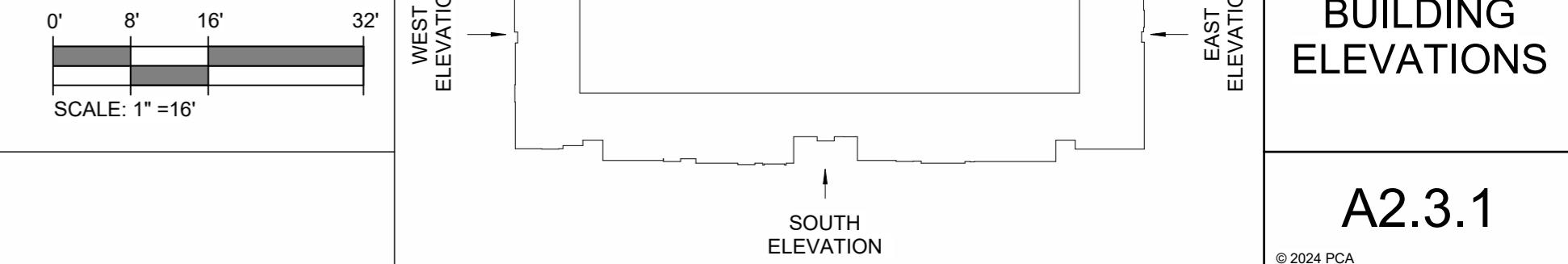
SCALE: 1/16" = 1'-0"



PEDESTRIAN WAY/ KING STREET FAÇADE FENESTRATION: 60.3%

1 1300 - SOUTH ELEVATION

SCALE: 1/16" = 1'-0"



A2.3.1

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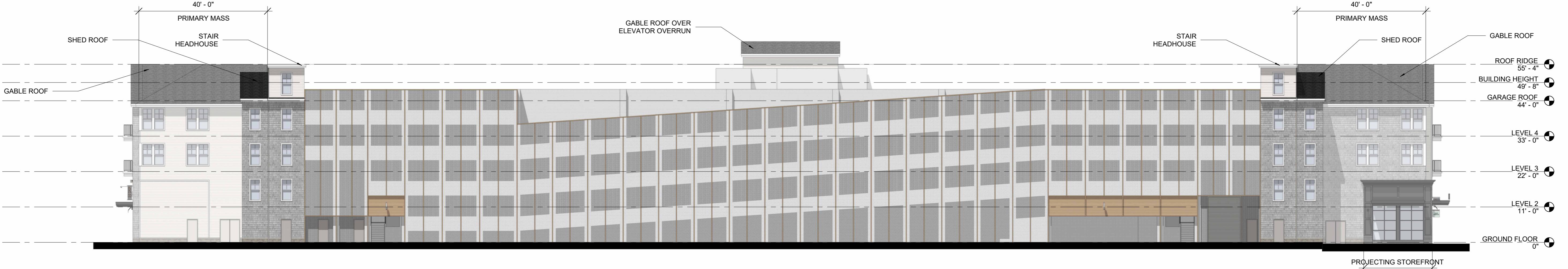
KING ST, BLDG 1300

KING STREET, LITTLETON MA



2 1300 - EAST ELEVATION

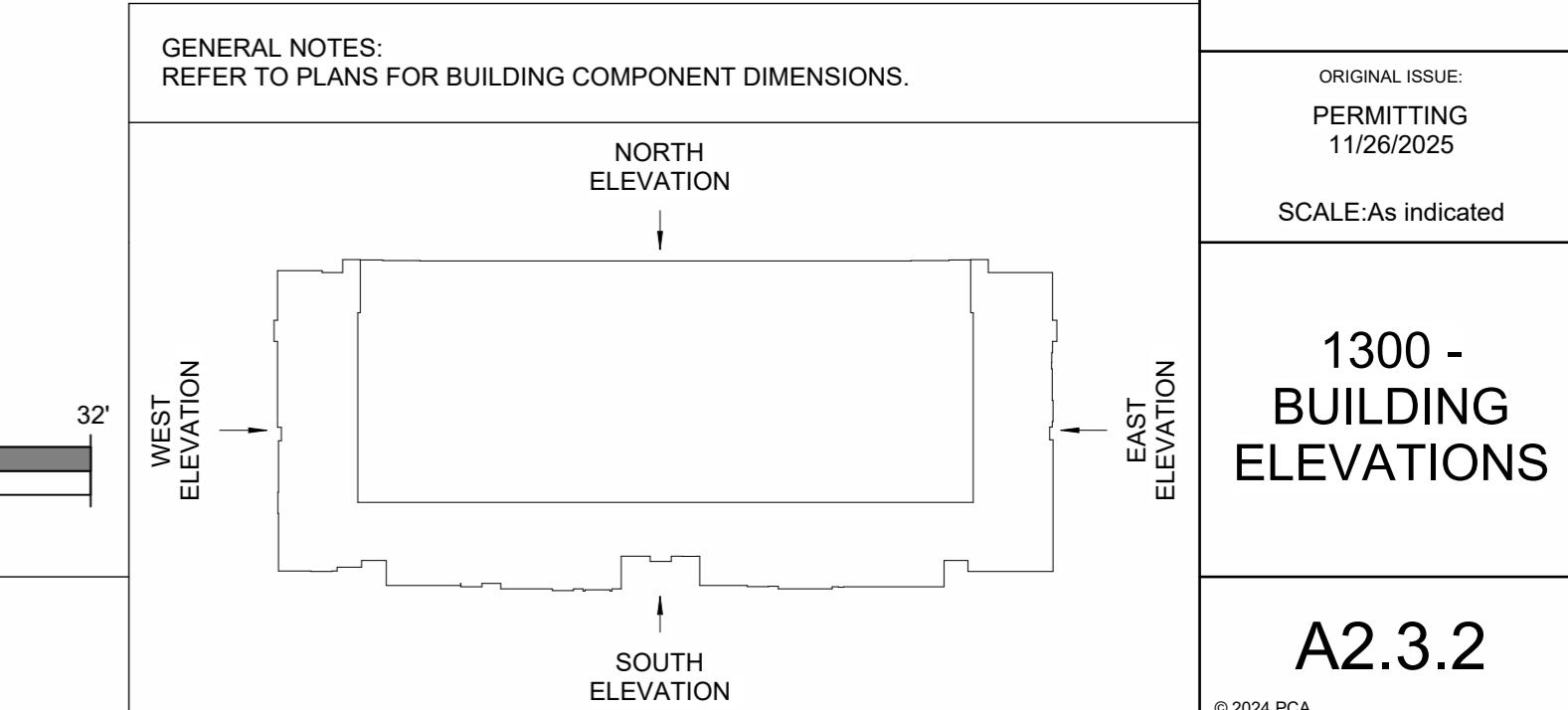
SCALE: 1/16" = 1'-0"



1 1300 - NORTH ELEVATION

SCALE: 1/16" = 1'-0"

0' 8' 16' 32'
SCALE: 1" = 16"



A2.3.2

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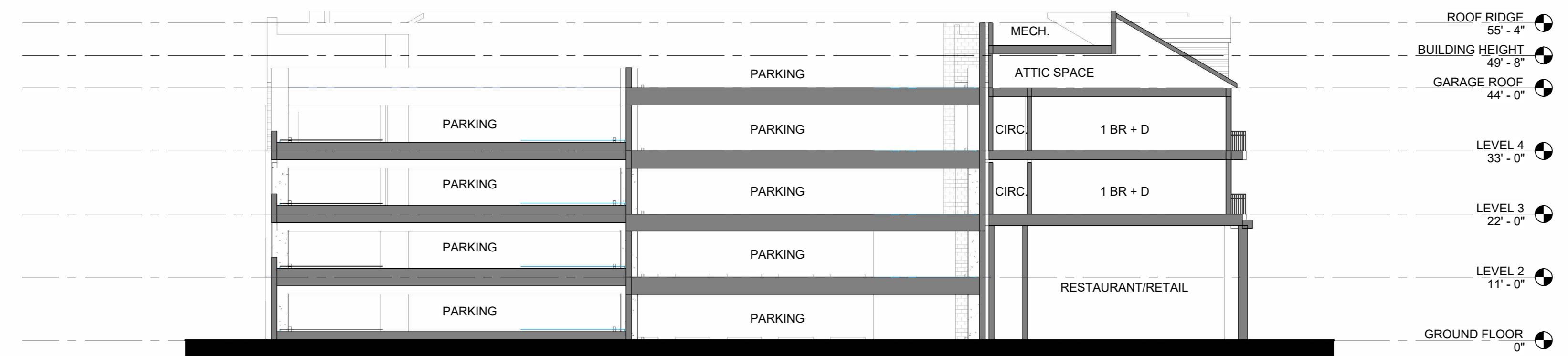
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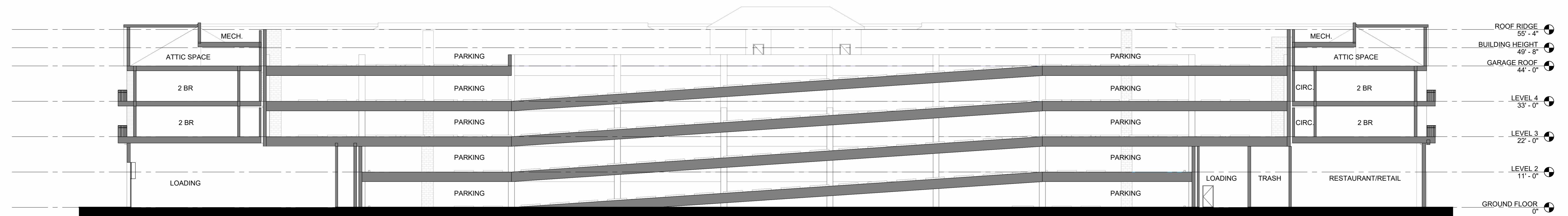
PCA PROJECT #: 24067.11

KING ST, BLDG 1300

KING STREET, LITTLETON MA

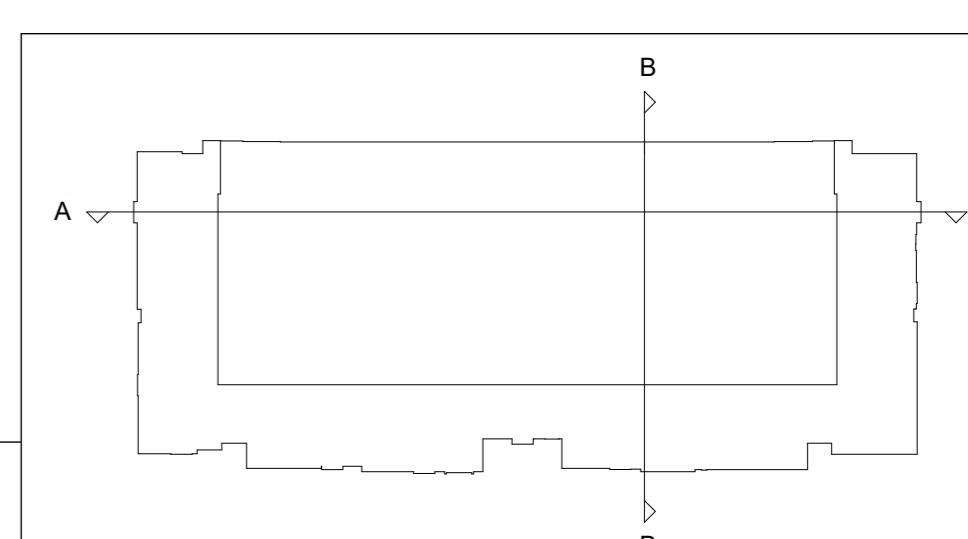


2 1300 - SECTION B
SCALE: 1/16" = 1'-0"



1 1300 - SECTION A
SCALE: 1/16" = 1'-0"

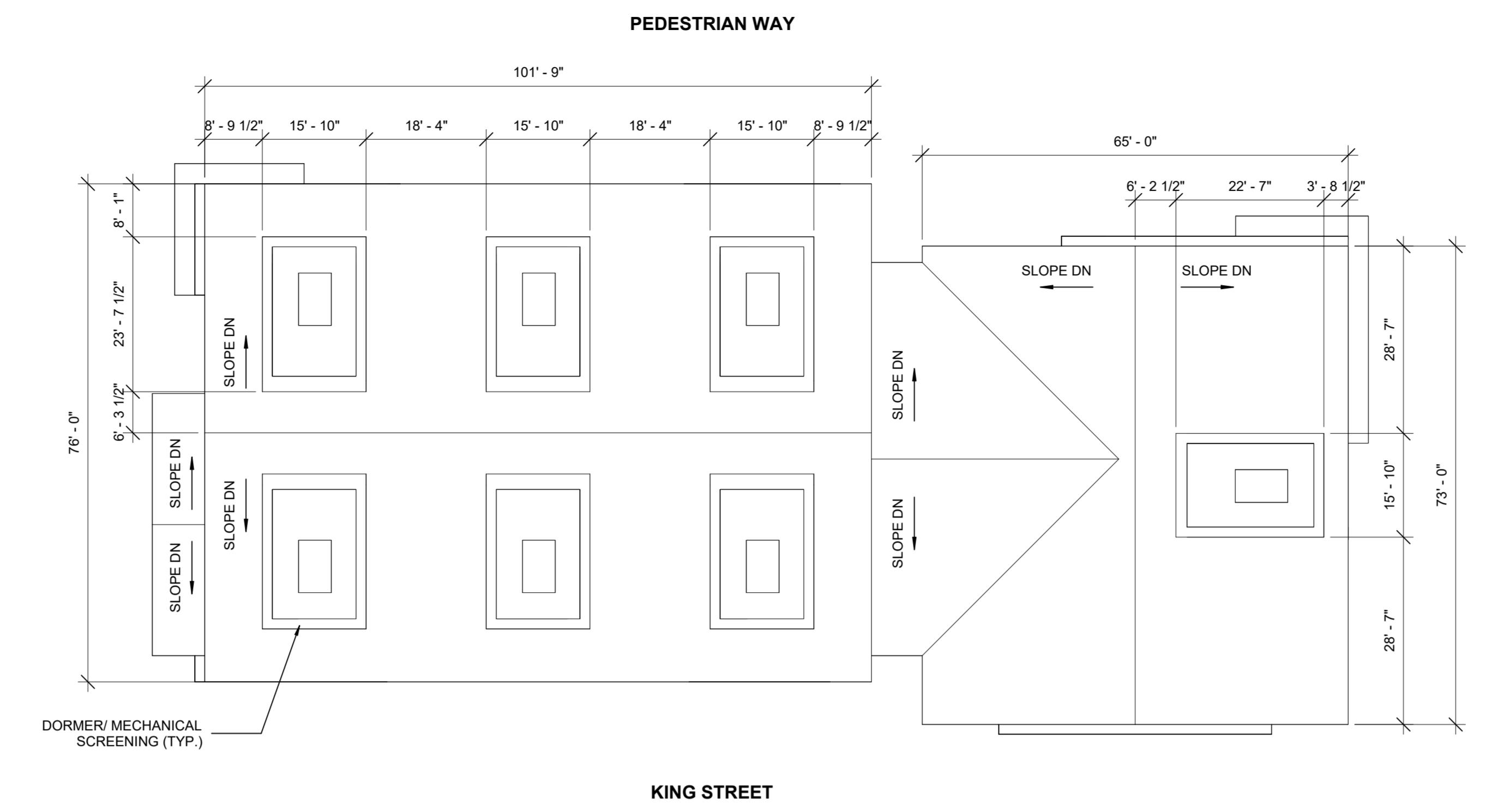
0' 8' 16' 32'
SCALE: 1" = 16"



ORIGINAL ISSUE:
PERMITTING
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SCALE: As indicated

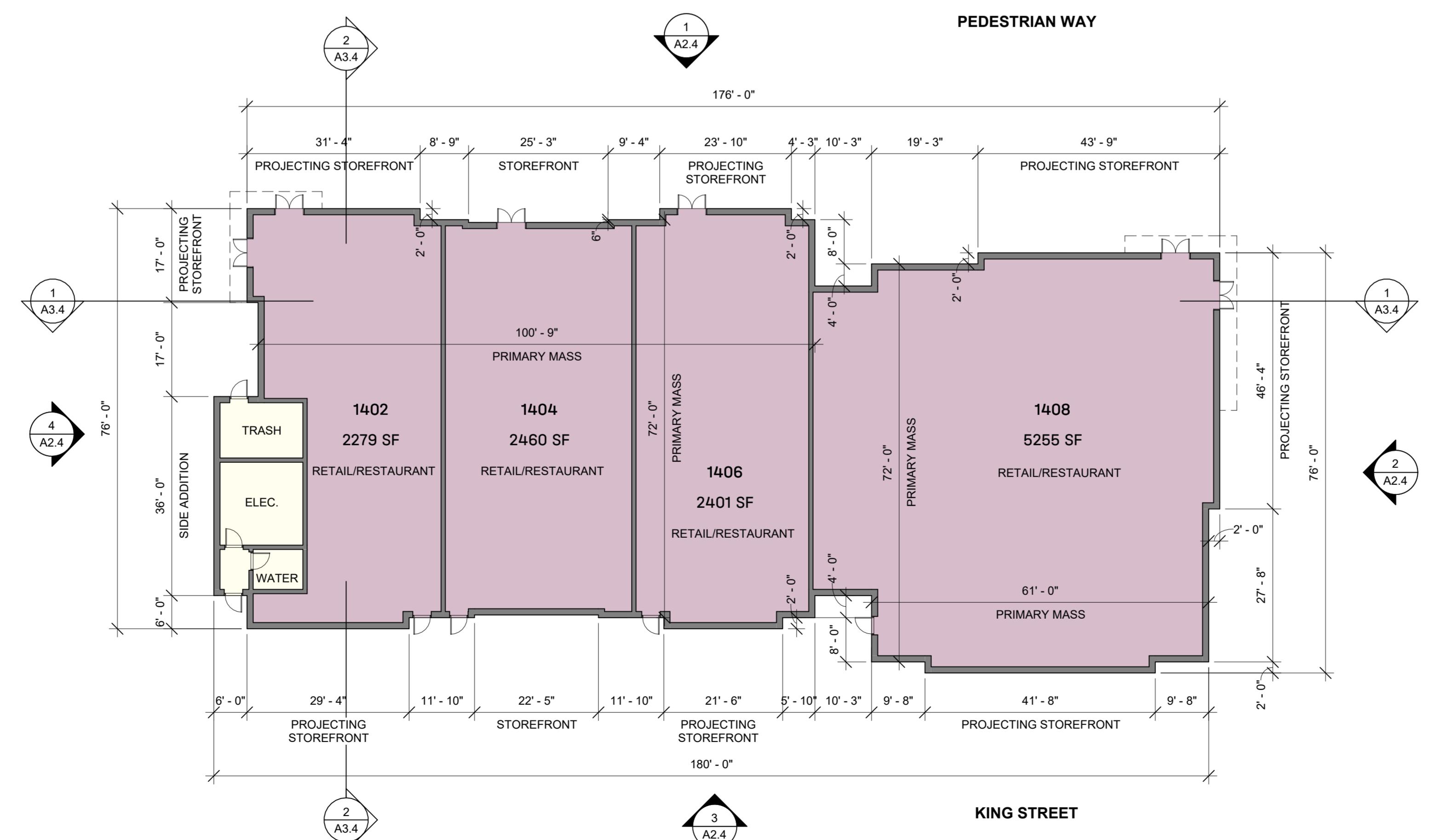
1300 -
BUILDING
SECTIONS

A3.3.1



2 1400 - ROOF PLAN CONCEPT

SCALE: 1/16" = 1'-0"



1 1400 - GROUND FLOOR CONCEPT

SCALE: 1/16" = 1'-0"

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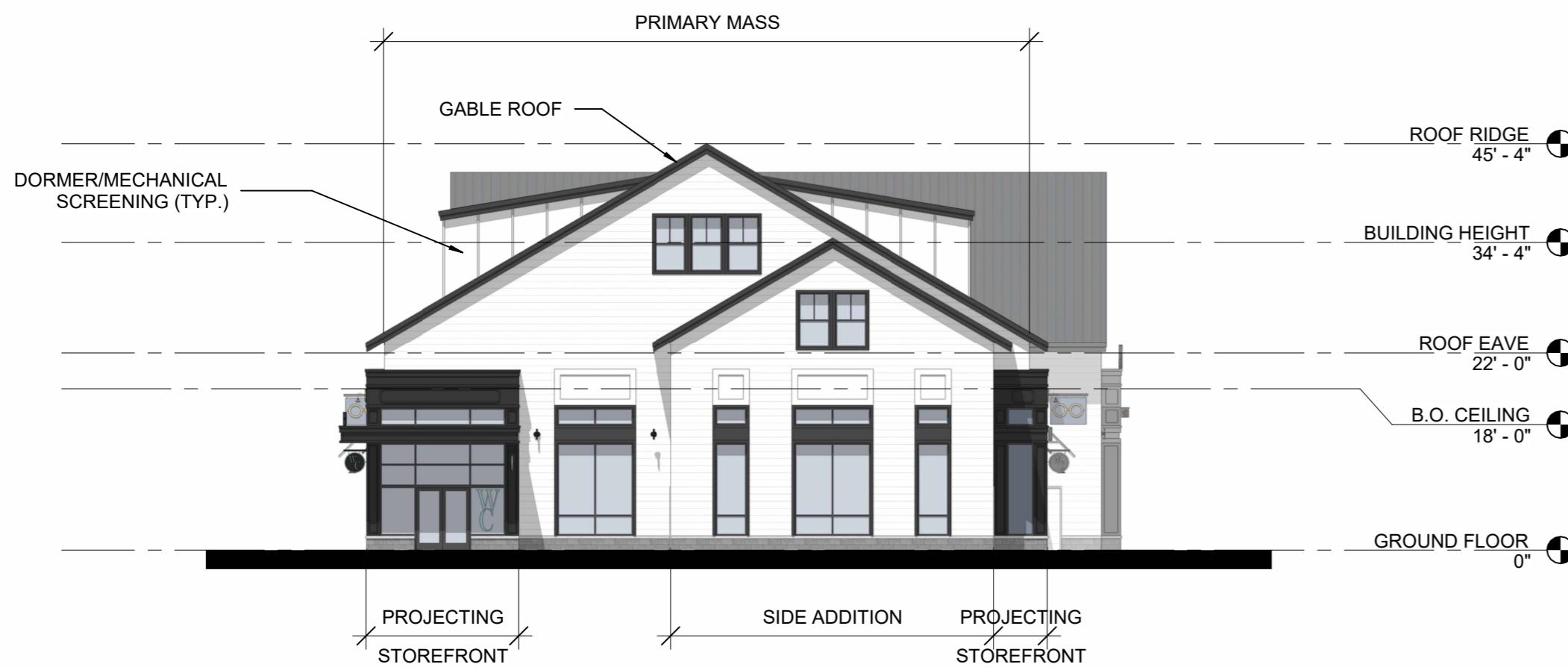
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KING ST, BLG 1400

KING ST, LITTLETON MA



4 1400 - WEST ELEVATION

SCALE: 1/16" = 1'-0"



3 1400 - SOUTH ELEVATION

SCALE: 1/16" = 1'-0"



2 1400 - EAST ELEVATION

SCALE: 1/16" = 1'-0"

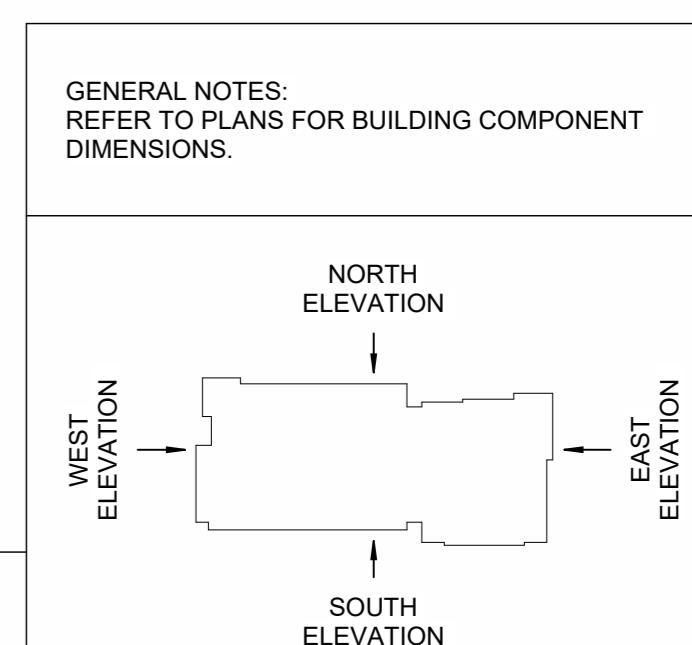


1 1400 - NORTH ELEVATION

SCALE: 1/16" = 1'-0"



SCALE: 1" = 16"



1400 - BUILDING ELEVATIONS

A2.4

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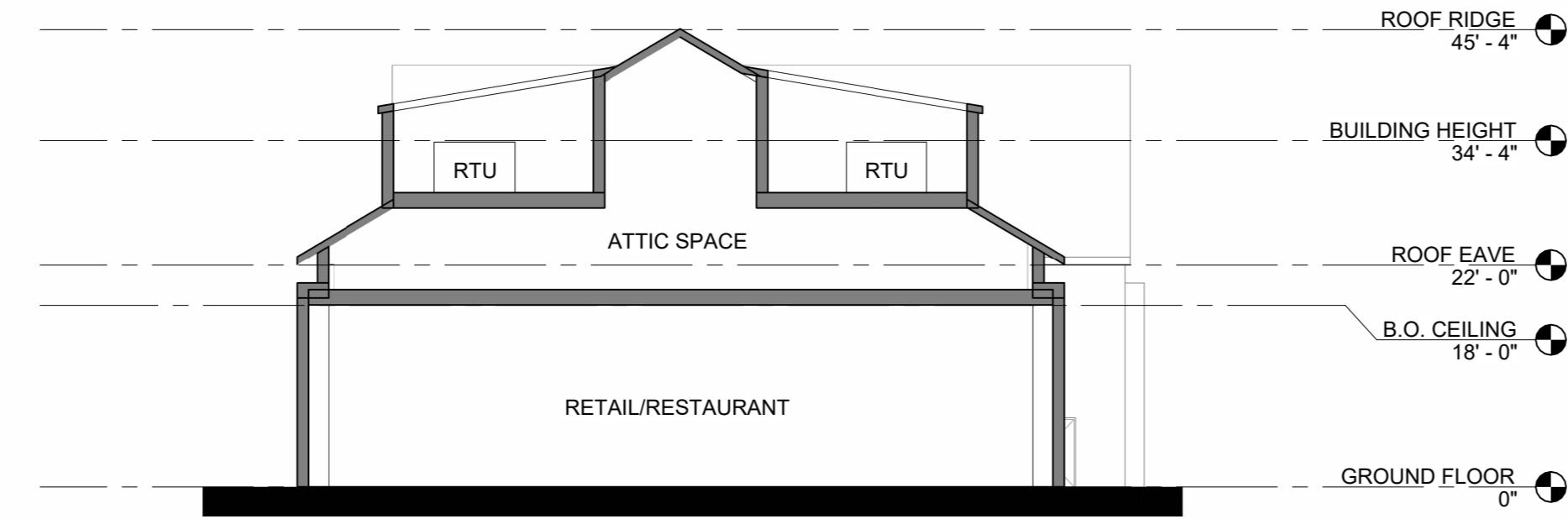
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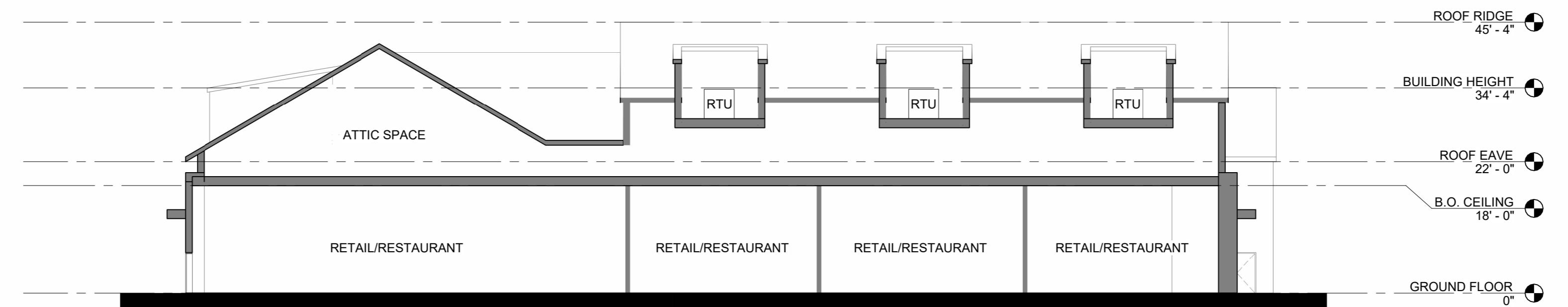
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KING ST, BLG 1400

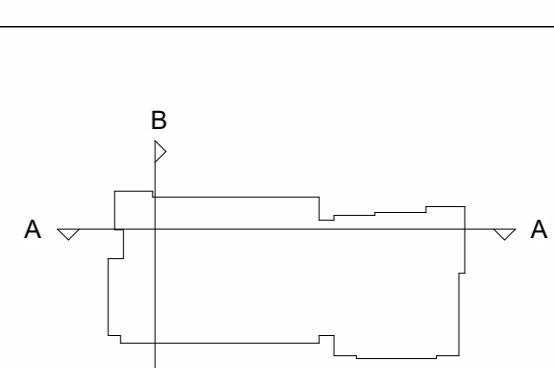
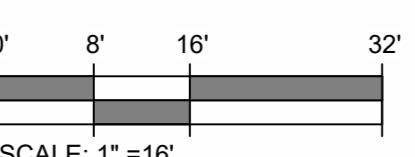
KING ST, LITTLETON MA



2 1400 - SECTION B
SCALE: 1/16" = 1'-0"



1 1400 - SECTION A
SCALE: 1/16" = 1'-0"



A3.4

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REVISIONS:	
ORIGINAL ISSUE:	PERMITTING 11/26/2025
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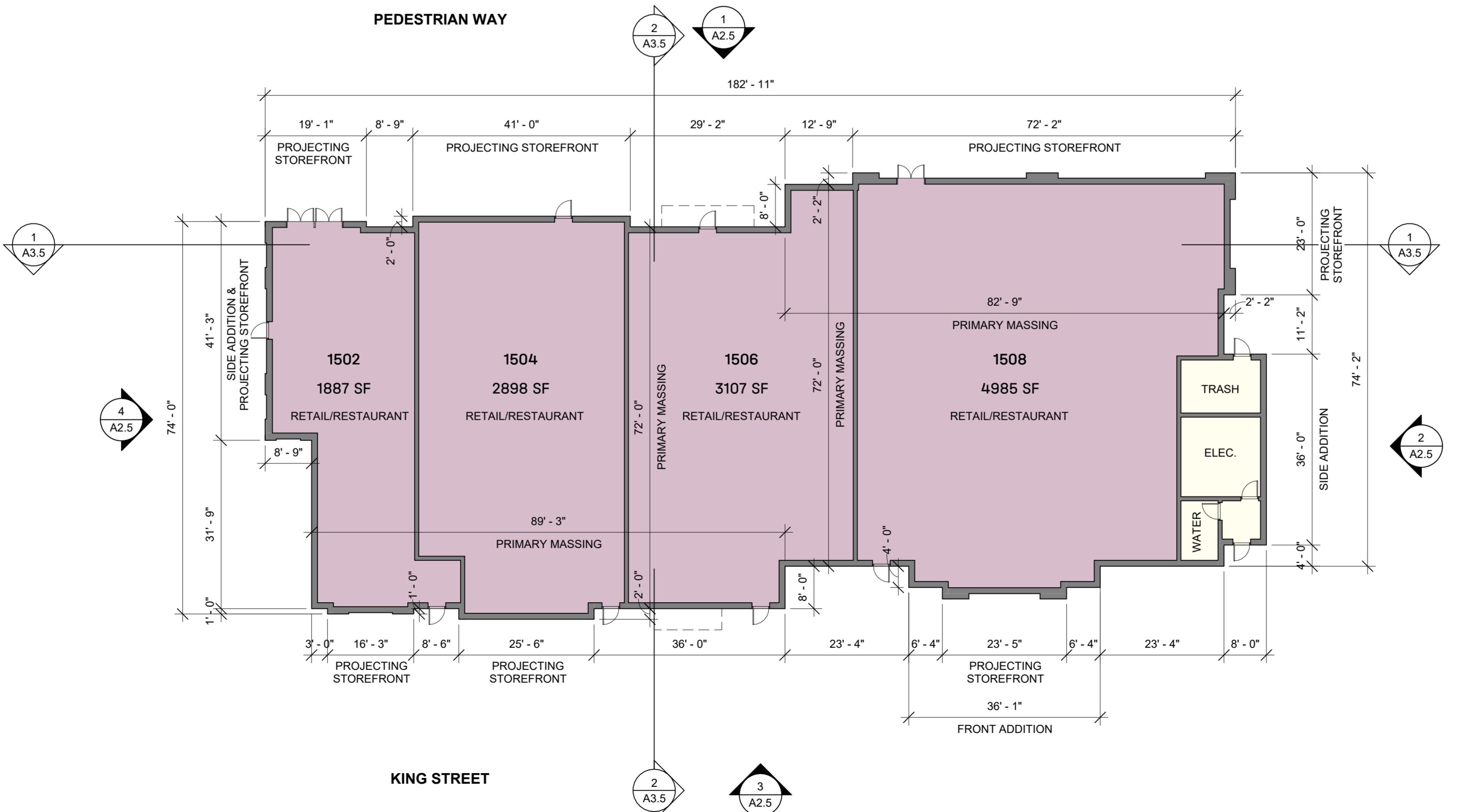
PCA PROJECT #: 24067.1

KING ST, LITTLETON MA

2 ROOF PLAN CONCEPT

SCALE: 1/16" = 1'-0"

SCALE: 1/16" = 1'-0"



1 GROUND FLOOR

SCALE: 1/16" = 1'-0"

A1.5

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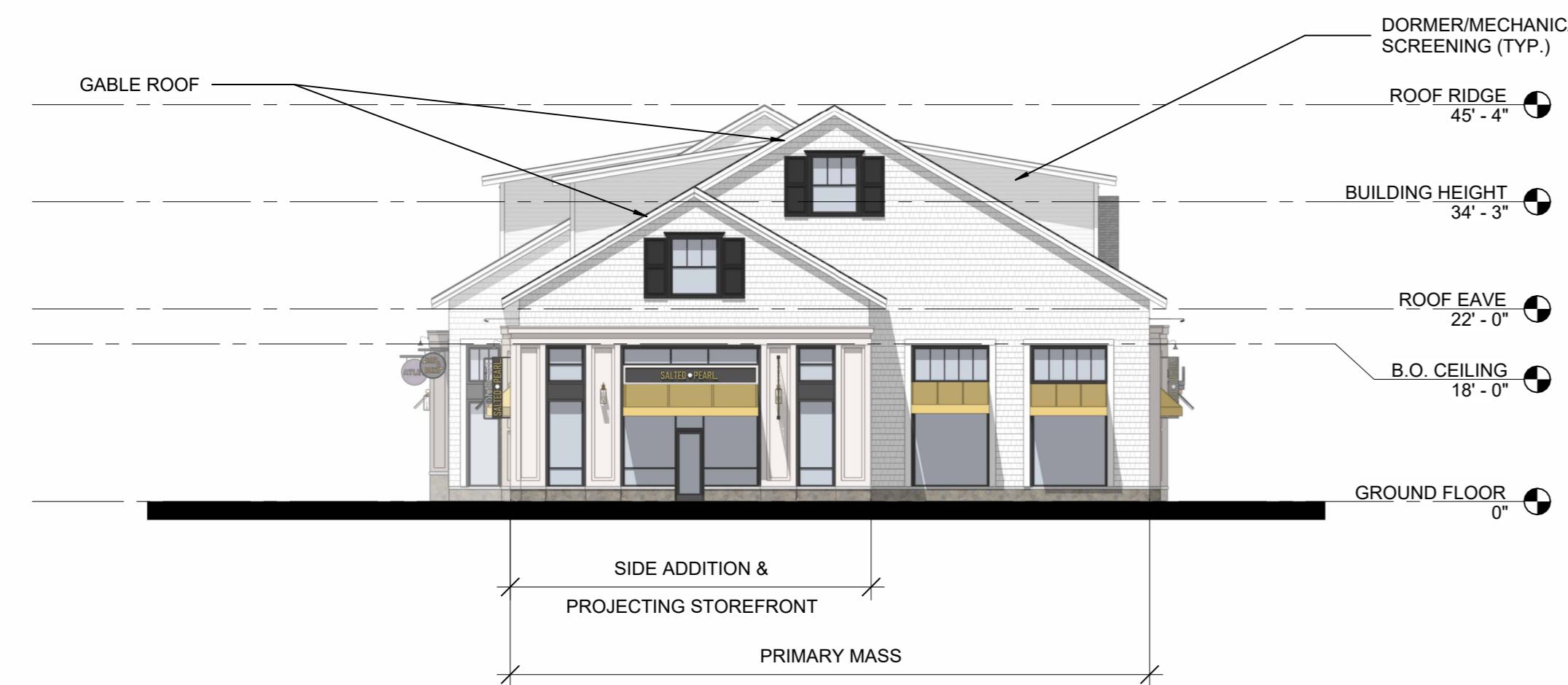
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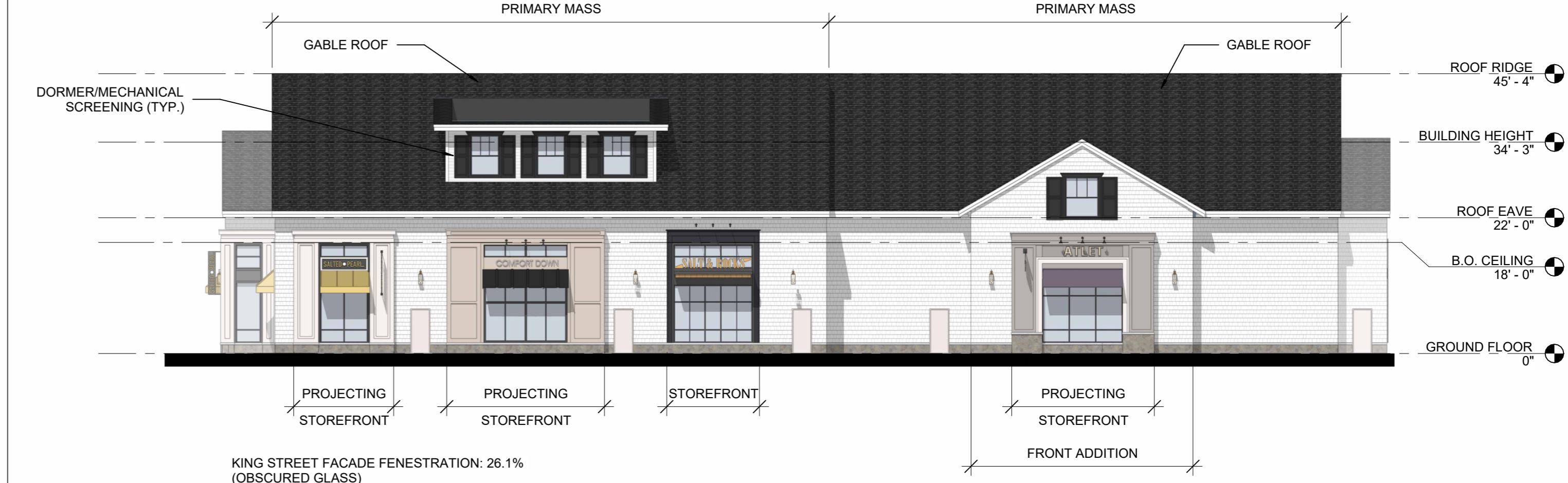
KING ST, BLDG 1500

KING ST, LITTLETON MA



4 1500 - WEST ELEVATION

SCALE: 1/16" = 1'-0"



3 1500 - SOUTH ELEVATION

SCALE: 1/16" = 1'-0"



2 1500 - EAST ELEVATION

SCALE: 1/16" = 1'-0"

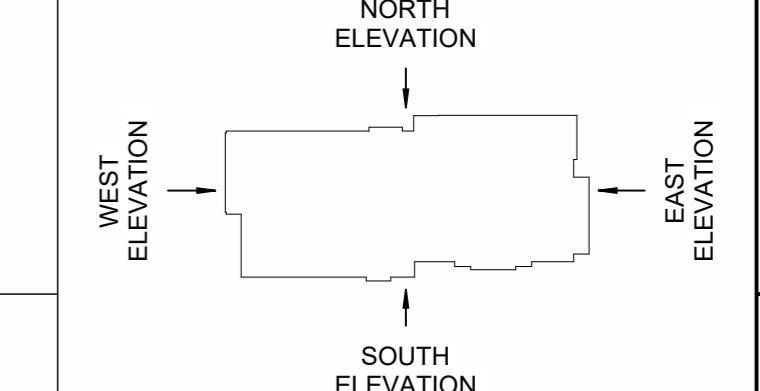


1 1500 - NORTH ELEVATION

SCALE: 1/16" = 1'-0"



SCALE: 1" = 16'



1500 - BUILDING ELEVATIONS

A2.5

ORIGINAL ISSUE:
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REVISIONS:

GENERAL NOTES:
REFER TO PLANS FOR BUILDING COMPONENT DIMENSIONS.

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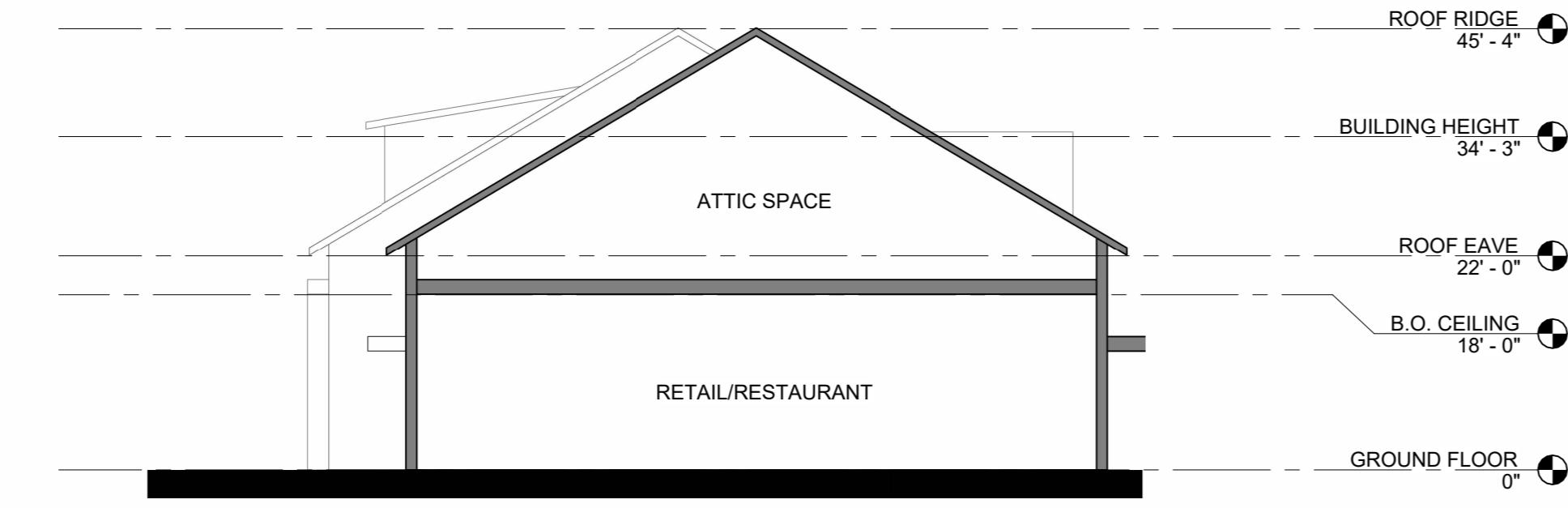
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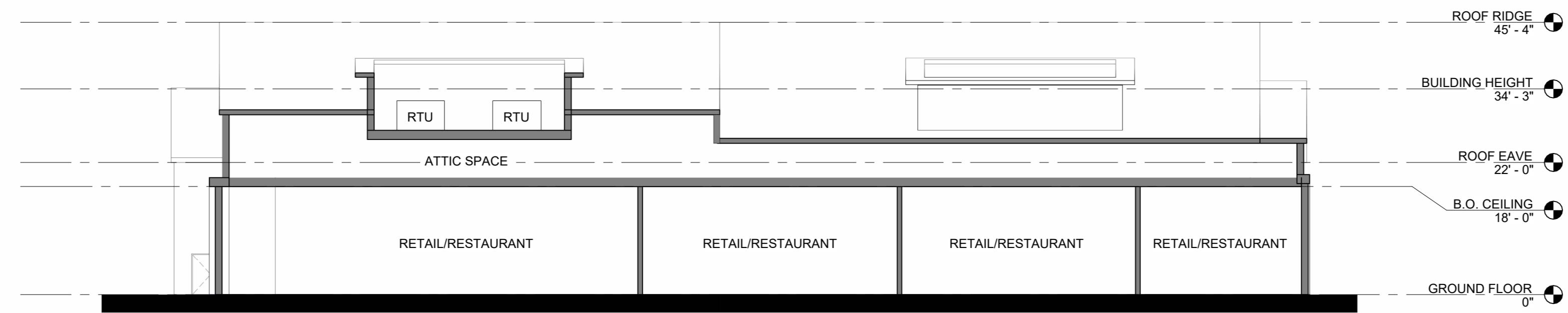
PCA PROJECT #: 24067.11

KING ST, BLDG 1500

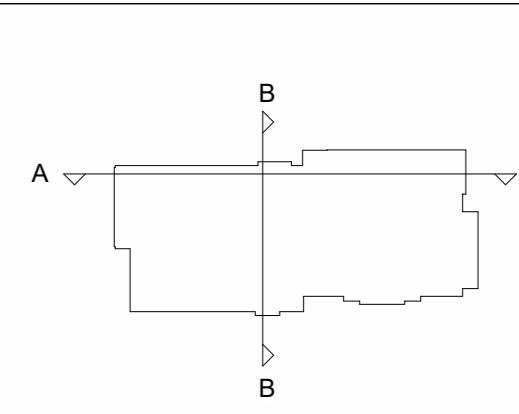
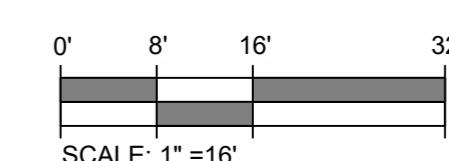
KING ST, LITTLETON MA



2 1500 - SECTION B
SCALE: 1/16" = 1'-0"



1 1500 - SECTION A
SCALE: 1/16" = 1'-0"



1500 -
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A3.5

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