

Phase I Retail Development at King Street Commons

Site Plans

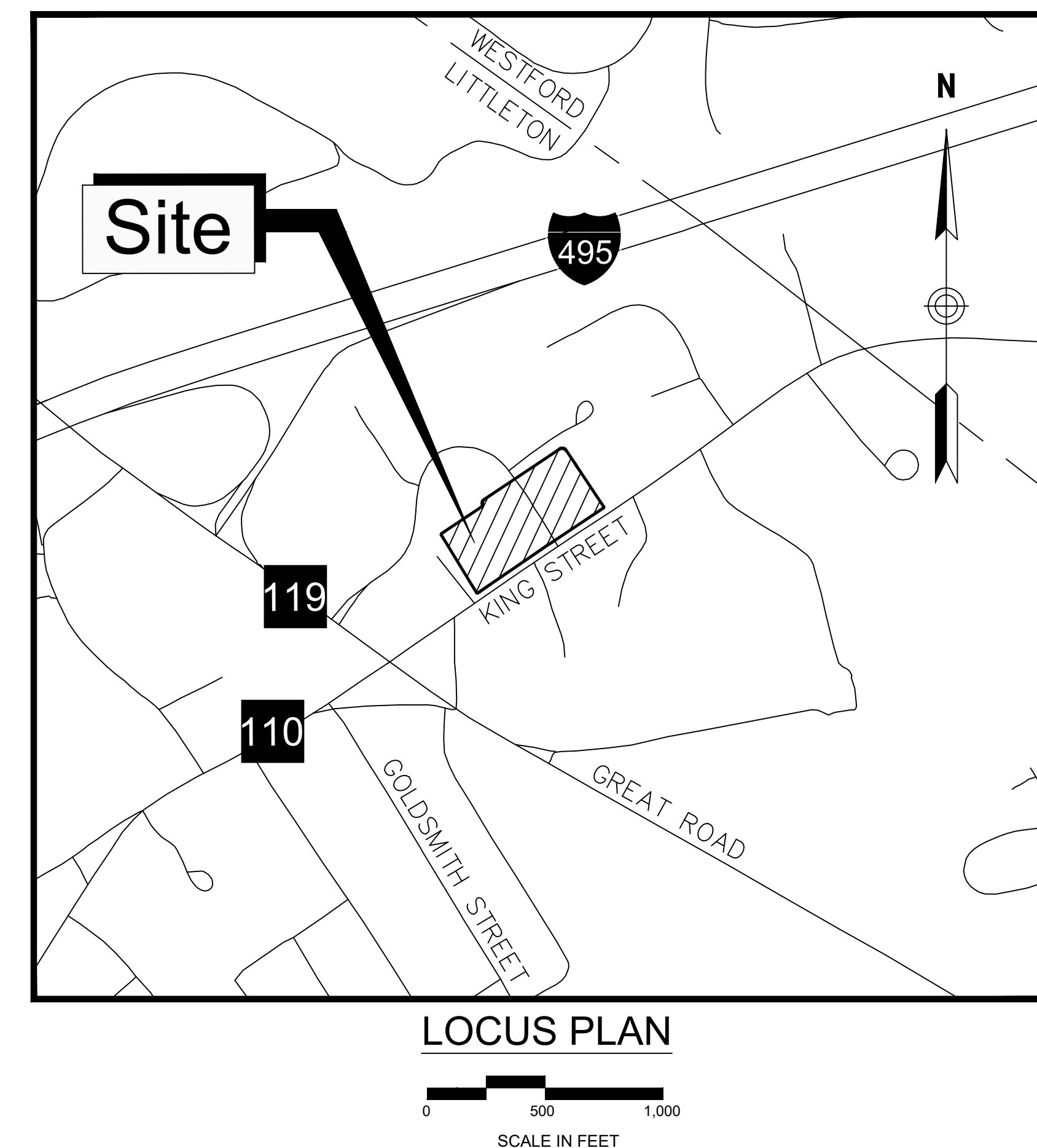
550 King Street
Littleton, MA

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APPROVAL BY THE TOWN OF
LITTLETON PLANNING BOARD

DATE: _____



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DATE	11/26/2025
SCALE	AS NOTED

PREPARED FOR

Lupoli Companies
290 Merrimack Street
Lawrence, MA 01840

REVISIONS

ISSUED FOR

Permitting

PROJECT TITLE

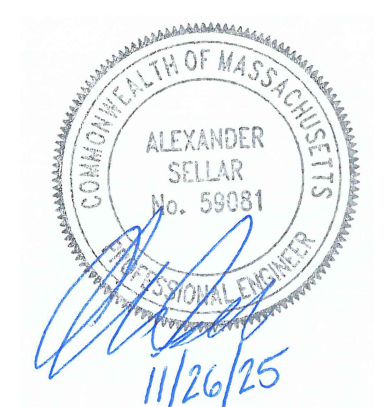
Phase 1 Retail Development at King Street Commons

PROJECT LOCATION

550 King Street, LLC
Littleton, MA 01460

DRAWING TITLE

Title & Index Sheet



PROJECT NO. T1180

TEC CAD FILE
T1180 COV

DRAWING NO.

C-1

SHEET 1 OF 16

GENERAL NOTES

1.

THE CONTRACTOR MUST STRICTLY COMPLY WITH THESE NOTES AND ALL SPECIFICATIONS/REPORTS CONTAINED HEREIN. THE CONTRACTOR MUST ENSURE THAT ALL SUBCONTRACTORS FULLY AND COMPLETELY CONFORM TO AND COMPLY WITH THESE REQUIREMENTS, THESE NOTES, AND THE REQUIREMENTS ARTICULATED IN THE NOTES CONTAINED IN ALL THE OTHER DRAWINGS THAT COMPRISE THE PLAN SET OF DRAWINGS. ADDITIONAL NOTES AND SPECIFIC PLAN NOTES MAY BE FOUND ON THE INDIVIDUAL PLANS. THESE GENERAL NOTES APPLY TO THIS ENTIRE DOCUMENT PACKAGE. IT IS THE CONTRACTOR'S RESPONSIBILITY TO REVIEW ALL CONSTRUCTION CONTRACT DOCUMENTS INCLUDING, BUT NOT LIMITED TO, ALL OF THE DRAWINGS AND SPECIFICATIONS ASSOCIATED WITH THE PROJECT WORK SCOPE, PRIOR TO THE INITIATION AND COMMENCEMENT OF CONSTRUCTION.
2.

CONTRACTOR SHALL NOTIFY DIG-SAFE (1-888-344-7233) AND THE LOCAL MUNICIPAL WATER & SEWER DEPT. AT LEAST 72 HOURS BEFORE EXCAVATING.
3.

CONTRACTOR SHALL PREVENT DUST, SEDIMENT, AND DEBRIS FROM EXITING THE SITE AND SHALL BE RESPONSIBLE FOR CLEANUP, REPAIRS AND CORRECTIVE ACTION IF SUCH OCCURS.
4.

THE CONTRACTOR IS RESPONSIBLE TO MAINTAIN AN ON-SITE STORMWATER POLLUTION PREVENTION PLAN (SWPPP) IN COMPLIANCE WITH THE ENVIRONMENTAL PROTECTION AGENCY (EPA) REQUIREMENTS OR LOCAL GOVERNING AGENCY OR SITES WHERE ONE (1) ACRE OR MORE IS DISTURBED BY CONSTRUCTION ACTIVITIES (UNLESS THE LOCAL JURISDICTION REQUIRES A DIFFERENT THRESHOLD). THE CONTRACTOR MUST ENSURE THAT ALL ACTIVITIES, INCLUDING THOSE OF ALL SUBCONTRACTORS, ARE IN COMPLIANCE WITH THE SWPPP, INCLUDING BUT NOT LIMITED TO LOGGING ACTIVITIES (MINIMUM ONCE PER WEEK AND AFTER RAINFALL EVENTS) AND CORRECTIVE MEASURES, AS APPROPRIATE AND FURTHER, THE CONTRACTOR IS SOLELY AND COMPLETELY RESPONSIBLE FOR FAILING TO DO SO.
5.

PRIOR TO THE COMMENCEMENT OF GENERAL CONSTRUCTION, THE CONTRACTOR MUST INSTALL SOIL EROSION CONTROL AND ANY STORMWATER POLLUTION PREVENTION PLAN (SWPPP) MEASURES NECESSARY, AS INDICATED ON THE APPROVED SOIL EROSION AND SEDIMENT CONTROL PLAN AND IN ACCORDANCE WITH APPLICABLE AND/OR APPROPRIATE AGENCIES' GUIDELINES TO PREVENT SEDIMENT AND/OR LOOSE DEBRIS FROM WASHING ONTO ADJACENT PROPERTIES OR THE RIGHT OF WAY.
6.

CONTRACTOR SHALL BE RESPONSIBLE FOR SITE SECURITY AND JOB SAFETY. CONSTRUCTION ACTIVITIES SHALL BE IN ACCORDANCE WITH OSHA STANDARDS AND LOCAL REQUIREMENTS. A 6-FOOT TEMPORARY CHAINLINK FENCE SHALL BE PROVIDED AROUND ALL CONSTRUCTION ACTIVITIES. CONTRACTOR SHALL LEAVE NO UNSECURED OPEN EXCAVATIONS.
7.

HANDICAP ACCESSIBLE ROUTES, PARKING SPACES, RAMPS, SIDEWALKS AND WALKWAYS SHALL BE CONSTRUCTED IN CONFORMANCE WITH THE FEDERAL AMERICANS WITH DISABILITIES ACT/ARCHITECTURAL ACCESS BOARD (ADA/AAAB), AND WITH STATE AND LOCAL LAWS AND REGULATIONS (WHICHEVER ARE MORE STRINGENT).
8.

WORK WITHIN THE RIGHT-OF-WAY MUST BE PERFORMED IN ACCORDANCE WITH ALL APPLICABLE REQUIREMENTS AND STANDARDS OF THE DEPARTMENT OF PUBLIC WORKS, ENGINEERING DEPARTMENT, HIGHWAY DIVISION, AND/OR STATE DOT HIGHWAY DEPARTMENT.
9.

UPON AWARD OF CONTRACT, CONTRACTOR SHALL MAKE NECESSARY CONSTRUCTION NOTIFICATIONS AND APPLY FOR AND OBTAIN NECESSARY PERMITS, PAY FEES, AND POST BONDS ASSOCIATED WITH THE WORK INDICATED ON THE DRAWINGS, IN THE SPECIFICATIONS, AND IN THE CONTRACT DOCUMENTS. DO NOT CLOSE OR OBSTRUCT ROADWAYS, SIDEWALK, OR FIRE HYDRANTS, WITHOUT APPROPRIATE PERMITS.
10.

WHEN APER/OPERATOR MUST FILE THE NOI OR NPDES PERMITS AT APPROPRIATE AND/OR REQUIRED TIMEFRAMES BASED UPON THE DESIRED START OF CONSTRUCTION. LAND DISTURBING ACTIVITIES MUST NOT COMMENCE UNTIL APPROVAL TO DO SO HAS BEEN RECEIVED FROM GOVERNING AUTHORITIES (INCLUDING STORMWATER POLLUTION PREVENTION PLAN). THE CONTRACTOR MUST STRICTLY ADHERE TO THE APPROVED OOC OR SWPPP DURING CONSTRUCTION OPERATIONS (IF PROVIDED).
11.

TRAFFIC SIGNAGE AND PAVEMENT MARKINGS SHALL CONFORM TO THE CURRENT EDITION OF THE MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES.
12.

IN THE EVENT THAT SUSPECTED CONTAMINATED SOIL, GROUNDWATER, AND OTHER MEDIA ARE ENCOUNTERED DURING EXCAVATION AND CONSTRUCTION ACTIVITIES BASED ON VISUAL, OLFACTORY, OR OTHER EVIDENCE, THE CONTRACTOR SHALL STOP WORK IN THE VICINITY OF THE SUSPECT MATERIAL TO AVOID FURTHER SPREADING OF THE MATERIAL, AND SHALL NOTIFY THE OWNER IMMEDIATELY SO THAT THE APPROPRIATE TESTING AND SUBSEQUENT ACTION CAN BE TAKEN.
13.

CONTRACTOR SHALL CONTROL STORMWATER RUNOFF DURING CONSTRUCTION TO PREVENT ADVERSE IMPACTS TO OFF-SITE AREAS, AND SHALL BE RESPONSIBLE TO REPAIR RESULTING DAMAGES, IF ANY, AT NO COST TO THE OWNER.
14.

THE CONTRACTOR MUST FIELD VERIFY ALL EXISTING CONDITIONS AND IMMEDIATELY NOTIFY TEC, IN WRITING, IF ANY ACTUAL SITE CONDITIONS DIFFER FROM THOSE SHOWN ON THESE PLANS, OR IF THE PROPOSED WORK CONFLICTS WITH ANY OTHER SITE FEATURES.
15.

THE CONTRACTOR MUST FIELD VERIFY ALL DIMENSIONS AND MEASUREMENTS SHOWN ON THESE PLANS, PRIOR TO THE COMMENCEMENT OF CONSTRUCTION. THE CONTRACTOR MUST IMMEDIATELY NOTIFY THE PROFESSIONAL OF RECORD AND TEC, IN WRITING, IF ANY CONFLICTS, DISCREPANCIES, OR AMBIGUITIES EXIST PRIOR TO PROCEEDING WITH CONSTRUCTION. NO EXTRA COMPENSATION WILL BE PAID TO THE CONTRACTOR FOR WORK WHICH HAS TO BE RE-DONE OR REPAIRED DUE TO DIMENSIONS, MEASUREMENTS OR GRADES SHOWN INCORRECTLY ON THESE PLANS PRIOR TO BOTH (A) THE CONTRACTOR GIVING THE PROFESSIONAL OF RECORD AND TEC WRITTEN NOTIFICATION OF SAME AND (B) PROFESSIONAL OF RECORD AND TEC, THEREAFTER, PROVIDING THE CONTRACTOR WITH WRITTEN AUTHORIZATION TO PROCEED WITH SUCH ADDITIONAL WORK.
16.

PRIOR TO THE COMMENCEMENT OF CONSTRUCTION, THE CONTRACTOR MUST CONFIRM WITH THE PROFESSIONAL OF RECORD AND TEC THAT THE LATEST EDITION OF THE DOCUMENTS AND/OR REPORTS REFERENCED WITHIN THE PLAN REFERENCES ARE BEING USED FOR CONSTRUCTION. THIS IS THE CONTRACTOR'S SOLE AND COMPLETE RESPONSIBILITY.
17.

THE CONTRACTOR MUST ENSURE THAT ALL WORK IS PERFORMED IN ACCORDANCE WITH THESE PLANS, SPECIFICATIONS/REPORTS AND CONDITIONS OF APPROVAL, AND ALL APPLICABLE REQUIREMENTS, RULES, REGULATIONS, STATUTORY REQUIREMENTS, CODES, LAWS AND STANDARDS OF ALL GOVERNMENTAL ENTITIES WITH JURISDICTION OVER THIS PROJECT, AND ALL PROVISIONS IN AND CONDITIONS OF THE CONSTRUCTION CONTRACT WITH THE OWNER/DEVELOPER INCLUDING ALL EXHIBITS, ATTACHMENTS AND ADDENDA TO SAME.
18.

CONTRACTOR MUST REFER TO AND ENSURE COMPLIANCE WITH THE APPROVED ARCHITECTURAL/BUILDING PLANS OF RECORD FOR EXACT LOCATIONS AND DIMENSIONS OF ENTRY/EXIT POINTS, ELEVATIONS, PRECISE BUILDING DIMENSIONS, AND EXACT BUILDING UTILITY LOCATIONS.
19.

ALL DIMENSIONS SHOWN ARE TO BOTTOM FACE OF CURB, EDGE OF PAVEMENT, OR EDGE OF BUILDING, EXCEPT WHEN DIMENSION IS TO A PROPERTY LINE, STAKE OUT OF LOCATIONS OF INLETS, LIGHT POLES, ETC. MUST BE PERFORMED IN STRICT ACCORDANCE WITH THE DETAILS, UNLESS NOTED CLEARLY OTHERWISE.
20.

THE CONTRACTOR MUST EXERCISE EXTREME CAUTION WHEN PERFORMING ANY WORK ACTIVITIES ADJACENT TO PAVEMENT, STRUCTURES, ETC. WHICH ARE TO REMAIN EITHER FOR AN INITIAL PHASE OF THE PROJECT OR AS PART OF THE FINAL CONDITION. THE CONTRACTOR IS RESPONSIBLE FOR TAKING ALL APPROPRIATE MEASURES REQUIRED TO ENSURE THE STRUCTURAL STABILITY OF SIDEWALKS AND PAVEMENT, UTILITIES, BUILDINGS, AND INFRASTRUCTURE WHICH ARE TO REMAIN, AND TO PROVIDE A SAFE WORK AREA FOR THIRD PARTIES, PEDESTRIANS AND ANYONE INVOLVED WITH THE PROJECT.
21.

WHERE RETAINING WALLS ARE IDENTIFIED ON THE PLANS, TOP AND BOTTOM OF WALL WIDTHS DO NOT REPRESENT THE ACTUAL WIDTH OF THE PROPOSED WALL, RATHER THEY ARE AN ASSUMPTION BASED ON WALL TYPE AND WALL HEIGHT. WALL FOOTINGS AND /OR FOUNDATIONS ARE NOT IDENTIFIED HEREIN AND ARE TO BE SET/DETERMINED BY THE CONTRACTOR OR WALL DESIGNER, AND MUST BE SET BASED UPON FINAL STRUCTURAL DESIGN SHOP DRAWINGS PREPARED BY THE APPROPRIATE PROFESSIONAL LICENSED IN THE STATE WHERE THE CONSTRUCTION OCCURS. THE CONTRACTOR MUST ENSURE THAT AN APPROPRIATELY LICENSED PROFESSIONAL DESIGNS ALL WALLS SHOWN HEREON AND PRIOR TO CONSTRUCTION. REFER TO GRADING NOTES REGARDING RETAINING WALL DESIGN.
22.

IT IS THE CONTRACTOR'S SOLE RESPONSIBILITY TO MAINTAIN RECORDS TO DEMONSTRATE PROPER AND FULLY COMPLIANT DISPOSAL ACTIVITIES, TO BE PROMPTLY PROVIDED TO THE OWNER UPON REQUEST.
23.

AREAS OUTSIDE THE LIMITS OF PROPOSED WORK DISTURBED BY THE CONTRACTOR SHALL BE RESTORED TO THEIR ORIGINAL CONDITION AT NO ADDITIONAL COST TO THE OWNER.
24.

THE CONTRACTOR MUST REPAIR, AT THE CONTRACTOR'S SOLE COST, ALL DAMAGE DONE TO ANY NEW OR EXISTING CONSTRUCTION OR PROPERTY DURING THE COURSE OF CONSTRUCTION, INCLUDING BUT NOT LIMITED TO DRAINAGE, UTILITIES, PAVEMENT, STRIPING, CURB, ETC. AND MUST BEAR ALL COSTS ASSOCIATED WITH THE SAME TO INCLUDE, BUT NOT BE LIMITED TO, REDESIGN, RE-SURVEY, RE-PERMITTING AND CONSTRUCTION. THE CONTRACTOR IS RESPONSIBLE FOR AND MUST REPLACE ALL SIGNAL INTERCONNECTION CABLE, WIRING CONDUITS, AND ANY UNDERGROUND ACCESSORY EQUIPMENT DAMAGED DURING CONSTRUCTION AND MUST BEAR ALL COSTS ASSOCIATED WITH SAME. THE REPAIR OF ANY SUCH NEW OR EXISTING CONSTRUCTION OR PROPERTY MUST RESTORE SUCH CONSTRUCTION OR PROPERTY TO A CONDITION EQUIVALENT TO OR BETTER THAN THE CONDITIONS PRIOR TO COMMENCEMENT OF THE CONSTRUCTION, AND IN CONFORMANCE WITH APPLICABLE CODES, LAWS, RULES, REGULATIONS, STATUTORY REQUIREMENTS AND STATUTES. THE CONTRACTOR MUST BEAR ALL COSTS ASSOCIATED WITH SAME. THE CONTRACTOR MUST, PROMPTLY, DOCUMENT ALL EXISTING DAMAGE AND NOTIFY, IN WRITING, THE OWNER AND THE CONSTRUCTION MANAGER PRIOR TO THE START OF CONSTRUCTION.
25.

WHEN IT IS CLEARLY AND SPECIFICALLY WITHIN TEC'S SCOPE OF SERVICES CONTRACT WITH THE OWNER/DEVELOPER, TEC WILL REVIEW OR TAKE OTHER APPROPRIATE ACTION ON THE CONTRACTOR SUBMITTALS, SUCH AS SHOP DRAWINGS, PRODUCT DATA, SAMPLES, AND OTHER DATA, WHICH THE CONTRACTOR IS REQUIRED TO SUBMIT, BUT ONLY FOR THE LIMITED PURPOSE OF EVALUATING CONFORMANCE WITH THE DESIGN INTENT AND THE INFORMATION SHOWN IN THE CONSTRUCTION CONTRACT DOCUMENTS. CONSTRUCTION MEANS AND METHODS AND/OR TECHNIQUES OR PROCEDURES, COORDINATION OF THE WORK WITH OTHER TRADES, AND CONSTRUCTION SAFETY PRECAUTIONS ARE THE SOLE RESPONSIBILITY OF THE CONTRACTOR AND TEC HAS NO RESPONSIBILITY OR LIABILITY FOR SAME. TEC WILL PERFORM ITS SHOP DRAWING REVIEW WITH REASONABLE PROMPTNESS, AS CONDITIONS ANY DOCUMENT. DOCUMENTING TEC'S REVIEW OF A SPECIFIC ITEM OR LIMITED SCOPE, MUST NOT INDICATE THAT TEC HAS REVIEWED THE ENTIRE ASSEMBLY OF WHICH THE ITEM IS A COMPONENT. TEC IS NOT RESPONSIBLE FOR ANY DEVIATIONS FROM THE CONSTRUCTION DOCUMENTS. THE CONTRACTOR MUST, IN WRITING, PROMPTLY AND IMMEDIATELY BRING ANY DEVIATIONS FROM THE CONSTRUCTION DOCUMENTS TO TEC'S ATTENTION. TEC IS NOT REQUIRED TO REVIEW PARTIAL SUBMISSIONS OR THOSE FOR WHICH SUBMISSIONS OF CORRELATED ITEMS HAVE NOT BEEN RECEIVED.
26.

IF THE CONTRACTOR DEVIATES FROM THESE PLANS AND/OR SPECIFICATIONS, INCLUDING THE NOTES CONTAINED HEREIN, WITHOUT FIRST OBTAINING THE PRIOR WRITTEN AUTHORIZATION OF THE PROFESSIONAL OF RECORD AND TEC FOR ALL DEVIATIONS WITHIN THE PROFESSIONAL OF RECORD'S AND TEC SCOPE, THE CONTRACTOR IS SOLELY RESPONSIBLE FOR THE PAYMENT OF ALL COSTS INCURRED IN CORRECTING ANY WORK PERFORMED WHICH DEVIATES FROM THE PLANS, ALL FINES AND/OR PENALTIES ASSESSED WITH RESPECT THERETO AND ALL COMPENSATORY OR PUNITIVE DAMAGES RESULTING THEREFROM AND, FURTHER, MUST DEFEND, INDEMNIFY, PROTECT, AND HOLD HARMLESS THE PROFESSIONAL OF RECORD AND TEC PARTIES TO THE FULLEST EXTENT PERMITTED UNDER THE LAW, FOR AND FROM ALL FEES, ATTORNEYS' FEES, DAMAGES, COSTS, JUDGMENTS, CLAIMS, INJURIES, PENALTIES AND THE LIKE RELATED TO SAME.
27.

THE CONTRACTOR IS RESPONSIBLE FOR MAINTAINING AND PROTECTING THE TRAFFIC CONTROL PLAN AND ELEMENTS IN ACCORDANCE WITH FEDERAL, STATE, AND LOCAL REQUIREMENTS FOR ALL WORK THAT AFFECTS PUBLIC TRAVEL EITHER IN THE RIGHT OF WAY OR ON SITE. THE COST FOR THIS ITEM MUST BE INCLUDED IN THE CONTRACTOR'S PRICE AND IS THE CONTRACTOR'S SOLE RESPONSIBILITY.
28.

IT IS THE CONTRACTOR'S SOLELY RESPONSIBLE FOR ENSURING THAT ALL CONSTRUCTION ACTIVITIES AND MATERIALS COMPLY WITH AND CONFORM TO APPLICABLE FEDERAL, STATE AND LOCAL RULES AND REGULATIONS, LAWS, ORDINANCES, AND CODES, AND ALL APPLICABLE REQUIREMENTS OF THE OCCUPATIONAL SAFETY AND HEALTH ACT OF 1970, (29 U.S.C. 651 ET SEQ.) AS AMENDED, AND ANY MODIFICATIONS, AMENDMENTS OR REVISIONS TO SAME.

ABBREVIATIONS

GENERAL	UTILITIES	
ABAN	ABANDON	ASPHALT COATED CORRUGATED METAL PIPE
AC	ACRES	AREA DRAIN
ADJ	ADJUST	BOTTOM OF CHANNEL
APPROX	APPROXIMATE	CATCH BASIN
BB	BITUMINOUS CONCRETE BERM	CAP
BIT	BITUMINOUS	CATV
BLDG	BUILDING	CIP
BND	HIGHWAY/PROPERTY BOUND	CIT
BO	BY OTHERS	CLDI
BOS	BOTTOM OF SLOPE	COND
BS	BOTTOM OF STAIRS	DCB
BR	BOTTOM OF RAMP	DI
CC	CONCRETE CURB	DIP
CCB	CAPE COD BERM	DMH
CEM	CEMENT	ETC
CI	CURB INLET	F&G
CLF	CHAIN LINK FENCE	F&C
CIT	CHANGE IN TYPE	FES
CONC	CONCRETE	GG
CW	CROSSWALK	HDPE
DIA	DIAMETER	HH
ELEV	ELEVATION	HYD
EOP	EDGE OF PAVEMENT	INV
EX	EXISTING	OCS
FFE	FIRST FLOOR ELEVATION	OHW
FND	FOUNDATION	OT
FDC	FIRE DEPT. CONNECTION	PVC
FGC	FLUSH GRANITE CURB	PWW
GC	GRANITE CURB	RCM
GE	GRANITE EDGING	RIM
HMA	HOT MIX ASPHALT	SMH
LA	LANDSCAPE AREA	TD
LF	LINEAR FEET	TFMR
MAX	MAXIMUM	TSV
MCC	MONOLITHIC CONCRETE CURB	UP
MGC	MONUMENTAL GRANITE CURB	VCP
MIN	MINIMUM	WG
NTS	NOT TO SCALE	WQ
PCC	PRECAST CONCRETE CURB	
PCR	PEDESTRIAN CURB RAMP	
PROP	PROPOSED	
PVMT	PAVEMENT	
R	RADIUS	
REM	REMOVE	
REMOD	REMODEL	
RET	RETAIN	
R&R	REMOVE AND RESET	
R&S	REMOVE AND STACK	
S	SLOPE	
SF	SQUARE FEET	
SW	SIDEWALK	
SWL	SOLID WHITE LINE	
SGC	SLOPED GRANITE CURB	
TOS	TOP OF SLOPE	
TS	TOP OF STAIRS	
TR	TOP OF RAMP	
TYP	TYPICAL	
UON	UNLESS OTHERWISE NOTED	
VGC	VERTICAL GRANITE CURB	
WCR	WHEELCHAIR RAMP	

GENERAL SYMBOLS

EXISTING	PROPOSED	
		CATCH BASIN
		SILT SACK WITHIN CATCH BASIN
		DOUBLE CATCH BASIN
		DRAIN MANHOLE
		SEWER MANHOLE
		COMBINED SEWER MANHOLE
		OIL WATER SEPARATOR
		ELECTRIC MANHOLE
		TELEPHONE MANHOLE
		CATV MANHOLE
		UNKNOWN STRUCTURE
		HANDHOLE
		BOLLARD
		WATER GATE
		WATER SHUT OFF
		FIRE HYDRANT
		GAS GATE
		STREET SIGN
		WALL MOUNTED SIGN
		LIGHT POLE
		WALL MOUNTED LIGHT
		UTILITY POLE
		GUY POLE
		GUY WIRE
		MONITORING WELL
		TEST PIT (W/ I.D.)
		AREA DRAIN
		DRAINAGE CLEANOUT
		POST INDICATOR VALVE
		EDGE OF PAVEMENT
		MONOLITHIC CONCRETE CURB
		GRANITE CURB
		GRANITE EDGING
		BITUMINOUS BERM
		GUARDRAIL - METAL POSTS
		GUARD RAIL - WOODEN POSTS
		CHAIN LINK FENCE
		DRAINAGE LINE
		SEWER LINE
		WATER LINE
		GAS LINE
		TELEPHONE/CATV CONDUIT
		ELECTRIC CONDUIT
		OVERHEAD WIRE
		STONE WALL
		TREE LINE
		FEMA ZONE X (AREA OF MINIMAL FLOOD HAZARD)
		MAJOR CONTOUR
		MINOR CONTOUR
		ENTRANCE/EXIT PEDESTRIAN DOOR
		LOADING DOCK DOOR
		OVERHEAD DOOR
		FUTURE USE ENTRANCE/EXIT PEDESTRIAN DOOR
		CONCRETE PAVEMENT
		PEDESTRIAN CURB RAMP (TYPE NOTED)
		ELEVATOR
		FLARED END SECTION

PAVEMENT MARKINGS AND SIGNING SYMBOLS

EXISTING	PROPOSED	
		CROSSWALK, 12" WHITE LINE (WIDTH NOTED)
		STOP LINE, 12" WHITE LINE 4" BEHIND CW (TYP.)
		SOLID WHITE LINE/SOLID WHITE LANE LINE 4"
		BROKEN WHITE LANE LINE 4"
		DOTTED WHITE LANE LINE 4"
		SOLID YELLOW LINE 4"
		DOUBLE YELLOW CENTER LINE- 2-4" LINES
		ADA-ACCESSIBLE PARKING SPACE
		ELECTRIC VEHICLE



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DATE	11/26/2025
SCALE	N.T.S.

PREPARED FOR

Lupoli Companies
290 Merrimack Street
Lawrence, MA 01840

REVISIONS

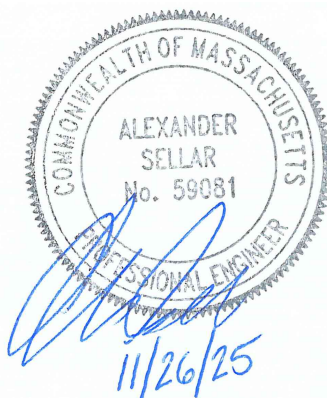
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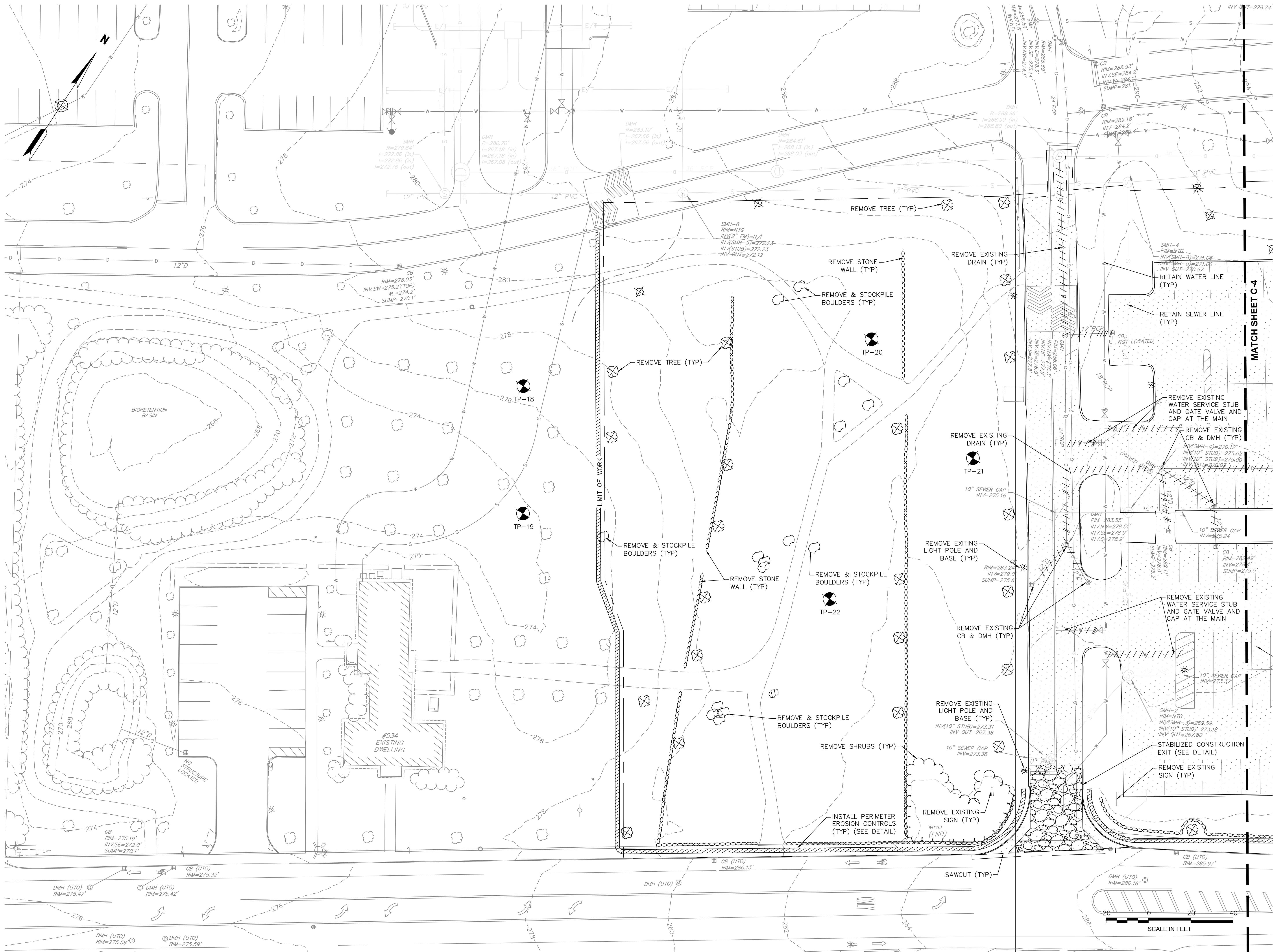
PROJECT TITLE
**Phase 1 Retail
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PROJECT LOCATION
**550 King Street, LLC
Littleton, MA 01460**

DRAWING TITLE
**Legend &
General Notes**

PROJECT NO.	T1180
TEC CAD FILE	T1180_LEG
DRAWING NO.	C-2
SHEET 2 OF 16	





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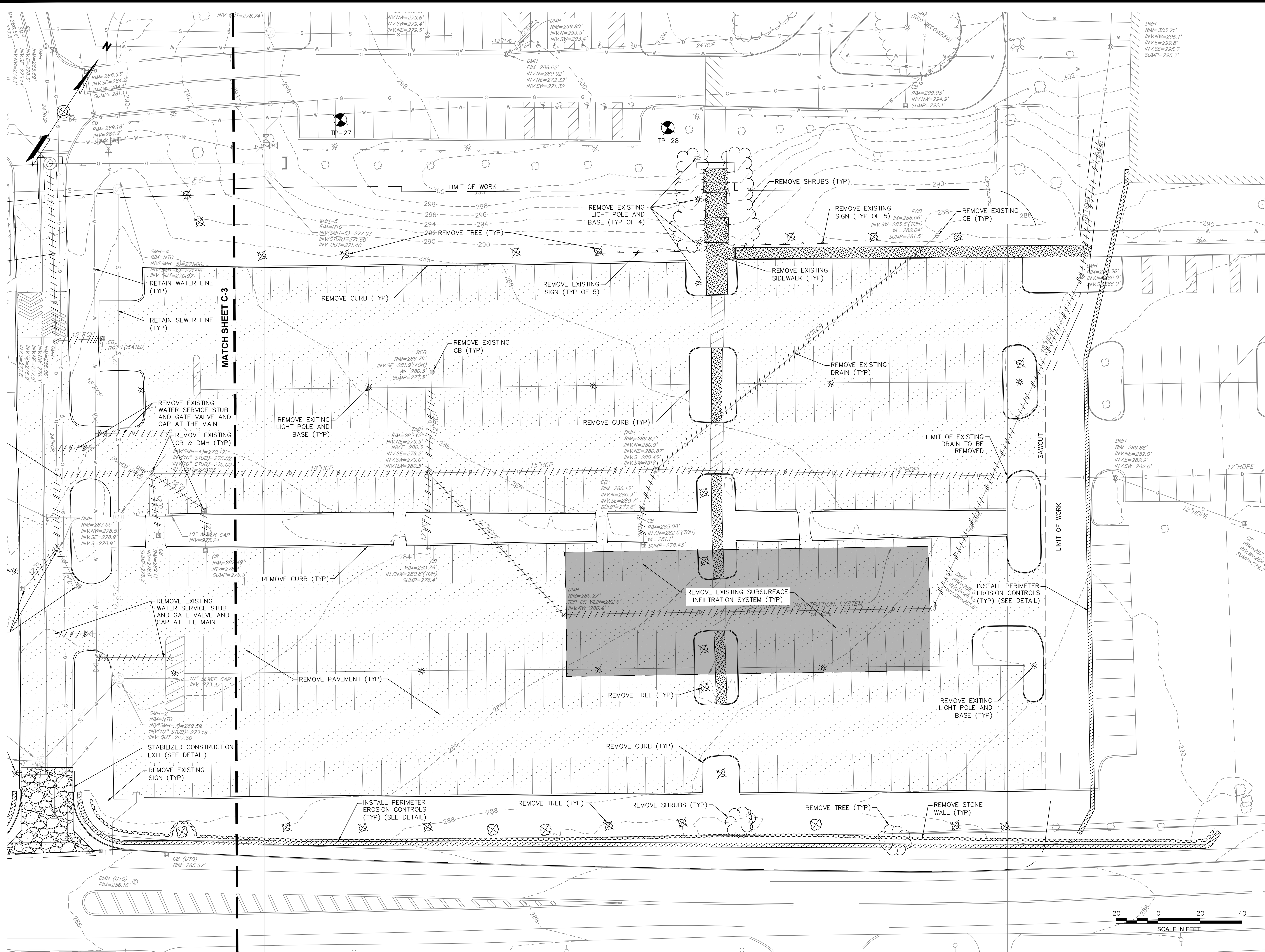
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**Phase 1 Retail
Development at King
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PROJECT LOCATION
**550 King Street, LLC
Littleton, MA 01460**

DRAWING TITLE
**Demolition and
Erosion & Sediment
Control Plan**

ALEXANDER
SELLAR
No. 59081
11/26/25

PROJECT NO.
T1180
TEC CAD FILE
T1180_DEMO
DRAWING NO.
C-3
SHEET 3 OF 16



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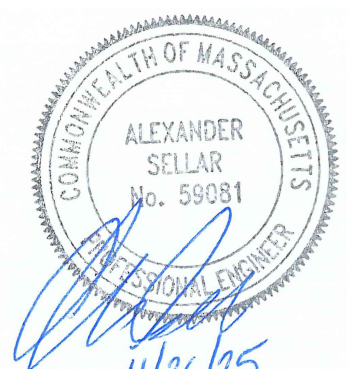
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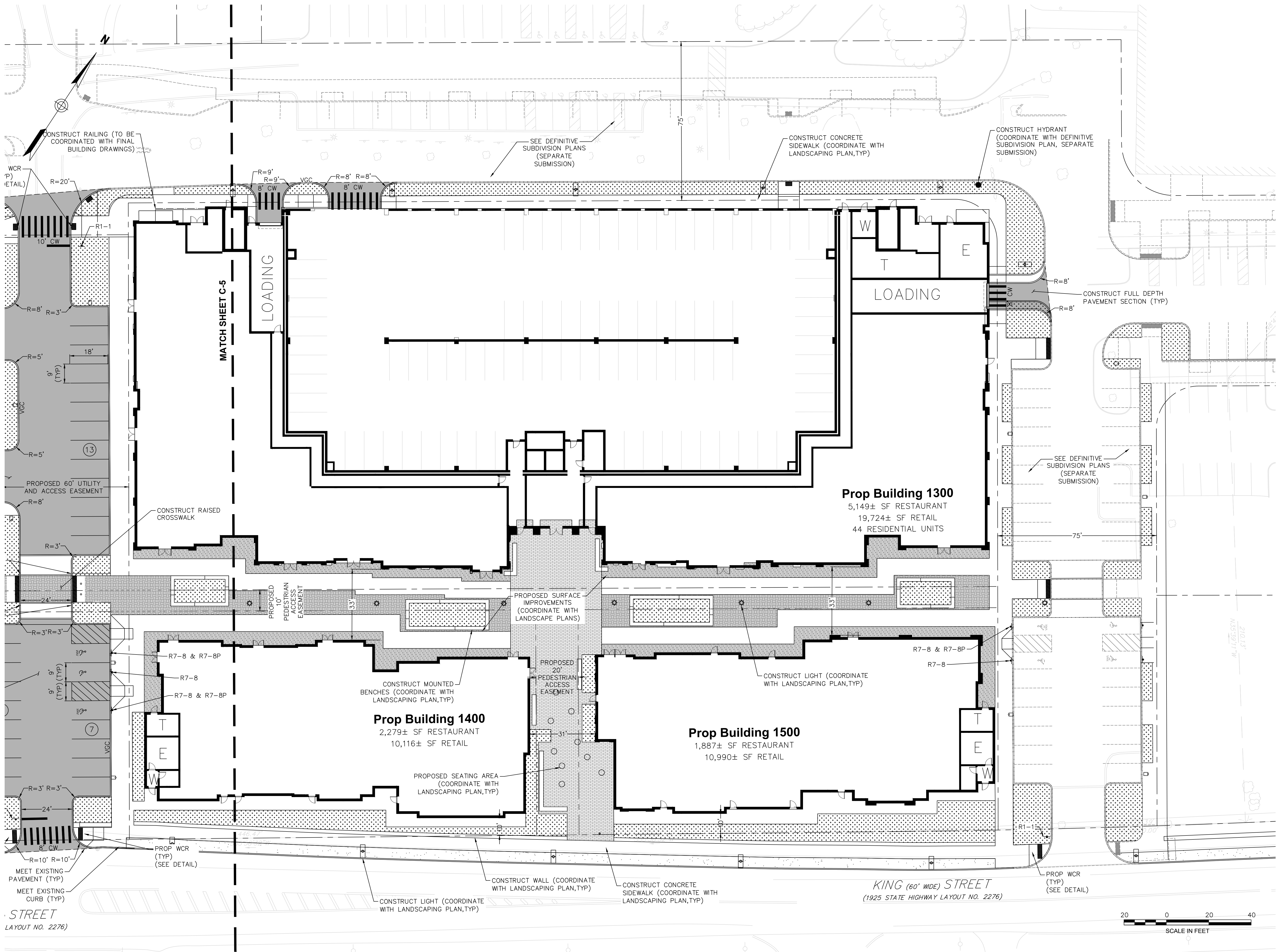
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DRAWING TITLE
**Demolition and
Erosion & Sediment
Control Plan**



11/26/25

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TEC CAD FILE
T1180_DEMO
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C-4
SHEET 4 OF 16



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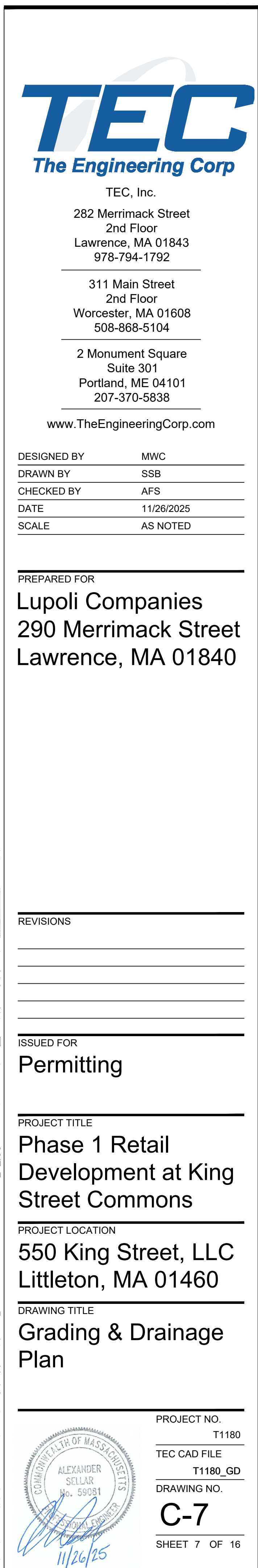
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**Layout & Materials
Plan**

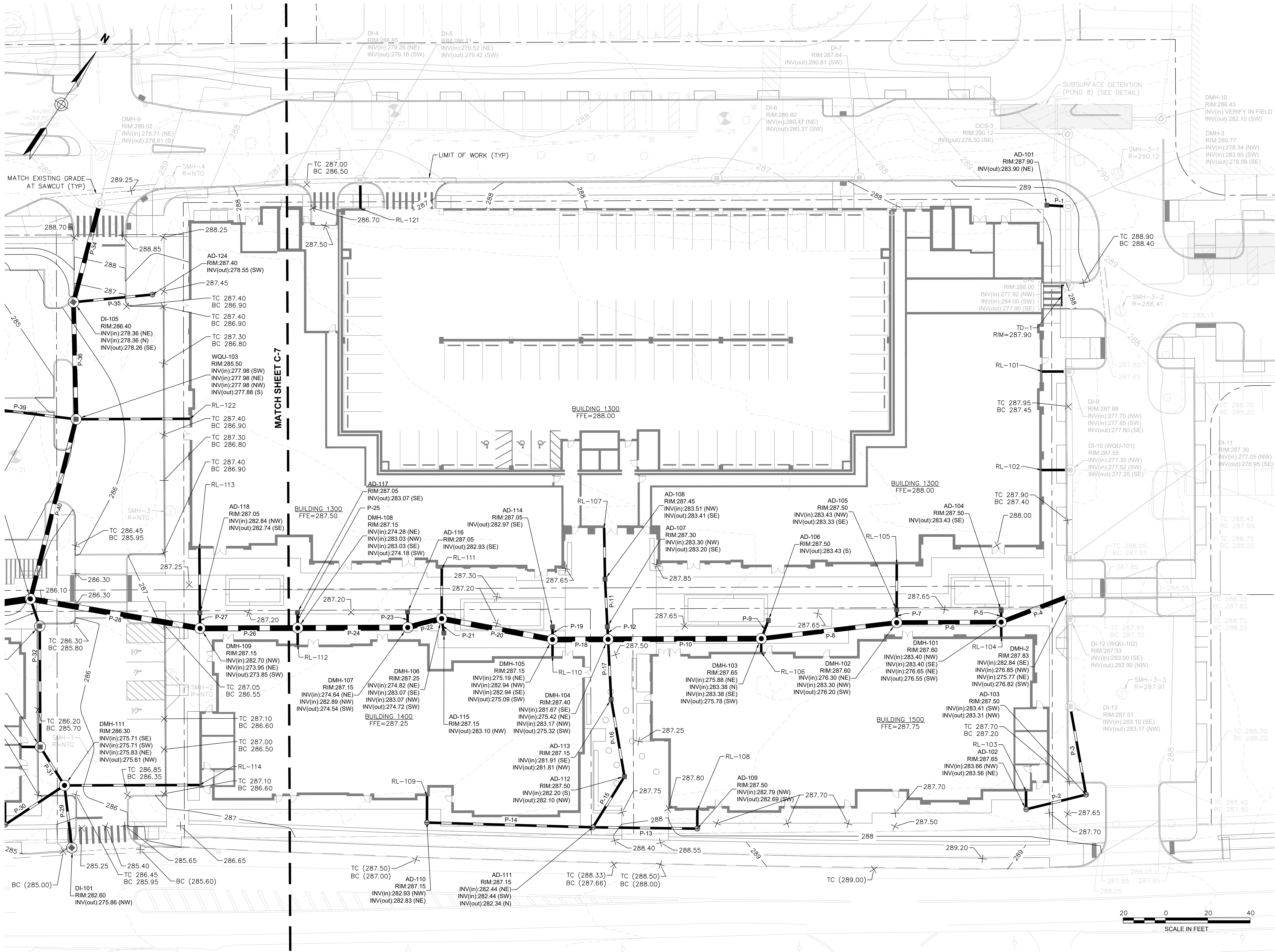
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TEC CAD FILE
T1180_LM

DRAWING NO.
C-6

SHEET 6 OF 16





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Portland, ME 04101
207-370-5838

www.TheEngineeringCorp.com

DESIGNED BY	MWC
DRAWN BY	SSB
CHECKED BY	AFS
DATE	11/26/2025
SCALE	AS NOTED

PREPARED FOR
Lupoli Companies
290 Merrimack Street
Lawrence, MA 01840

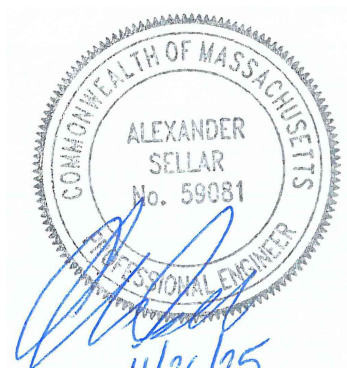
REVISIONS

ISSUED FOR
Permitting

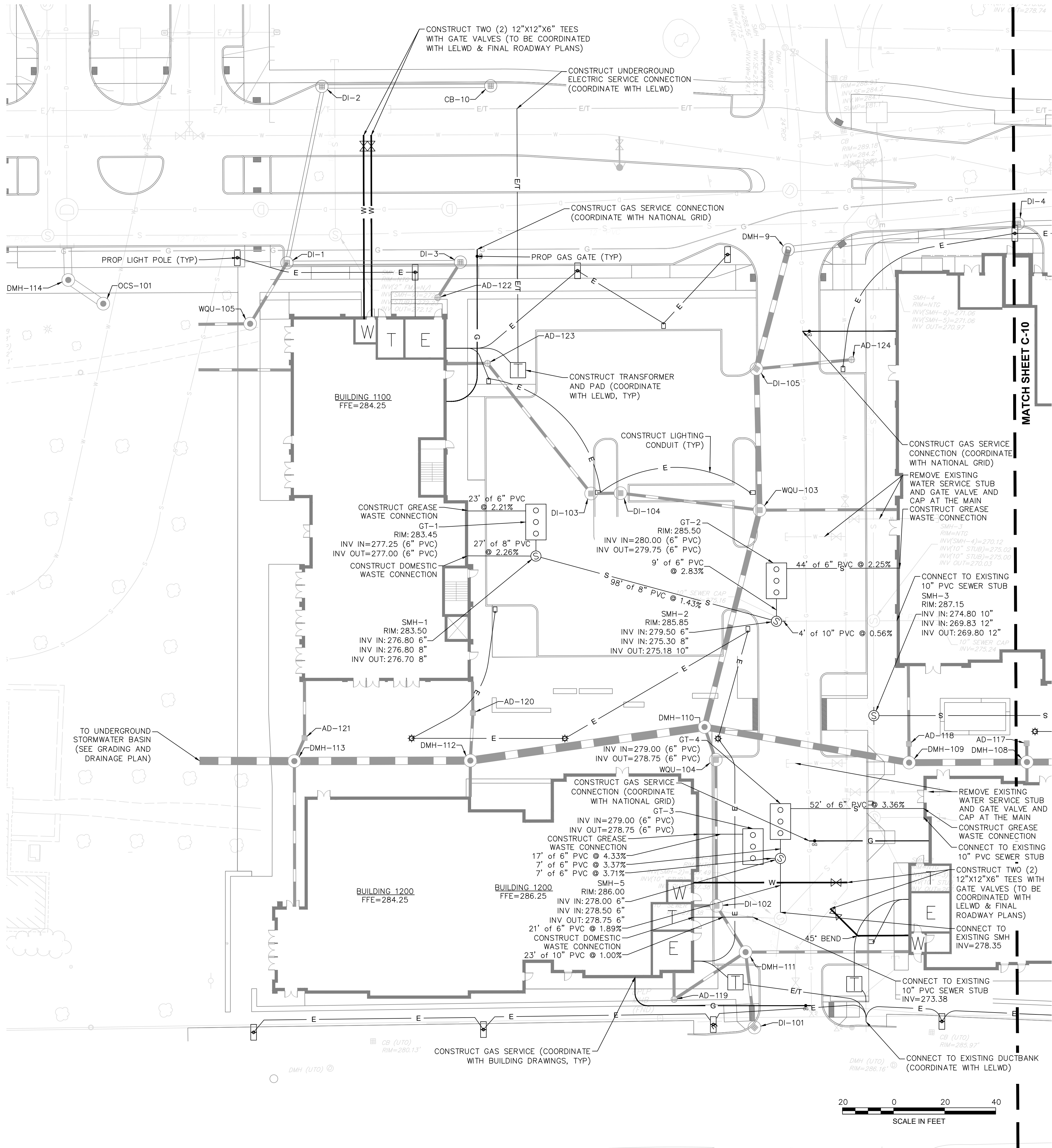
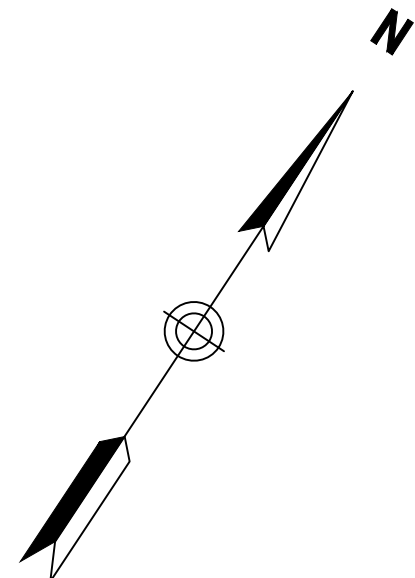
PROJECT TITLE
**Phase 1 Retail
Development at King
Street Commons**

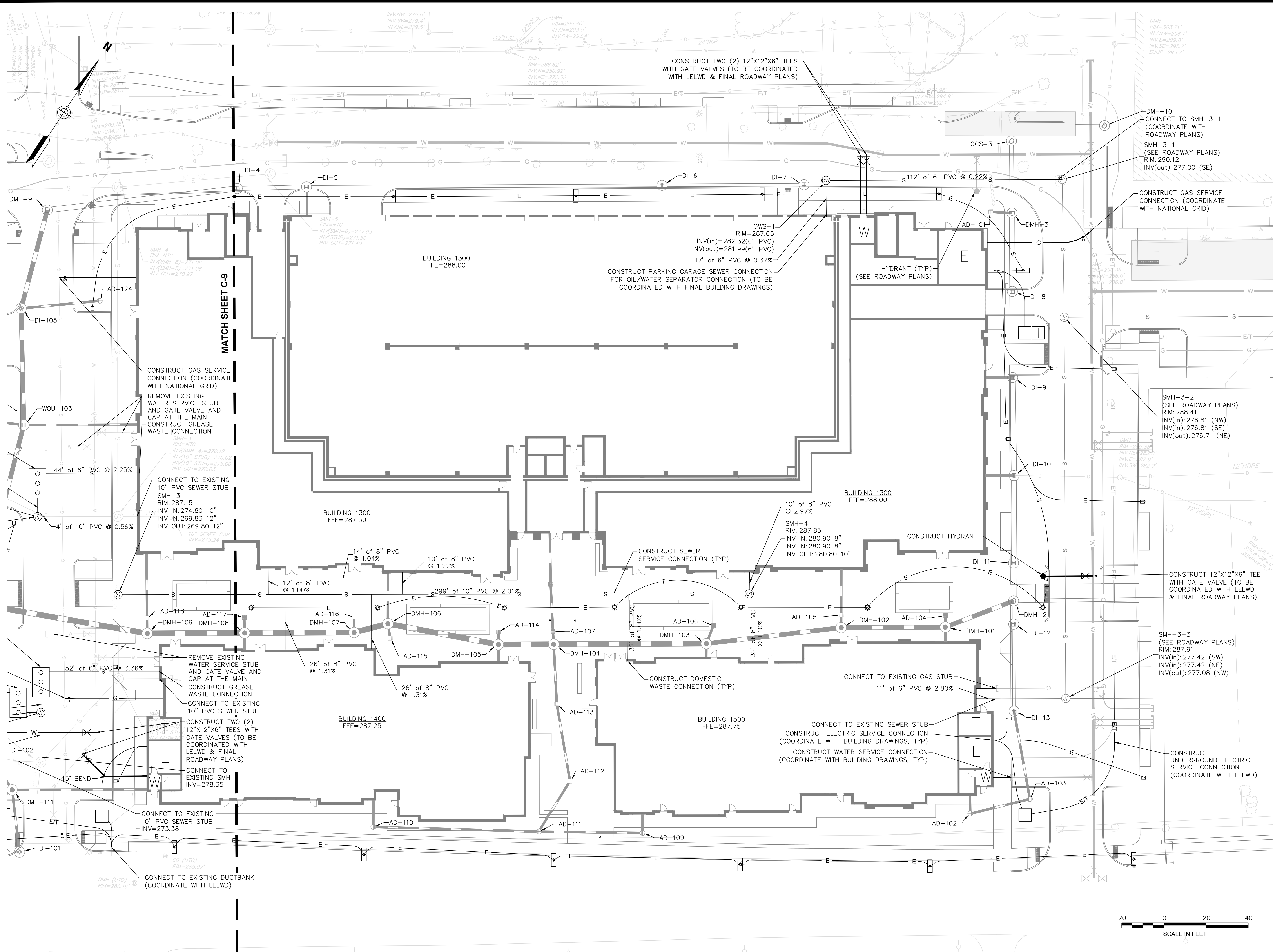
PROJECT LOCATION
**550 King Street, LLC
Littleton, MA 01460**

DRAWING TITLE
**Grading & Drainage
Plan**



PROJECT NO.
T1180
TEC CAD FILE
T1180_GD
DRAWING NO.
C-8
SHEET 8 OF 16





TEC, Inc.
282 Merrimack Street
2nd Floor
Lawrence, MA 01843
978-794-1792

311 Main Street
2nd Floor
Worcester, MA 01608
508-868-5104

2 Monument Square
Suite 301
Portland, ME 04101
207-370-5838

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Lupoli Companies
290 Merrimack Street
Lawrence, MA 01840

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PROJECT TITLE
**Phase 1 Retail
Development at King
Street Commons**

PROJECT LOCATION
**550 King Street, LLC
Littleton, MA 01460**

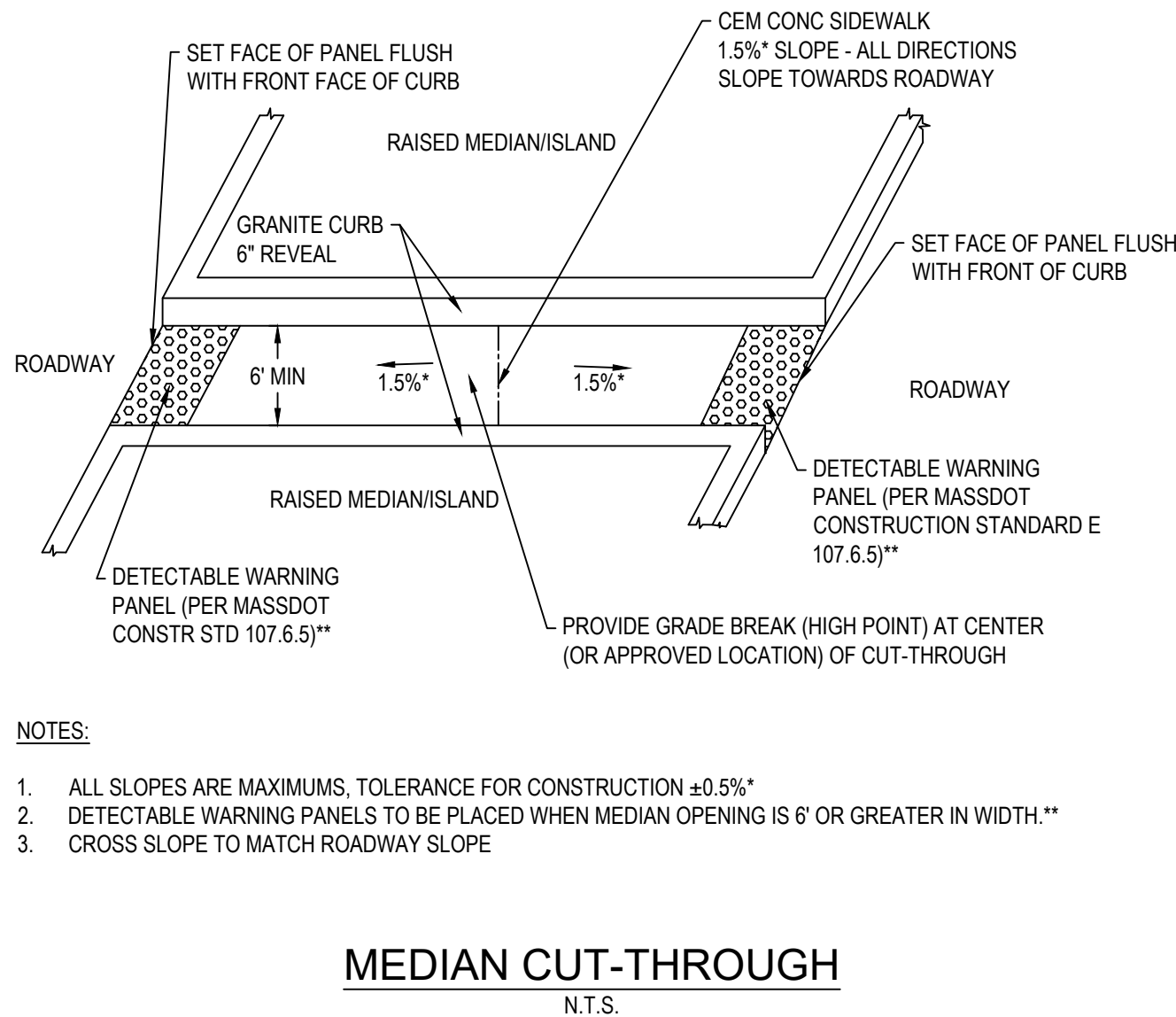
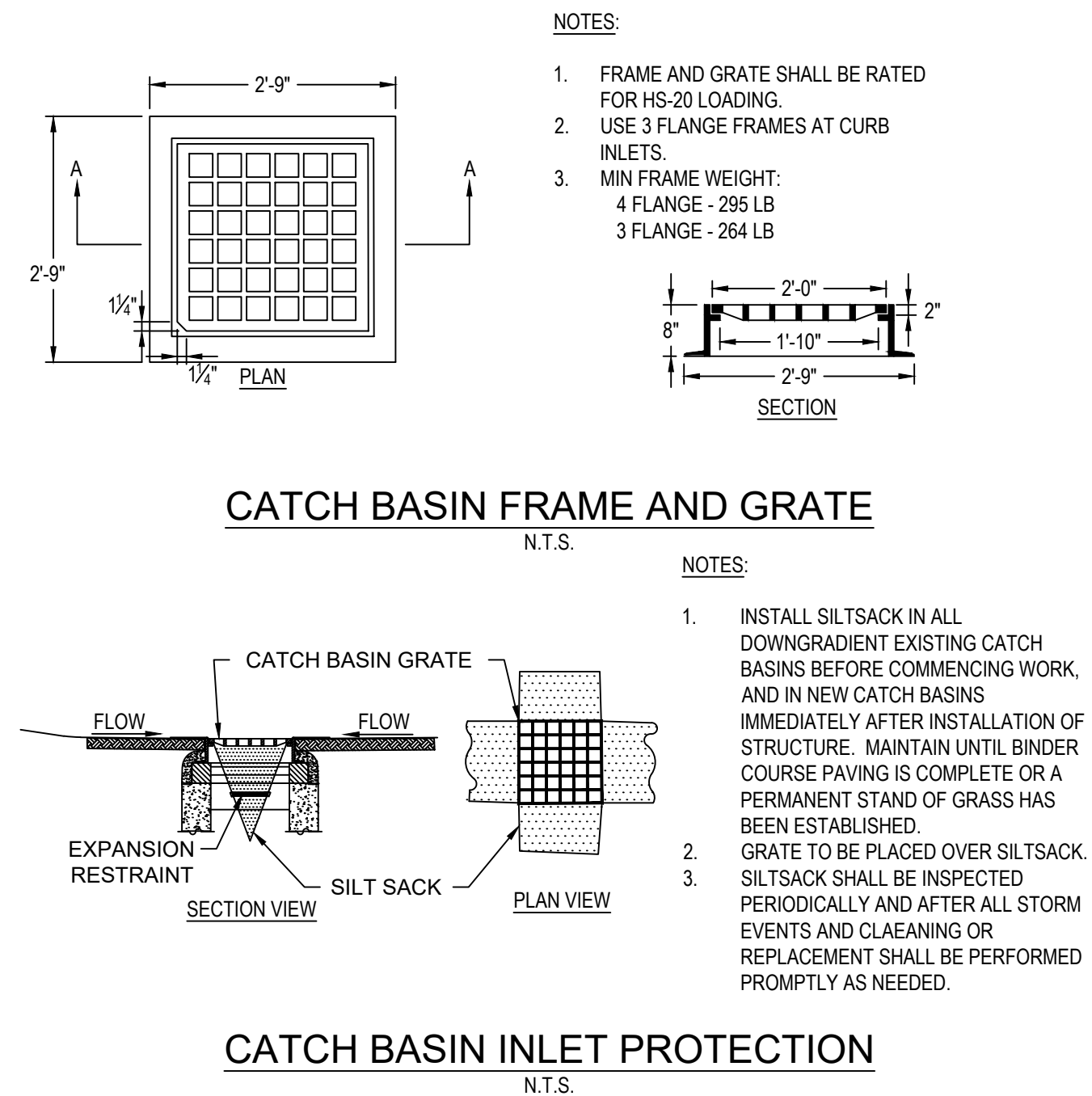
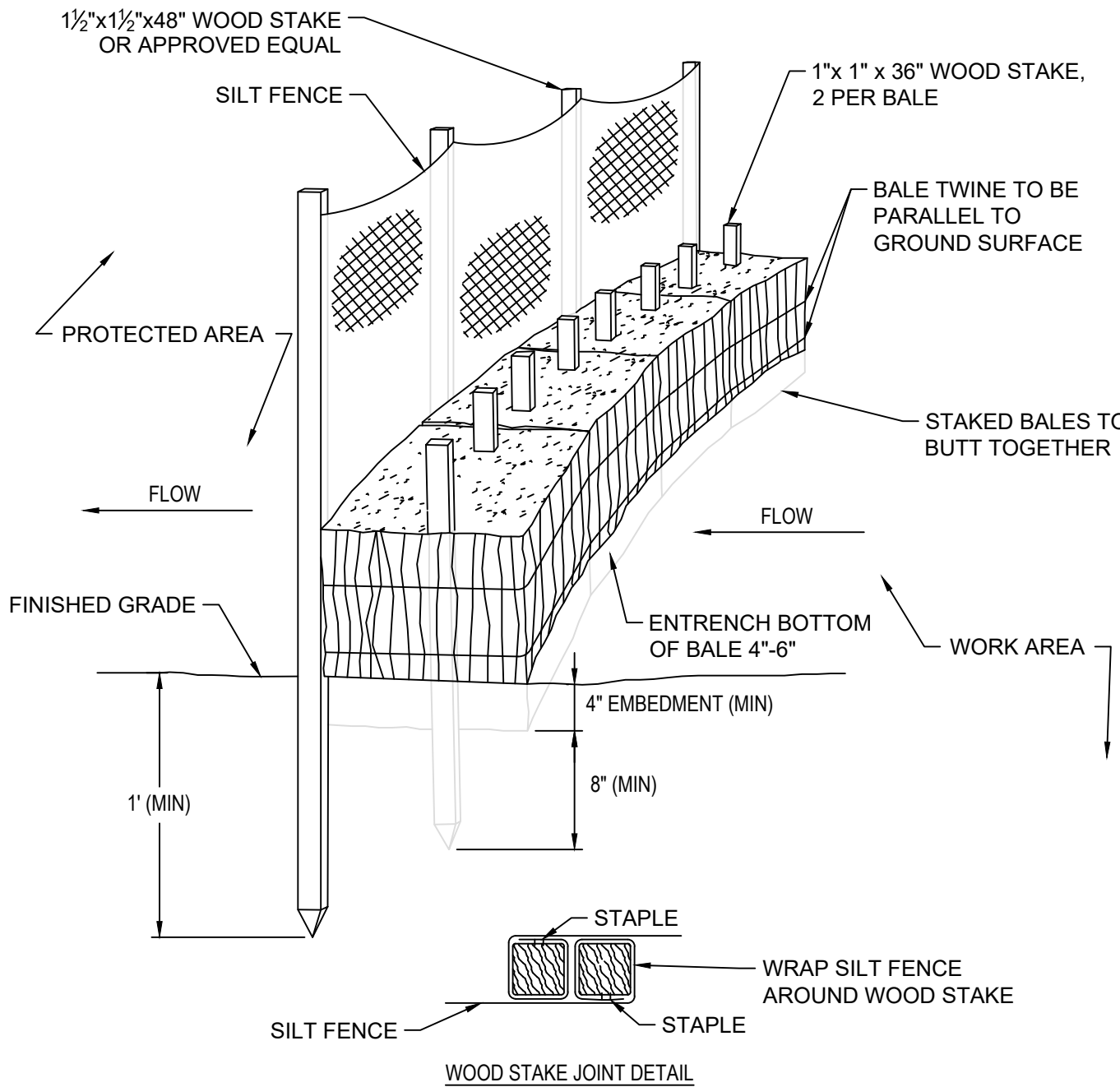
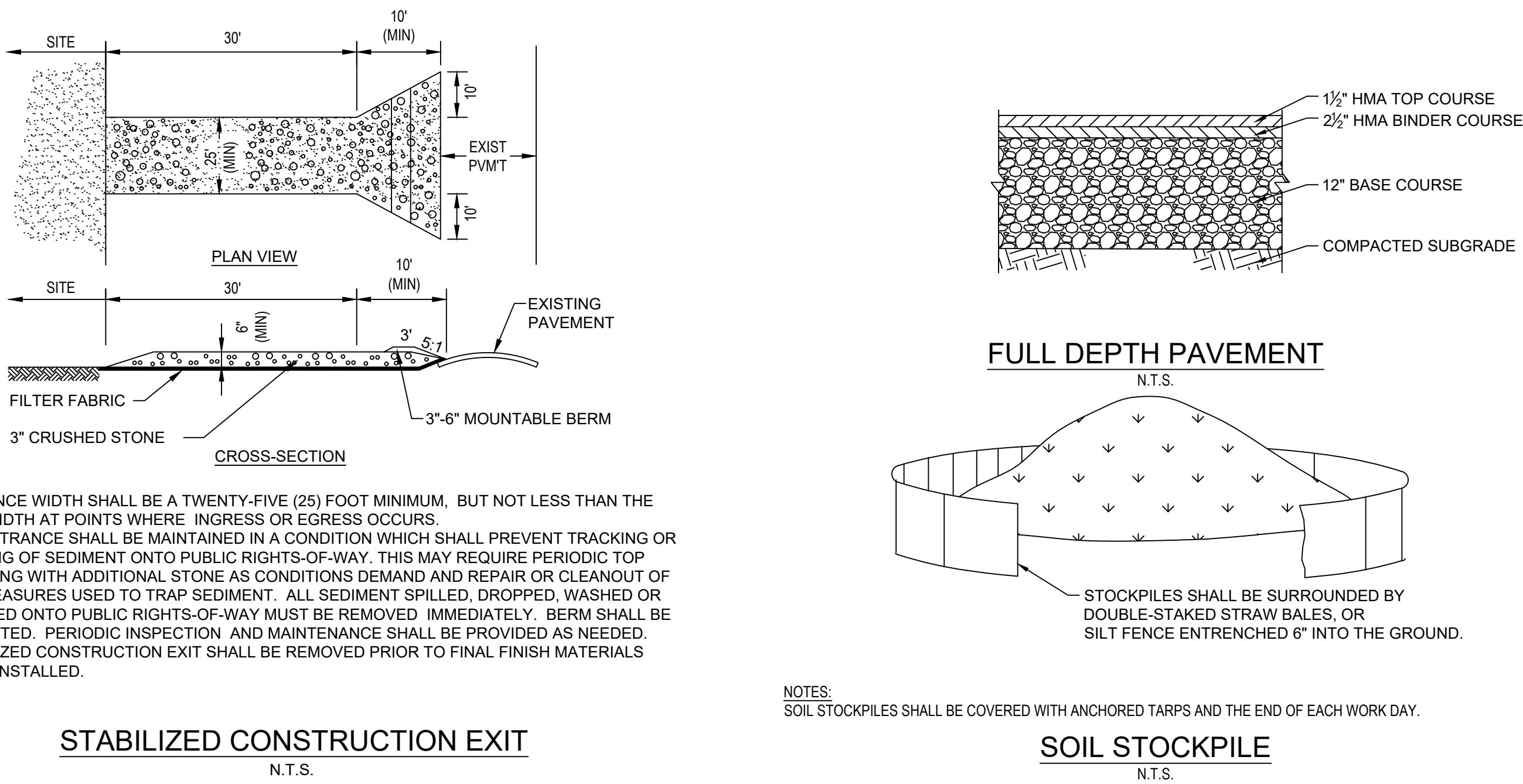
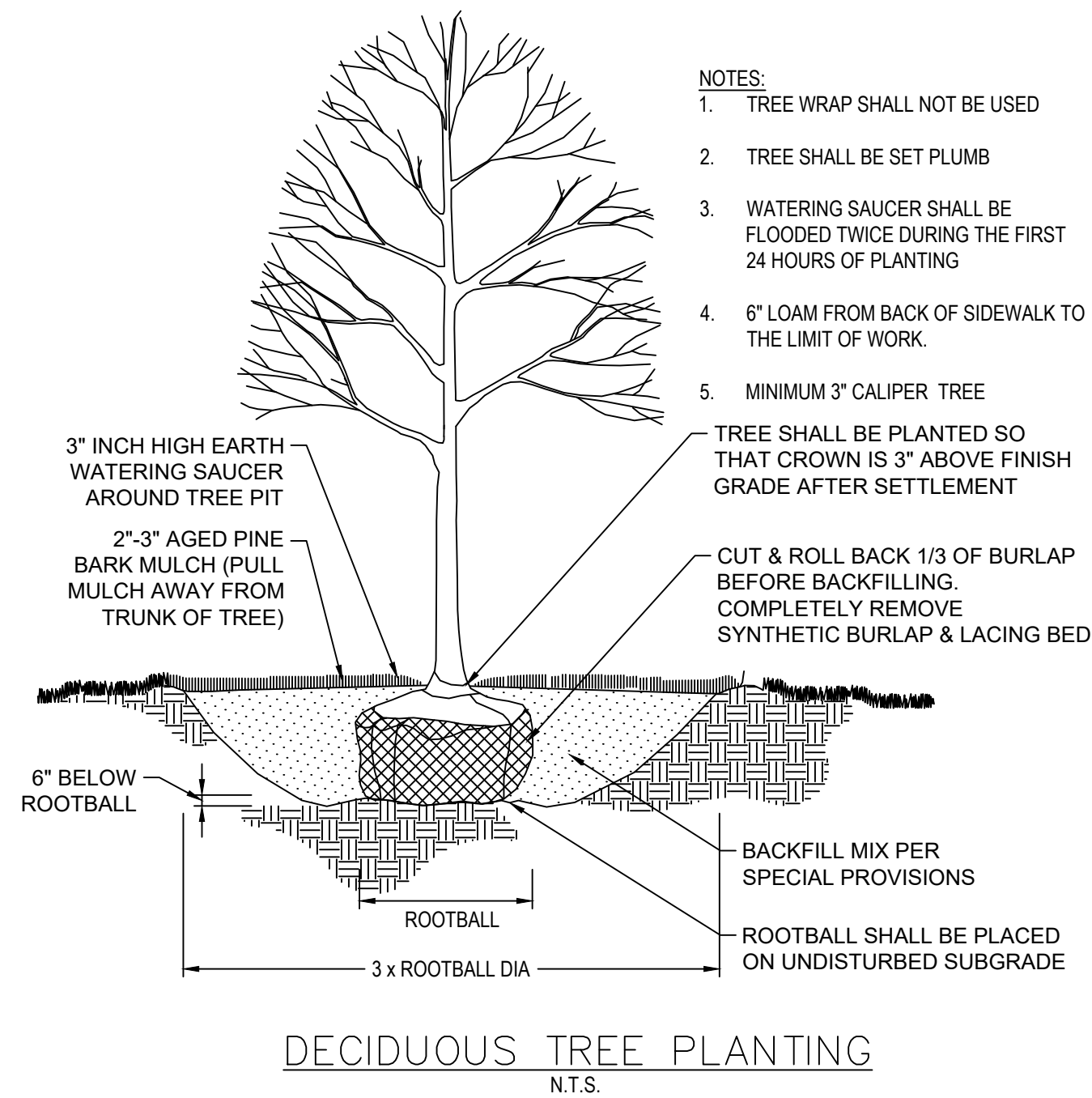
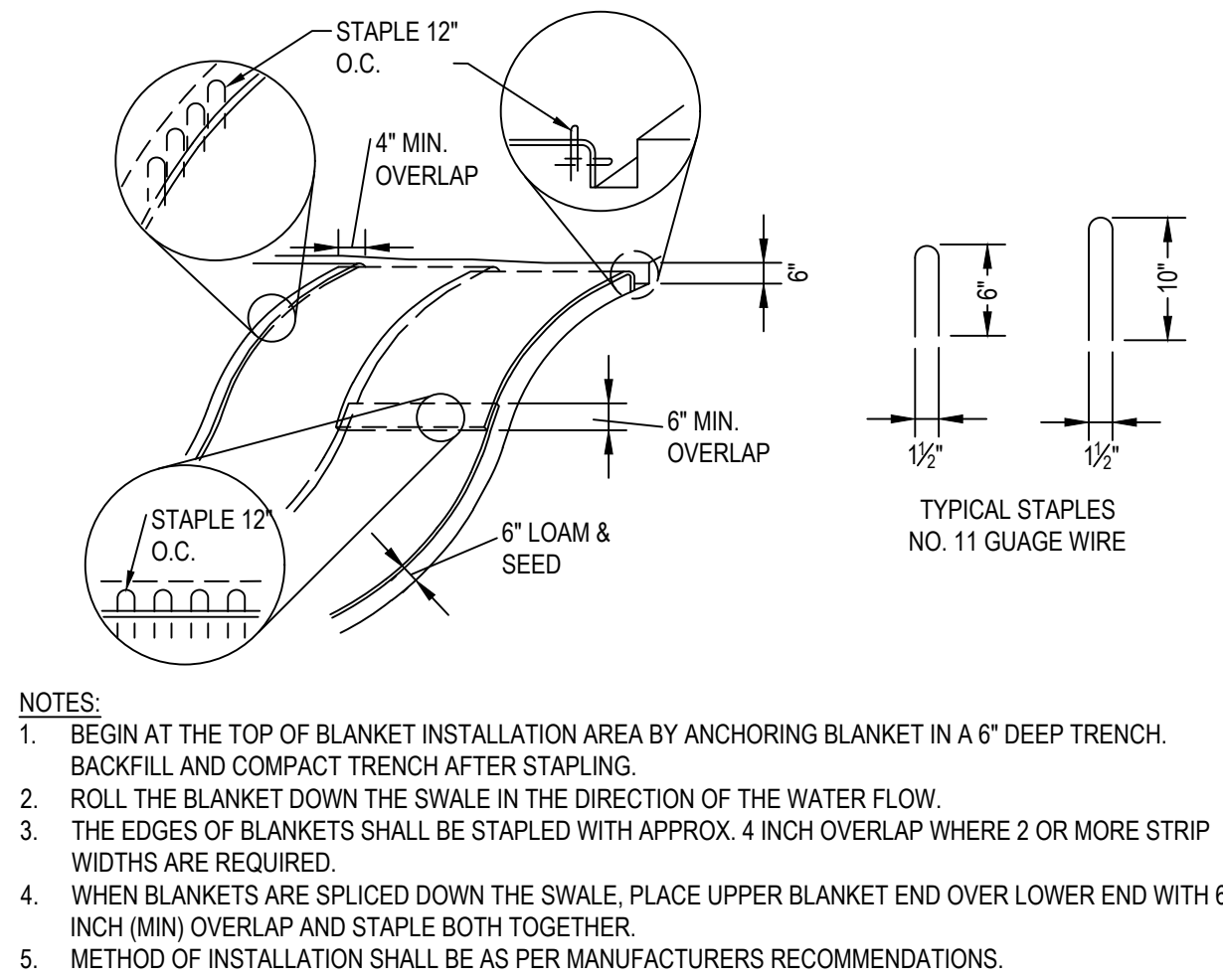
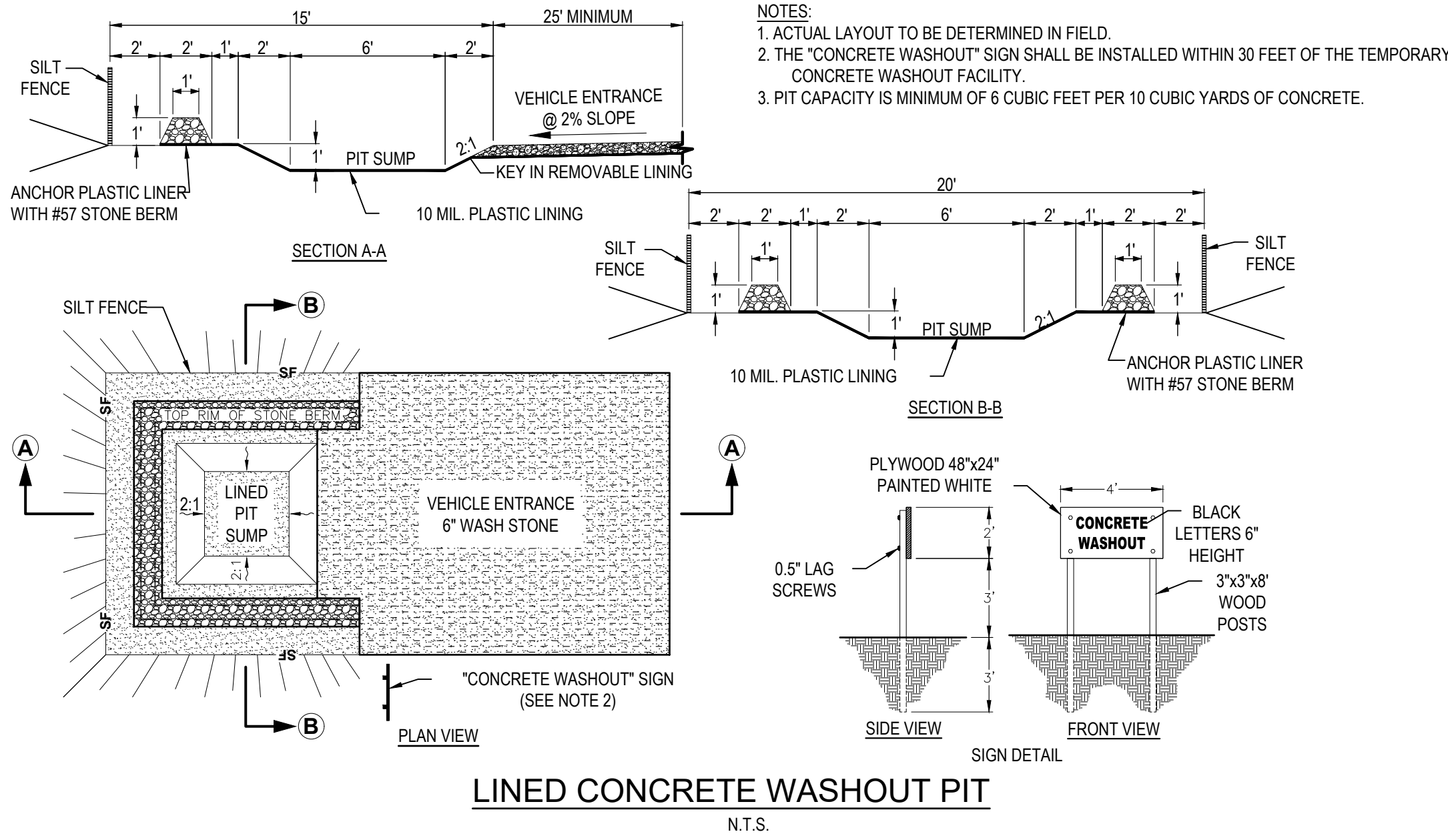
DRAWING TITLE
Utilities Plan

PROJECT NO.
T1180

TEC CAD FILE
T1180_UT

DRAWING NO.
C-10

SHEET 10 OF 16



TEC
The Engineering Corp

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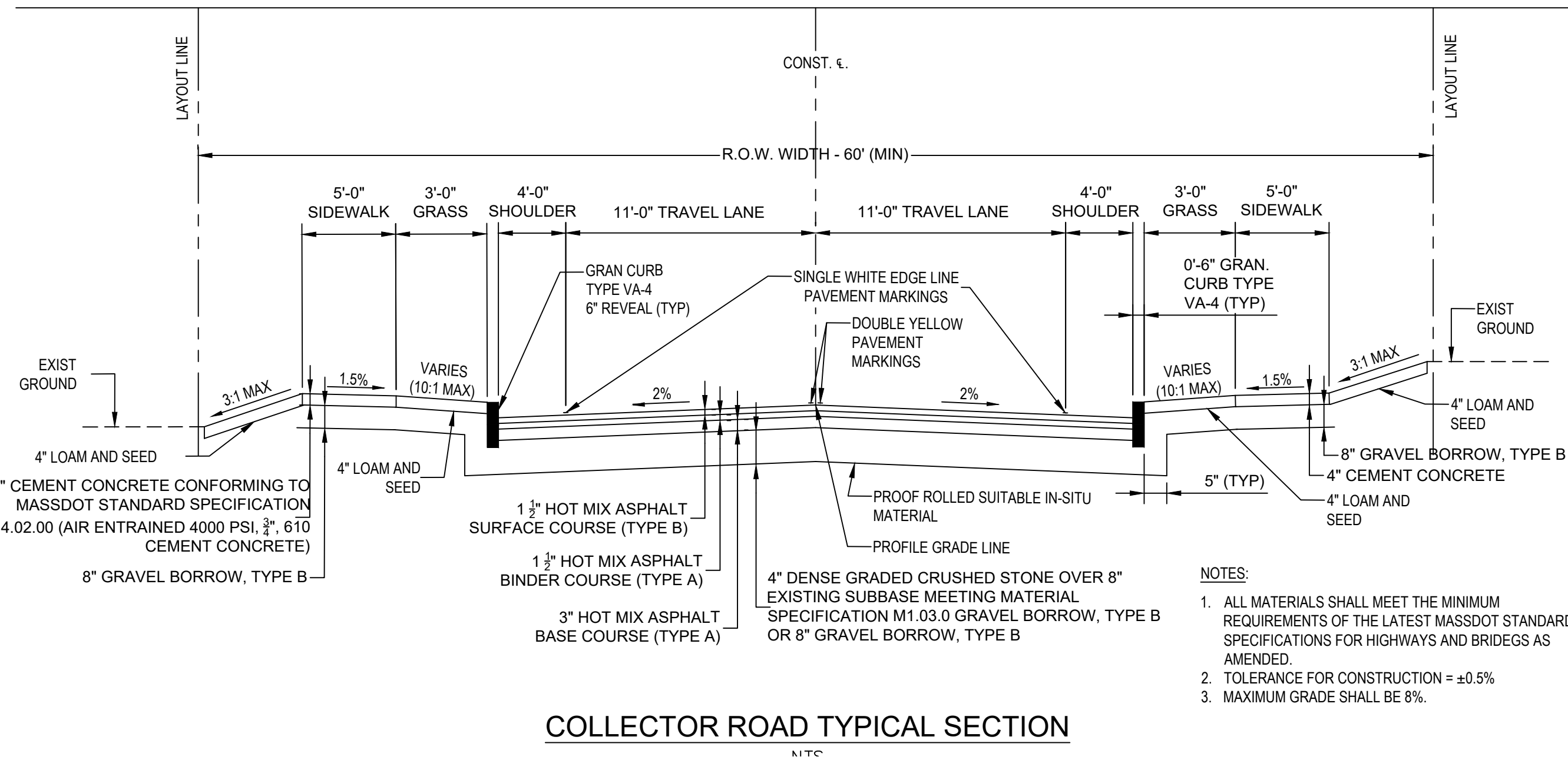
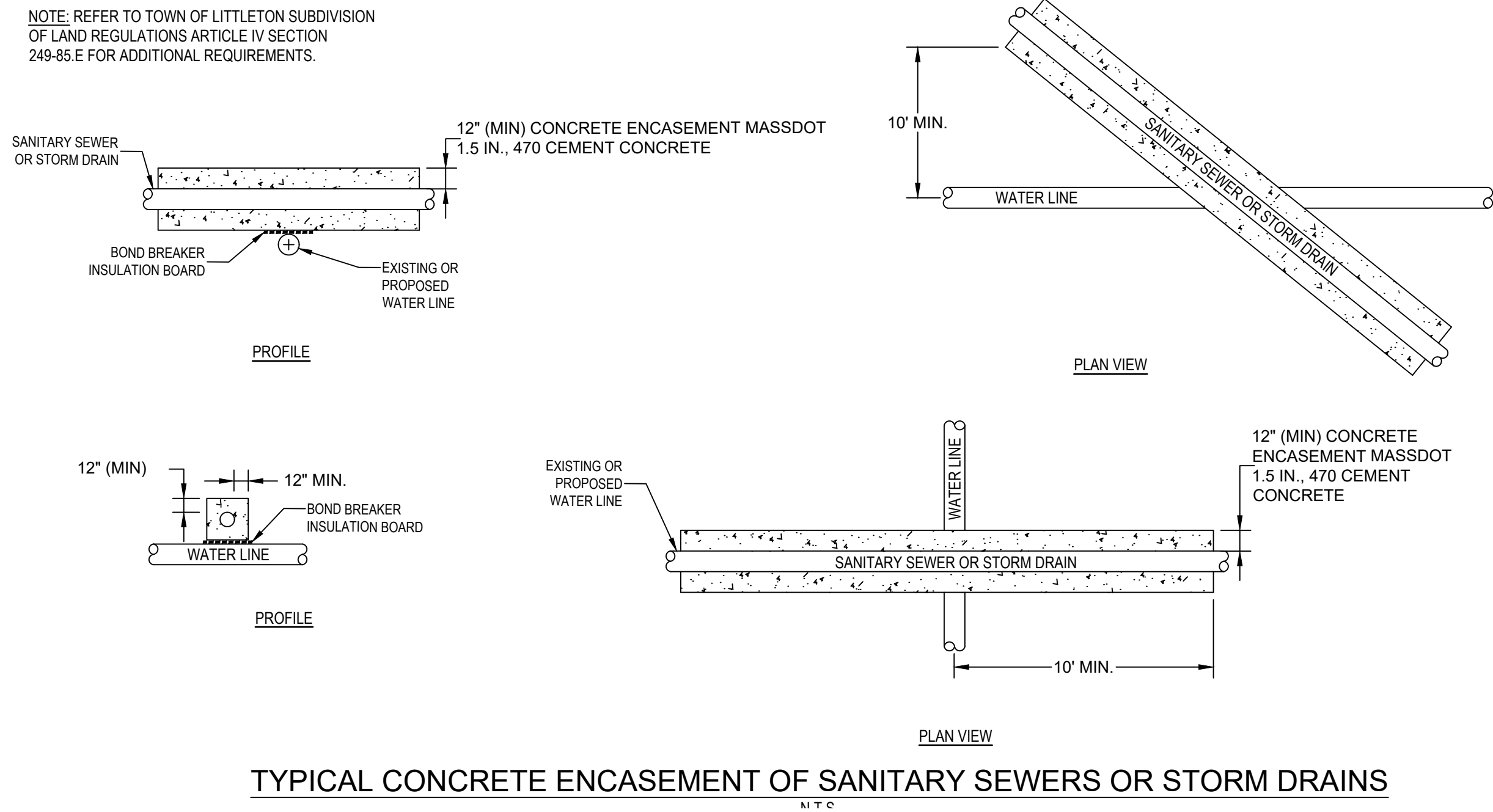
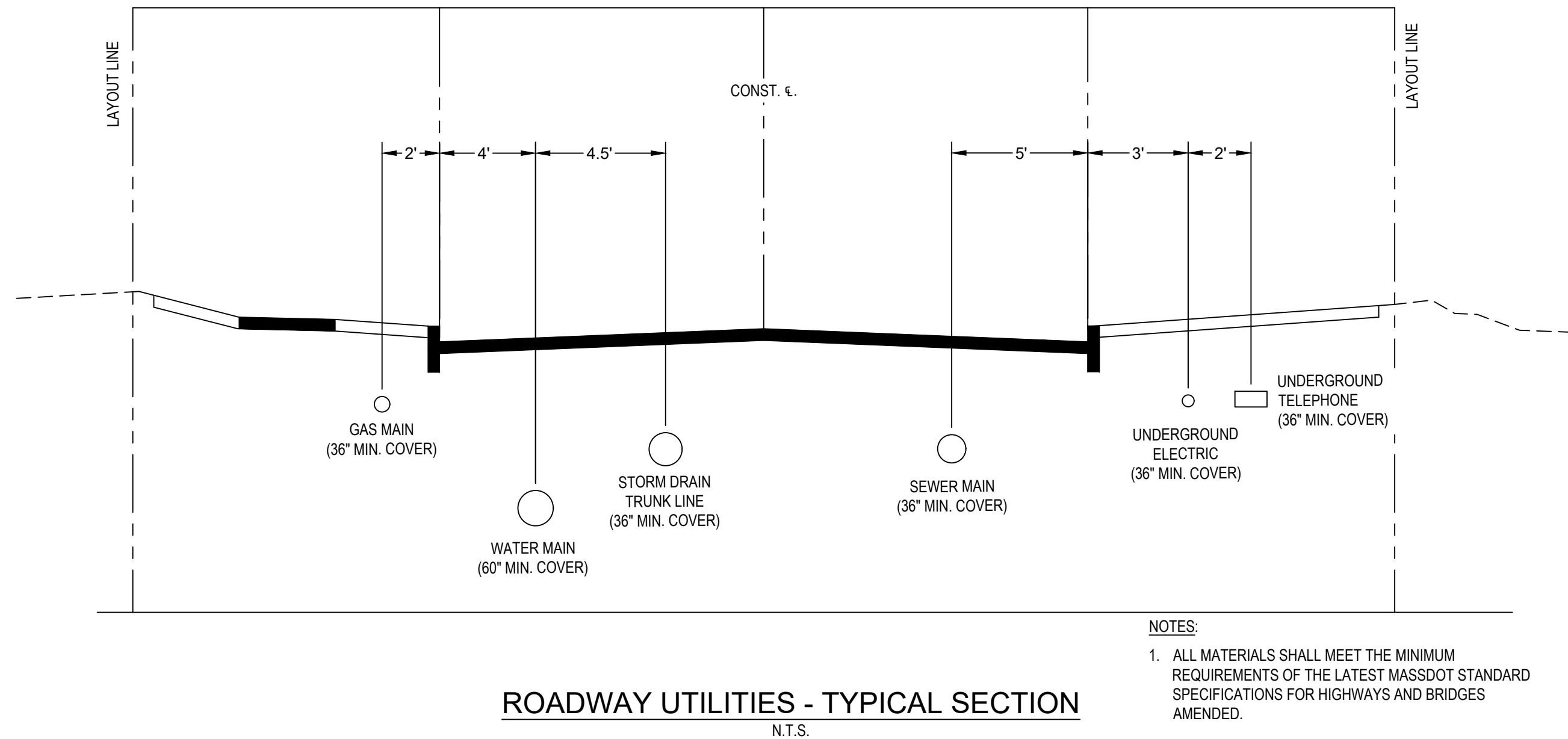
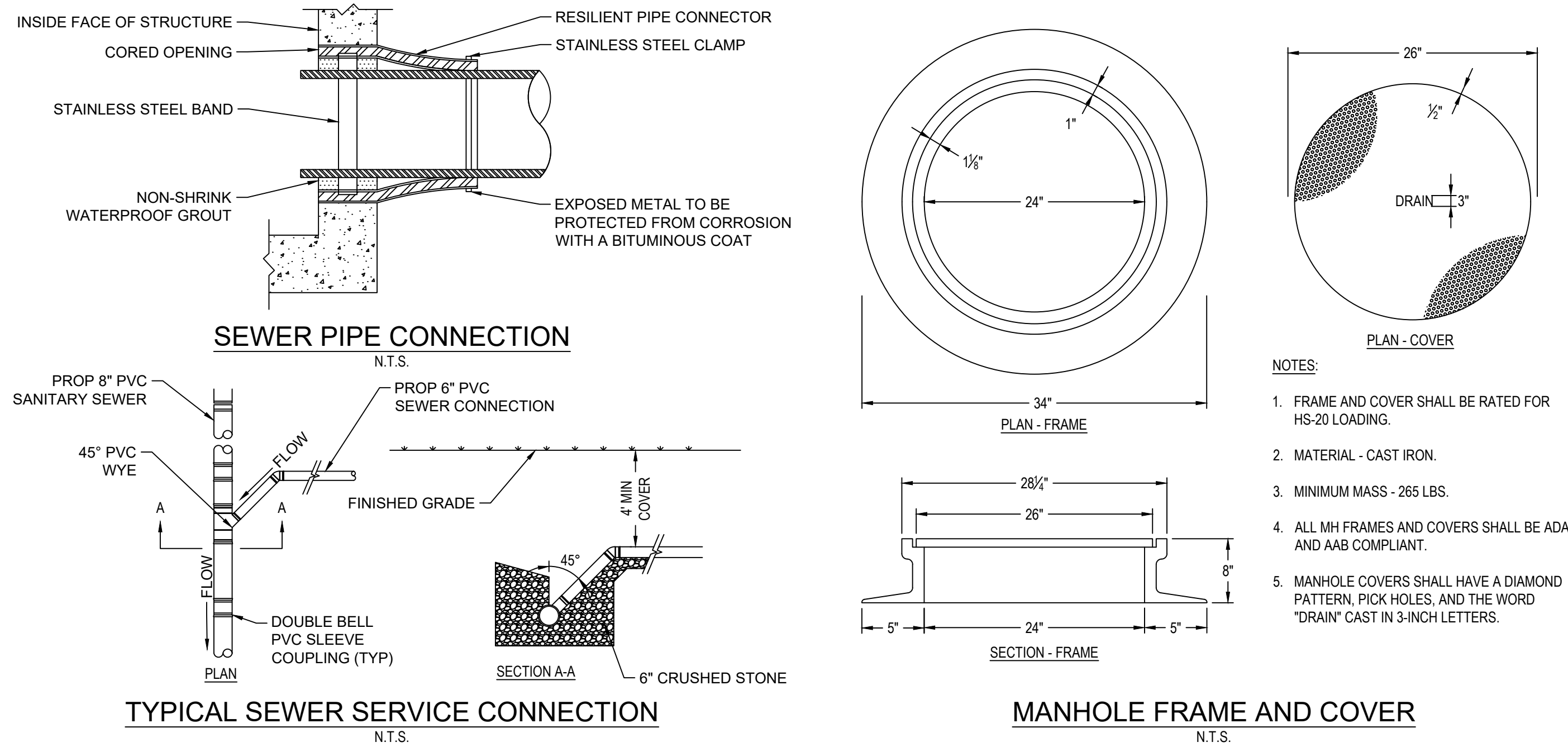
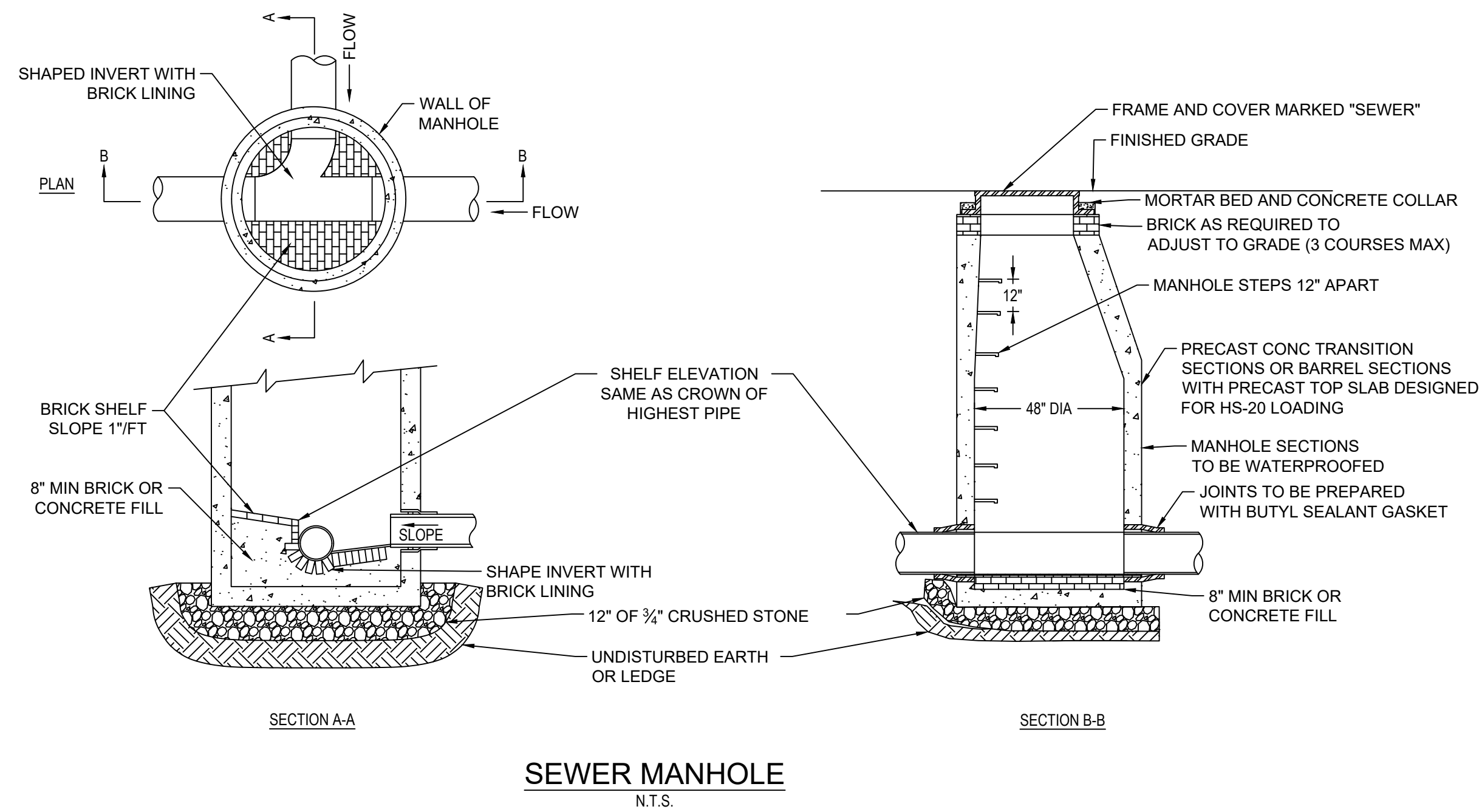
PROJECT TITLE
Phase 1 Retail Development at King Street Commons

PROJECT LOCATION
550 King Street, LLC Littleton, MA 01460

DRAWING TITLE
Construction Details

PROJECT NO. T1180
TEC CAD FILE T1180_DET
DRAWING NO. C-11
SHEET 11 OF 16

COMMITTEE OF MASSACHUSETTS
ALEXANDER SELLAR
No. 59081
11/26/25



TEC, Inc.
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REVISIONS

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Permitting

PROJECT TITLE
Phase 1 Retail Development at King Street Commons

PROJECT LOCATION
550 King Street, LLC Littleton, MA 01460

DRAWING TITLE
Construction Details

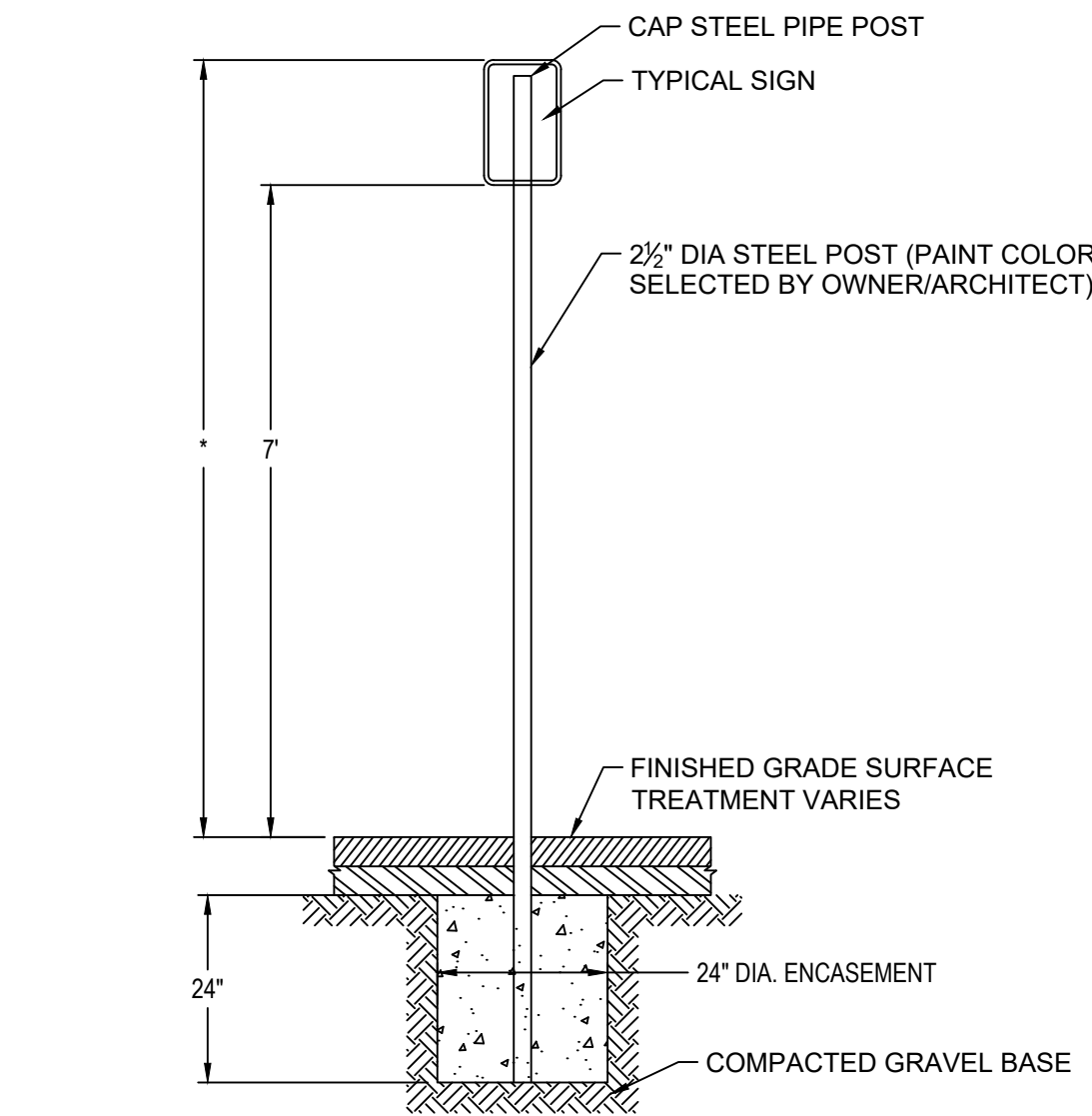
PROJECT NO.
T1180

TEC CAD FILE
T1180_DET

DRAWING NO.
C-13

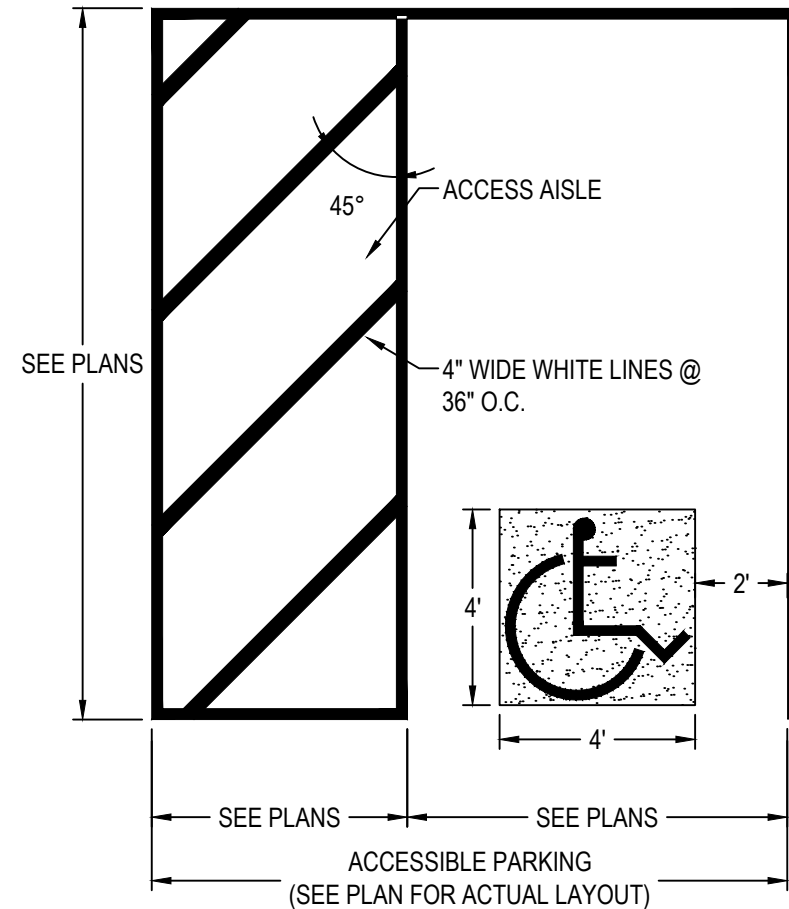
SHEET 13 OF 16

11/26/25



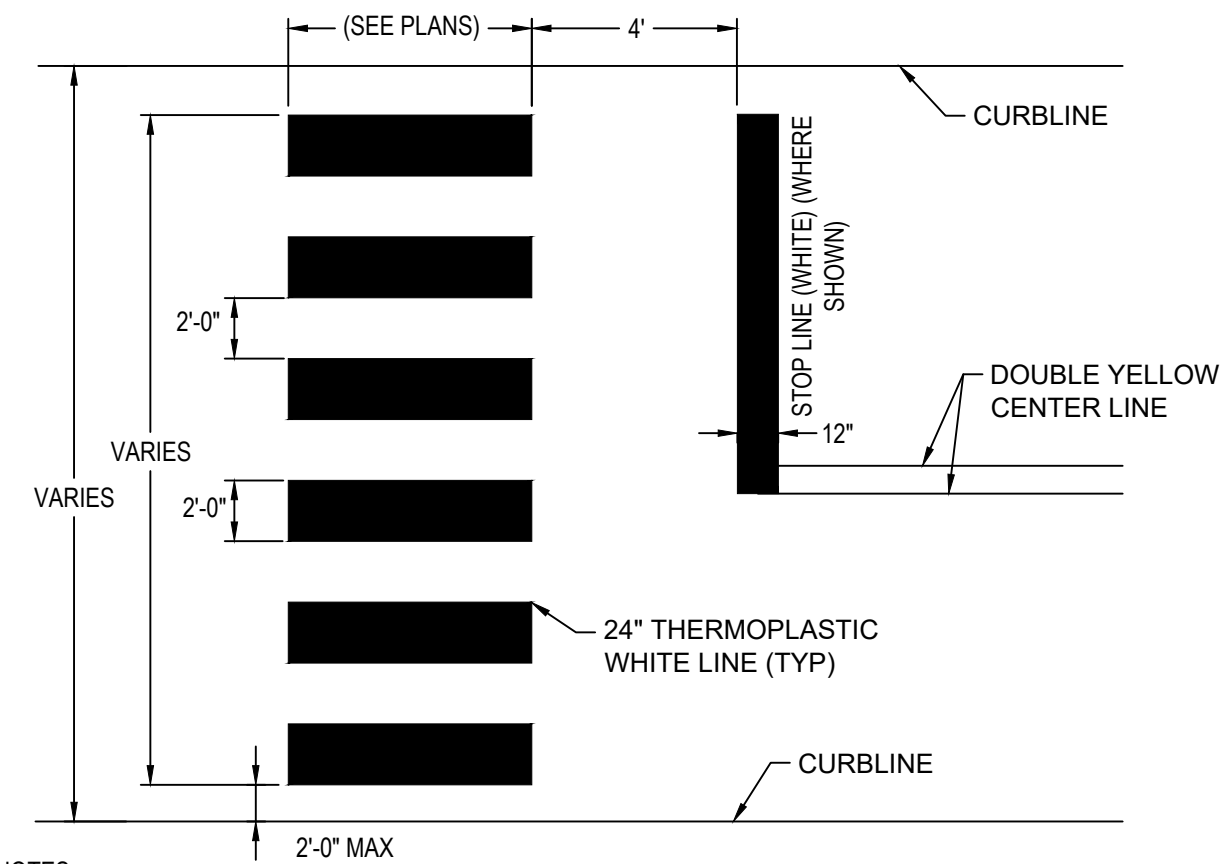
*THIS DIMENSION SHALL BE A MINIMUM OF 5' AND A MAXIMUM OF 8' FOR ACCESSIBLE SIGNAGE IN THE COMMONWEALTH OF MASSACHUSETTS.

SIGN POST
N.T.S.



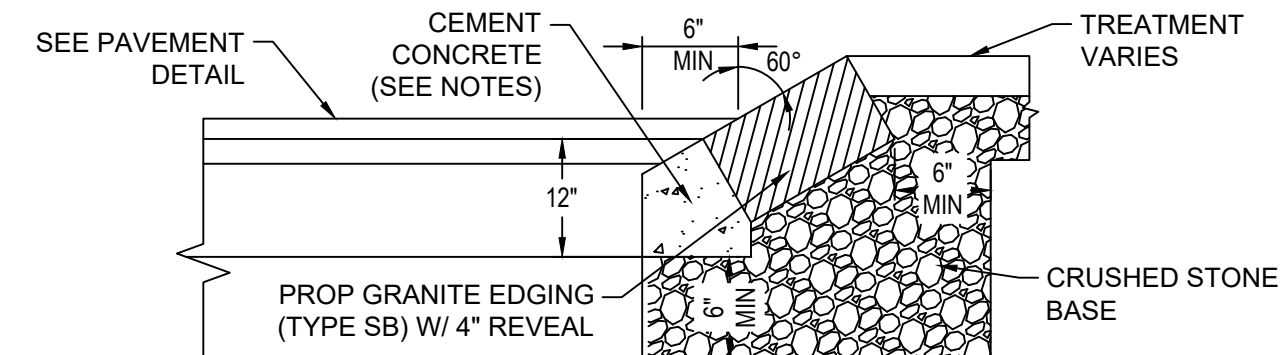
- NOTES:
1. ALL DIMENSIONS TO EDGE OF 4" PAVEMENT STRIPING. ALL STRIPING SHALL BE 4" WIDE SOLID WHITE PAVEMENT MARKINGS UNLESS OTHERWISE NOTED.
 2. 8' CLEAR WIDTH REFERS TO 8' BETWEEN INSIDE EDGES OF PAVEMENT MARKINGS. SYMBOL SHALL BE CENTERED WITHIN PARKING STALL

ACCESSIBLE PARKING SPACE
N.T.S.



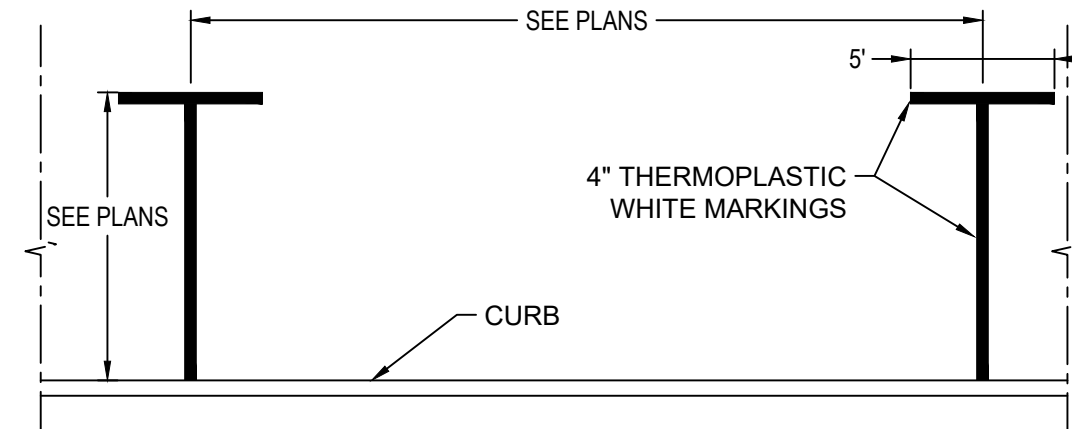
- NOTES:
1. ALL 12" LINES SHALL BE APPLIED IN ONE APPLICATION, NO COMBINATION OF LINES (TWO - 6" LINES) WILL BE ACCEPTED. ALL 24" LINES MAY BE EITHER ONE 24" LINE OR A COMBINATION OF TWO - 12" LINES.
 2. LAYOUT OF CROSSWALKS SHALL BE APPROVED BY THE ENGINEER PRIOR TO APPLICATION.
 3. CROSSWALK BARS SHALL BE PLACED OUTSIDE THE VEHICULAR WHEEL PATH WHEREVER POSSIBLE.

CROSSWALK PAVEMENT MARKING
N.T.S.

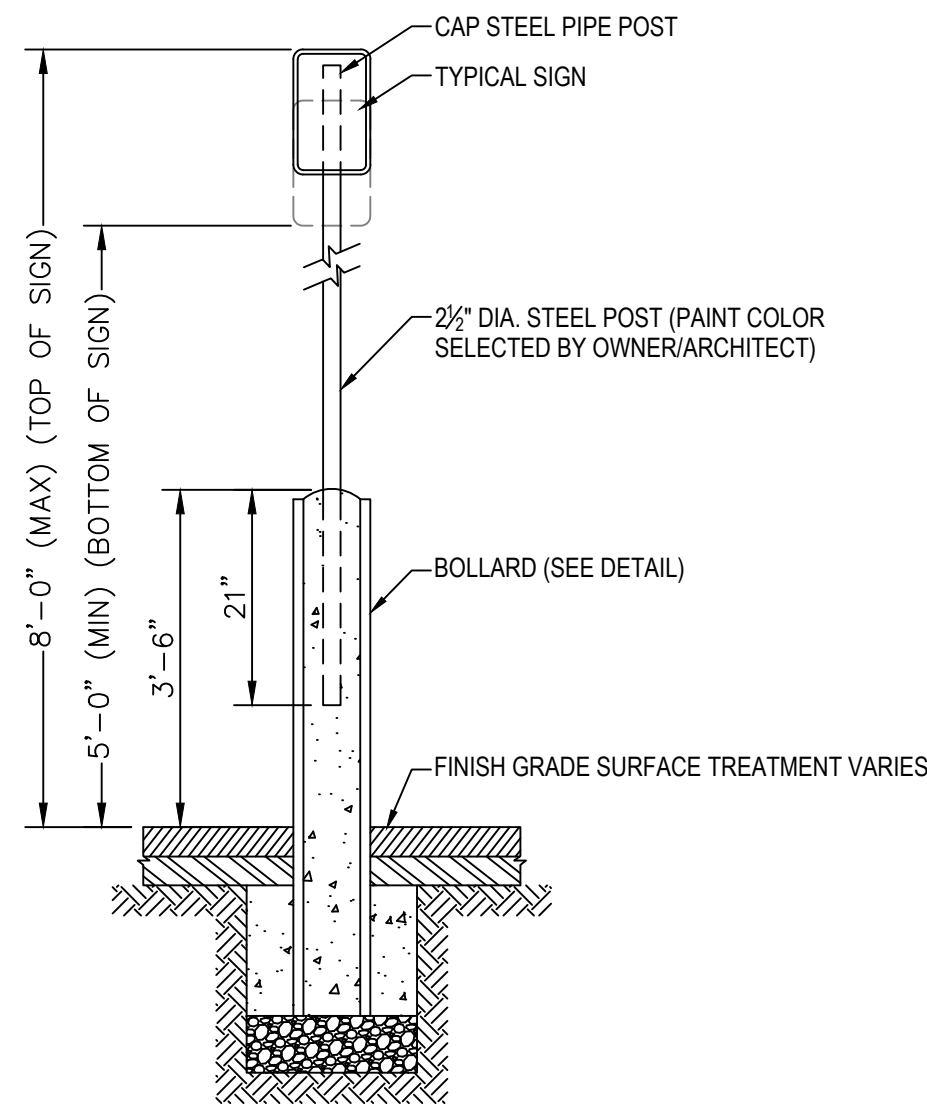


1. CONCRETE SHALL BE INCLUDED IN PRICE BID FOR VARIOUS GRANITE EDGING ITEMS FOR 6" OFFSET FROM FACE OF CURB.
2. ANY DESIGNATED CEMENT CONCRETE THAT IS ACCEPTABLE UNDER SECTION M4 OF THE MASSDOT STANDARD SPECIFICATIONS MAY BE USED; ALL TEST REQUIREMENTS ARE WAIVED. HOT MIX ASPHALT SHALL NOT BE USED AS A SUBSTITUTE.
3. FOR ALL OTHER DIMENSIONS, SEE MASSDOT CONSTRUCTION STANDARD E106.5.0

GRANITE EDGING
N.T.S.



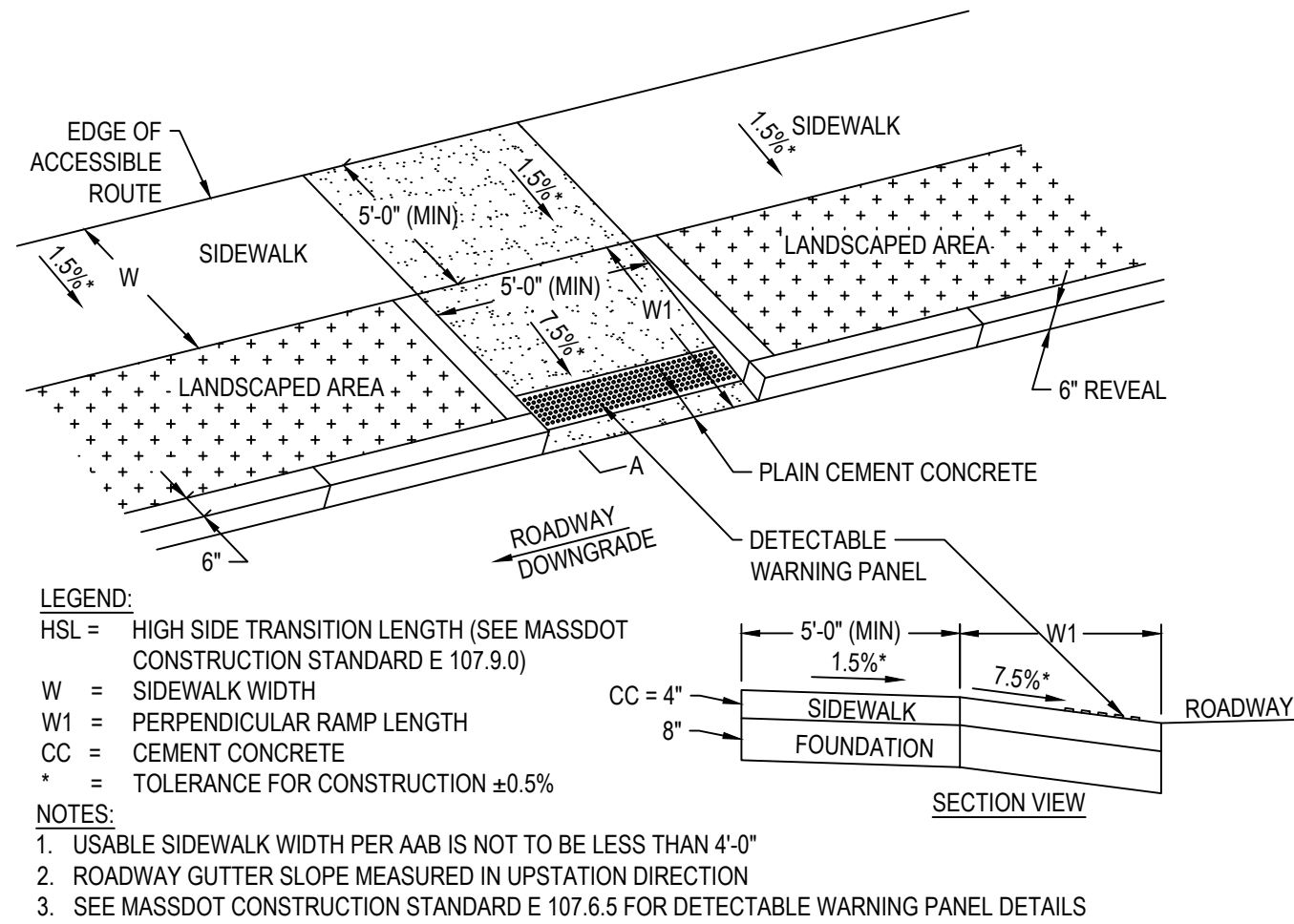
PARALLEL PARKING PAVEMENT MARKING
N.T.S.



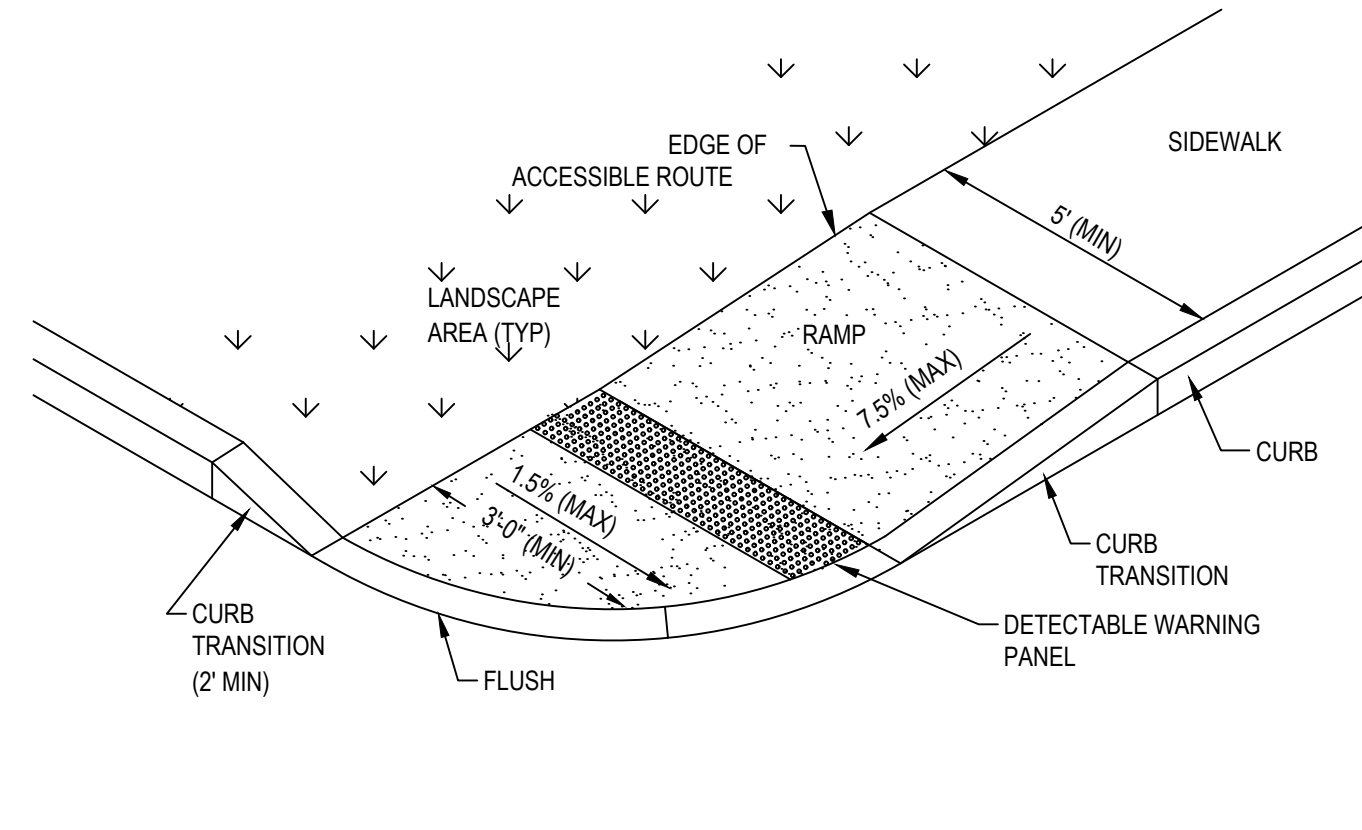
BOLLARD MOUNTED SIGN
N.T.S.

TRAFFIC SIGN SUMMARY						
ID NUMBER	SIZE OF SIGN (in)		LEGEND	TEXT DIMENSIONS (in)		
	WIDTH	HEIGHT		LETTER HEIGHT	VERTICAL SPACING	ROUTE MARKER
R1-1	30	30		SEE MUTCD SIGN STANDARDS		
R7-6	12	18				
R7-8	12	18				
R7-8P	18	9				

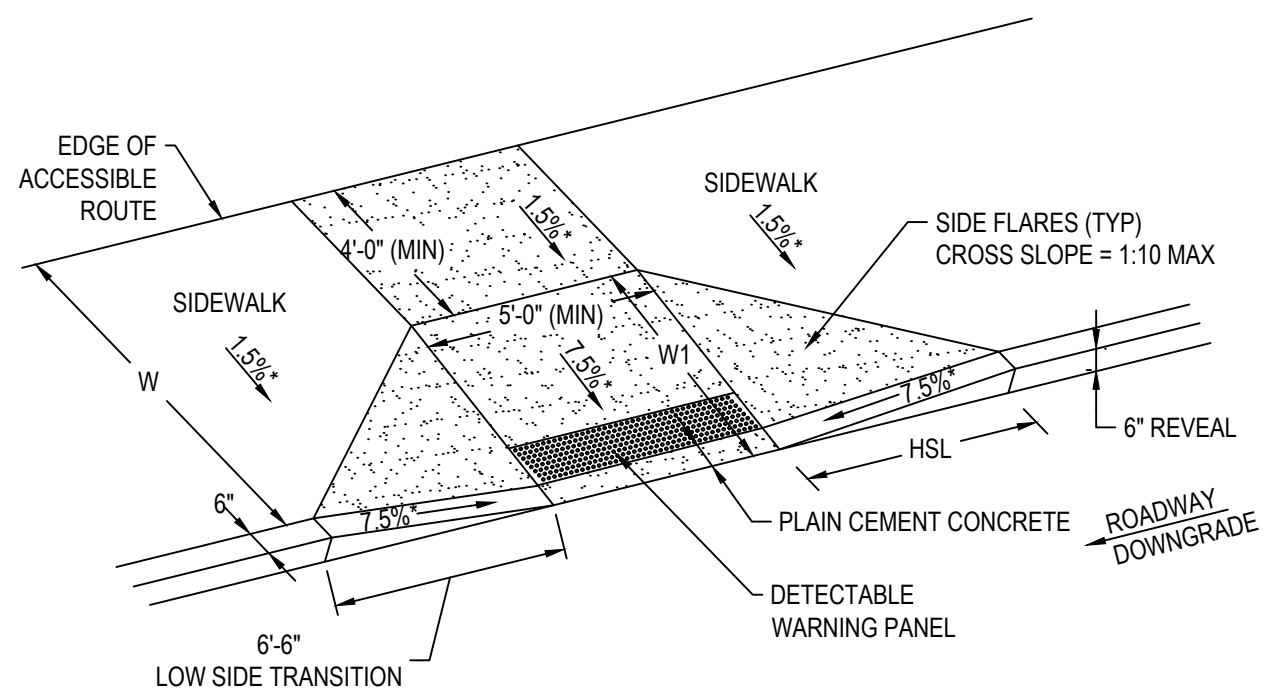
- * HANDICAP PARKING SIGNS SHALL BE IN ACCORDANCE WITH TOWN OF LITTLETON STANDARDS, AND ADA REGULATIONS. VAN SIGNS SHALL BE LOCATED AT ALL ADA SPACES. PER ADA ACCESSIBILITY GUIDELINES (AMENDED 2010) ANY SPACE WITH A VAN SIGN IS NOT INTENDED TO BE RESTRICTED ONLY TO VANS



WHEELCHAIR RAMP
N.T.S.

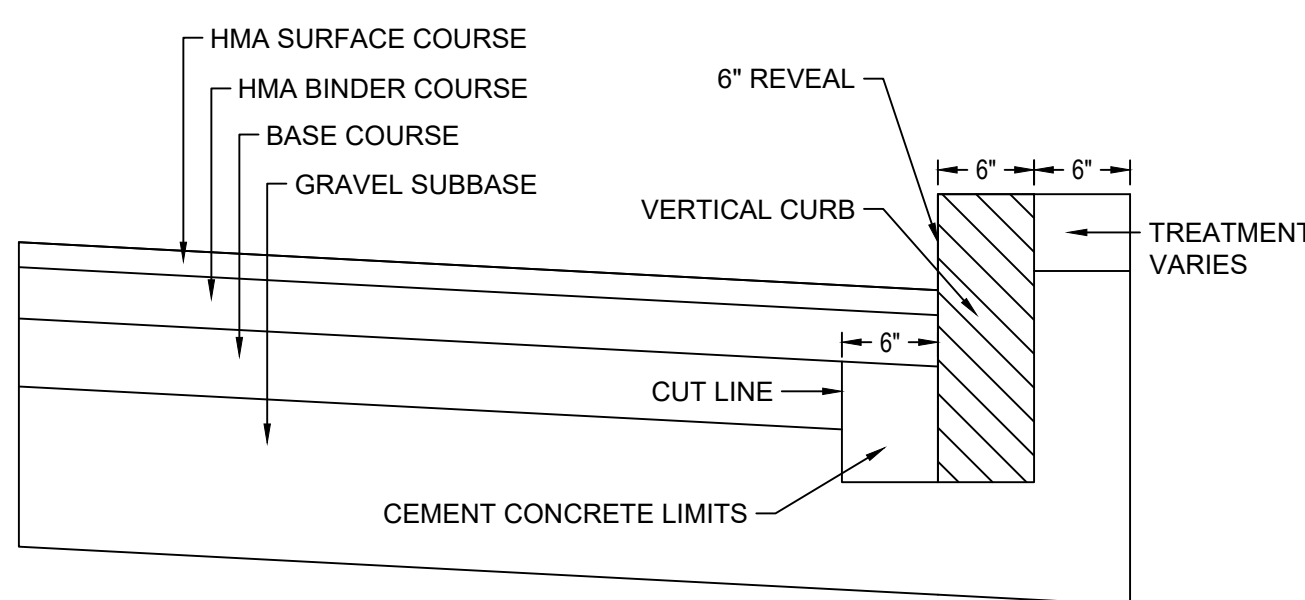


WHEELCHAIR RAMP TYPE B
N.T.S.



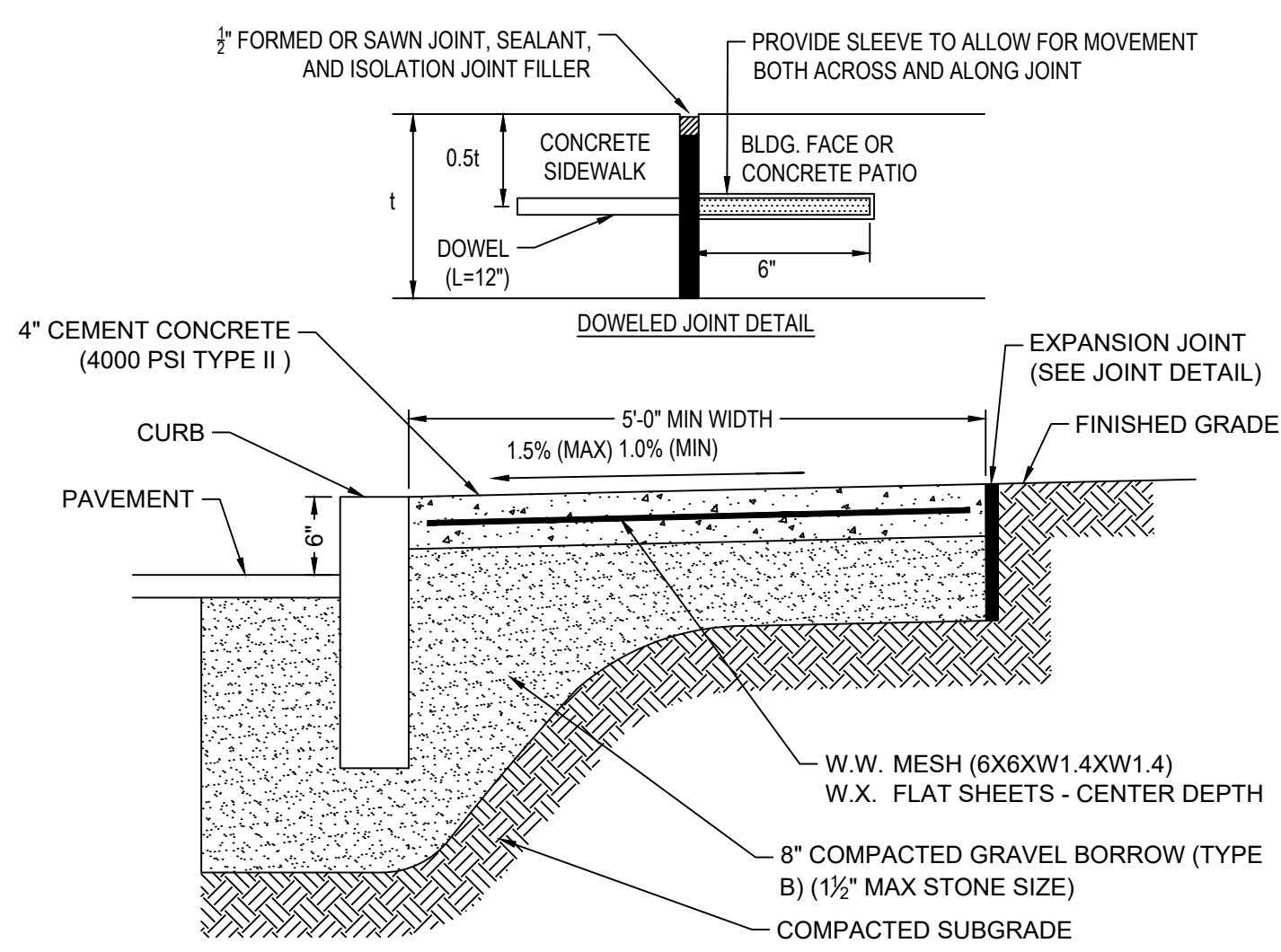
- LEGEND:
- HSL = HIGH SIDE TRANSITION LENGTH (SEE MASSDOT CONSTRUCTION STANDARDS)
- W = SIDEWALK WIDTH
- W1 = PERPENDICULAR RAMP LENGTH
- CC = CEMENT CONCRETE
- * = TOLERANCE FOR CONSTRUCTION ±0.5%
- NOTES:
1. USABLE SIDEWALK WIDTH PER AAB IS NOT TO BE LESS THAN 4'-0".
 2. ROADWAY GUTTER SLOPE MEASURED IN UPSTATION DIRECTION.
 3. SEE MASSDOT CONSTRUCTION STANDARDS FOR DETECTABLE WARNING PANEL DETAILS.

WHEELCHAIR RAMP
N.T.S.



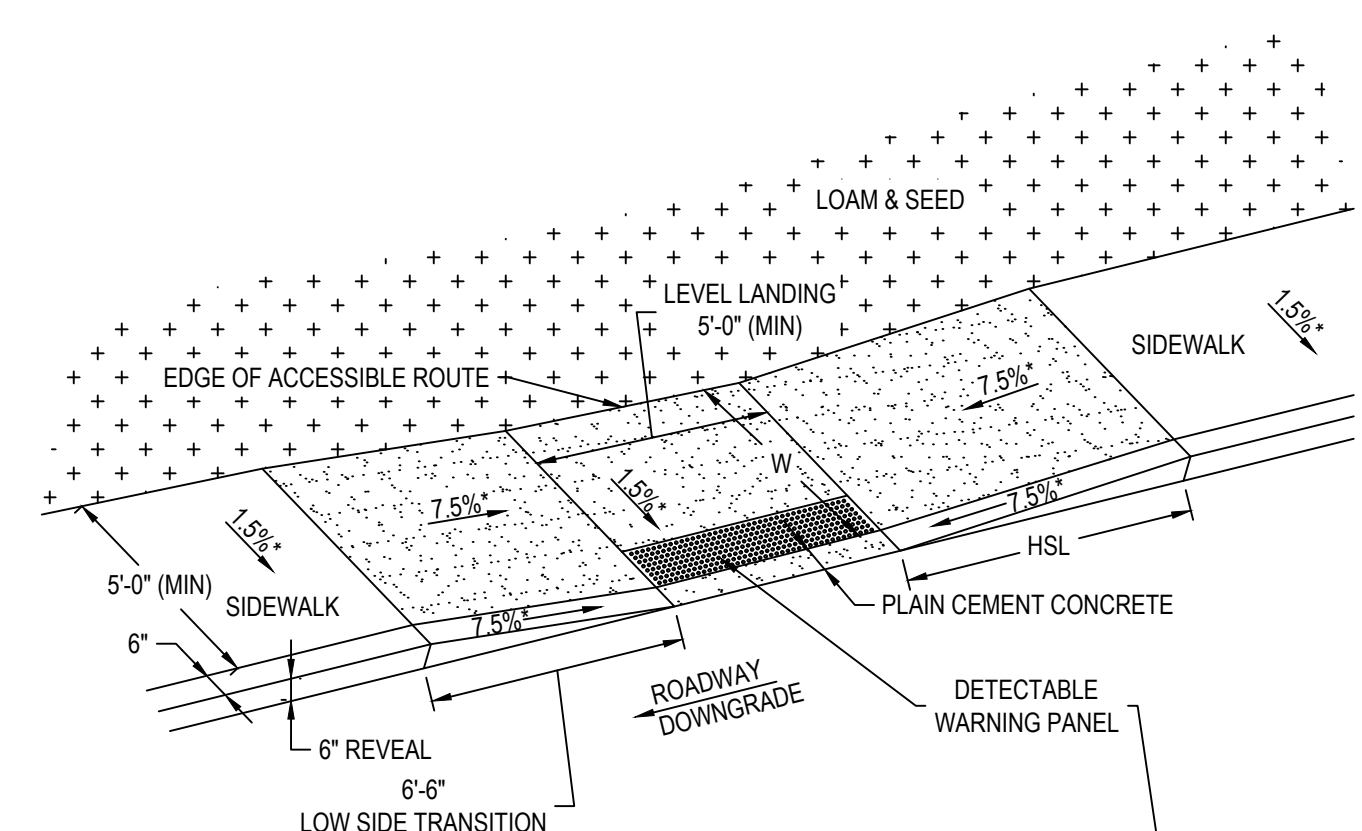
- NOTES:
1. THIS PROCEDURE IS APPLICABLE ONLY IF CURB IS TO BE SET AFTER BASE COURSE IS IN PLACE PRIOR TO BINDER AND TOP PLACEMENT.
 2. CUT NEAT LINE 6" FROM CURB LINE AND REMOVE BASE AND GRAVEL. REPLACE WITH CEMENT CONCRETE
 3. ANY DESIGNATED CEMENT CONCRETE THAT IS ACCEPTABLE UNDER SECTION M4 OF MADOT STANDARD SPECIFICATIONS MAY BE USED; ALL TEST REQUIREMENTS ARE WAIVED. HOT MIX ASPHALT SHALL NOT BE USED AS A SUBSTITUTE.

VERTICAL GRANITE CURB
N.T.S.



- NOTES:
1. PROVIDE A DOWELED CONSTRUCTION JOINT AT ALL DOORWAY LOCATIONS

CEMENT CONCRETE SIDEWALK
N.T.S.



- LEGEND:
- HSL = HIGH SIDE TRANSITION LENGTH (SEE MASSDOT CONSTRUCTION STANDARD E 107.9.0)
- W = SIDEWALK WIDTH
- CC = CEMENT CONCRETE
- * = TOLERANCE FOR CONSTRUCTION ±0.5%
- NOTES:
1. USABLE SIDEWALK WIDTH PER AAB IS NOT TO BE LESS THAN 4'-0".
 2. ROADWAY GUTTER SLOPE MEASURED IN UPSTATION DIRECTION.
 3. SEE MASSDOT CONSTRUCTION STANDARD E 107.6.5 FOR DETECTABLE WARNING PANEL DETAILS.
 4. SEE MASSDOT CONSTRUCTION STANDARD E 107.2.1 FOR ALL OTHER DETAILS.

WHEELCHAIR RAMP TYPE A
N.T.S.



TEC, Inc.

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2 Monument Square
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207-370-5838

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DESIGNED BY MWC
DRAWN BY SSB
CHECKED BY AFS
DATE 11/26/2025
SCALE AS NOTED

PREPARED FOR

Lupoli Companies
290 Merrimack Street
Lawrence, MA 01840

REVISIONS

ISSUED FOR

Permitting

PROJECT TITLE

Phase 1 Retail
Development at King
Street Commons

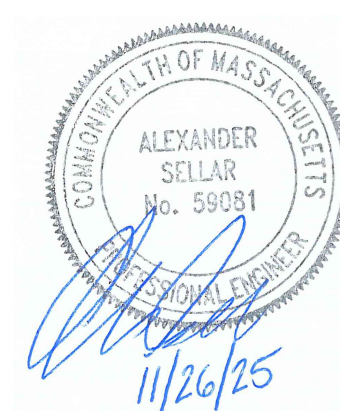
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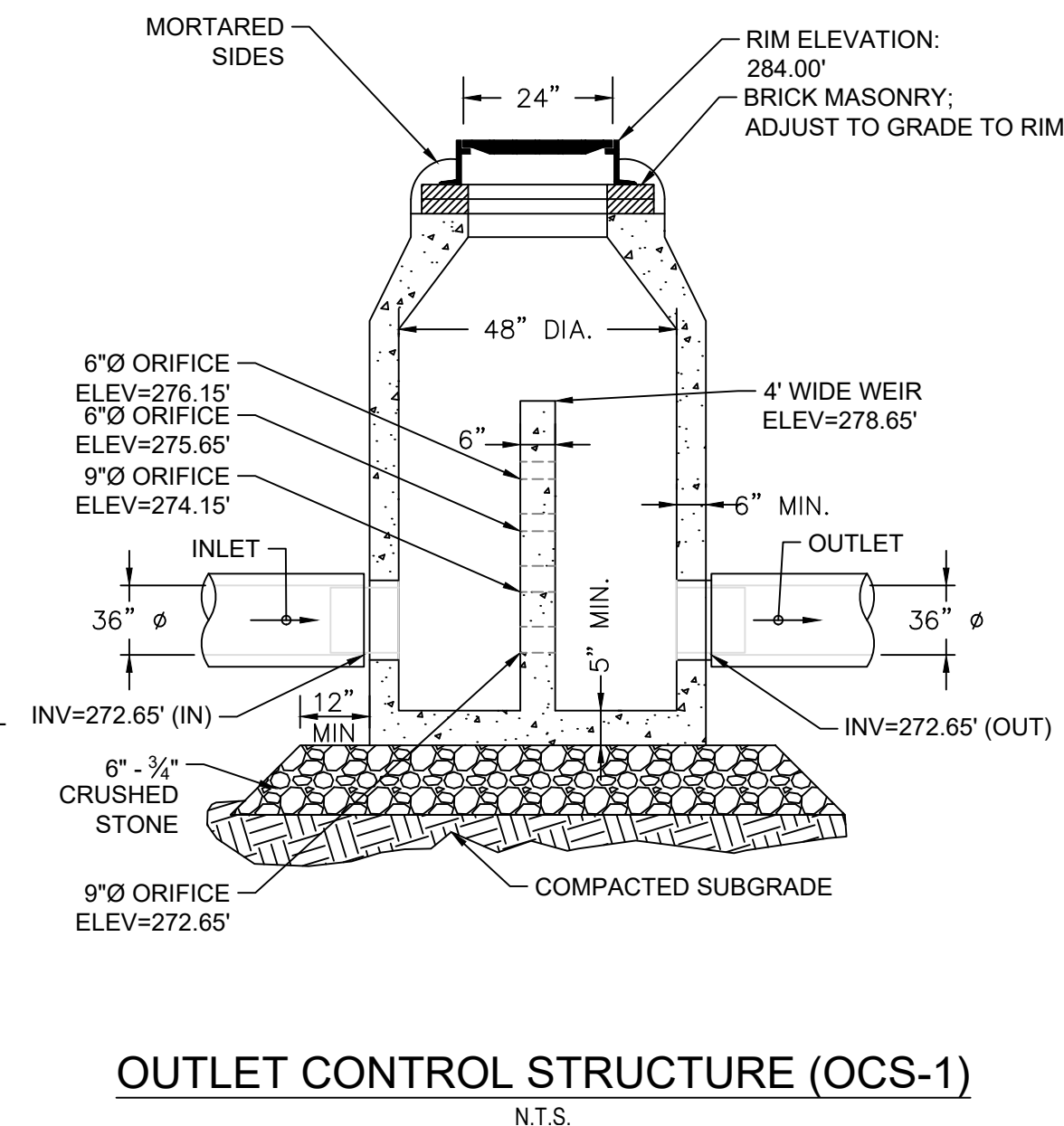
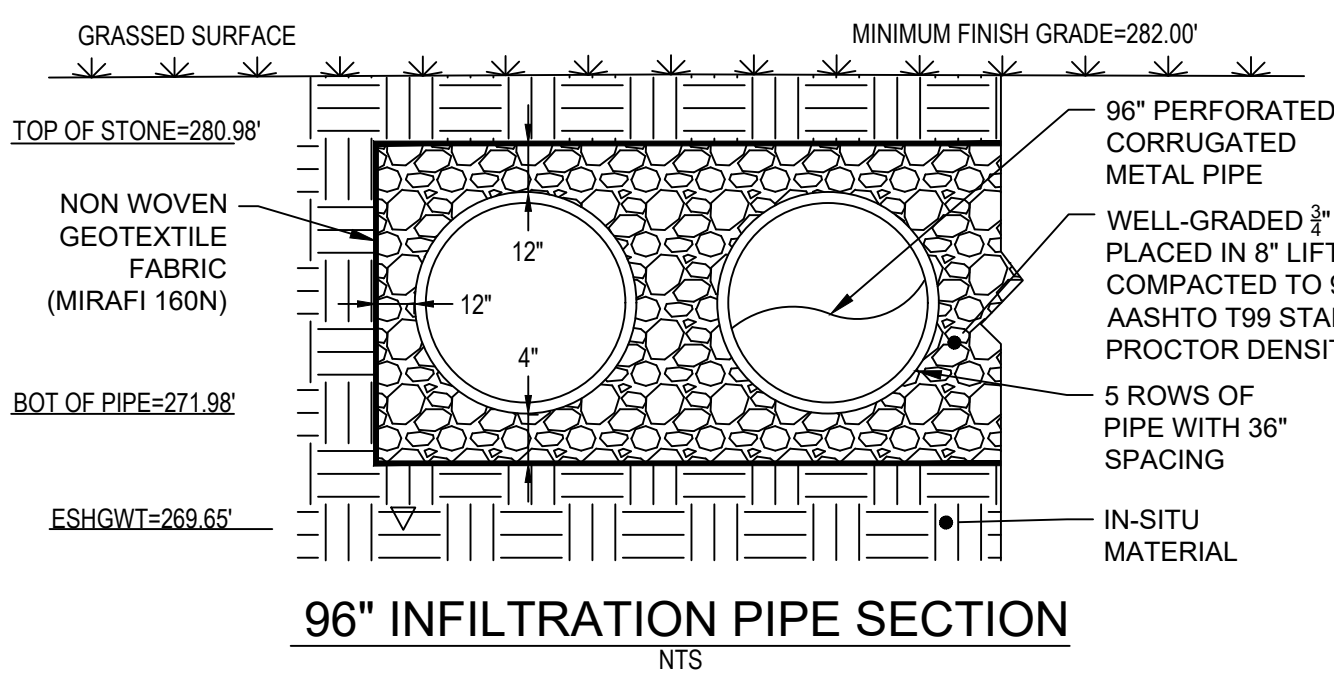
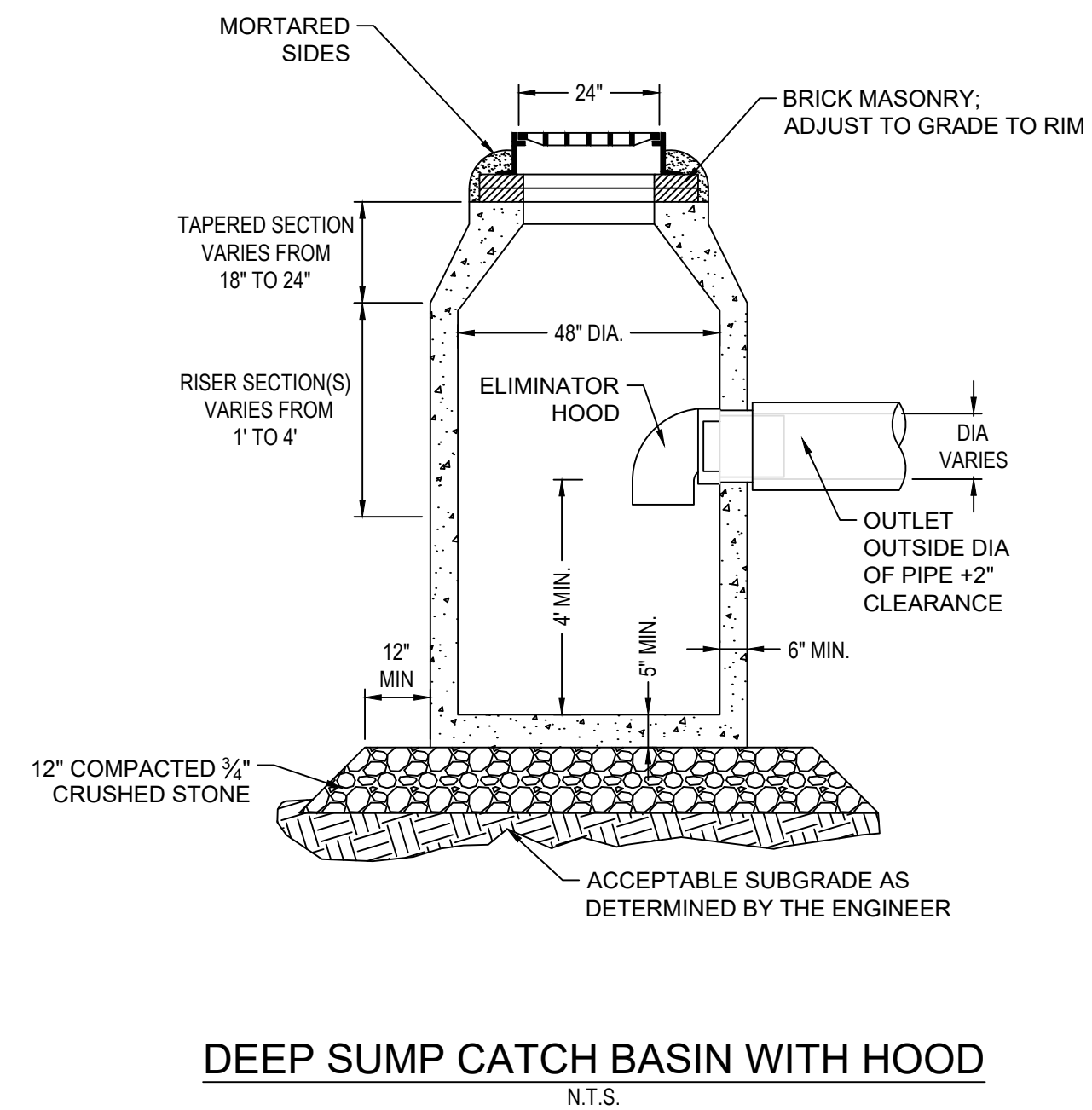
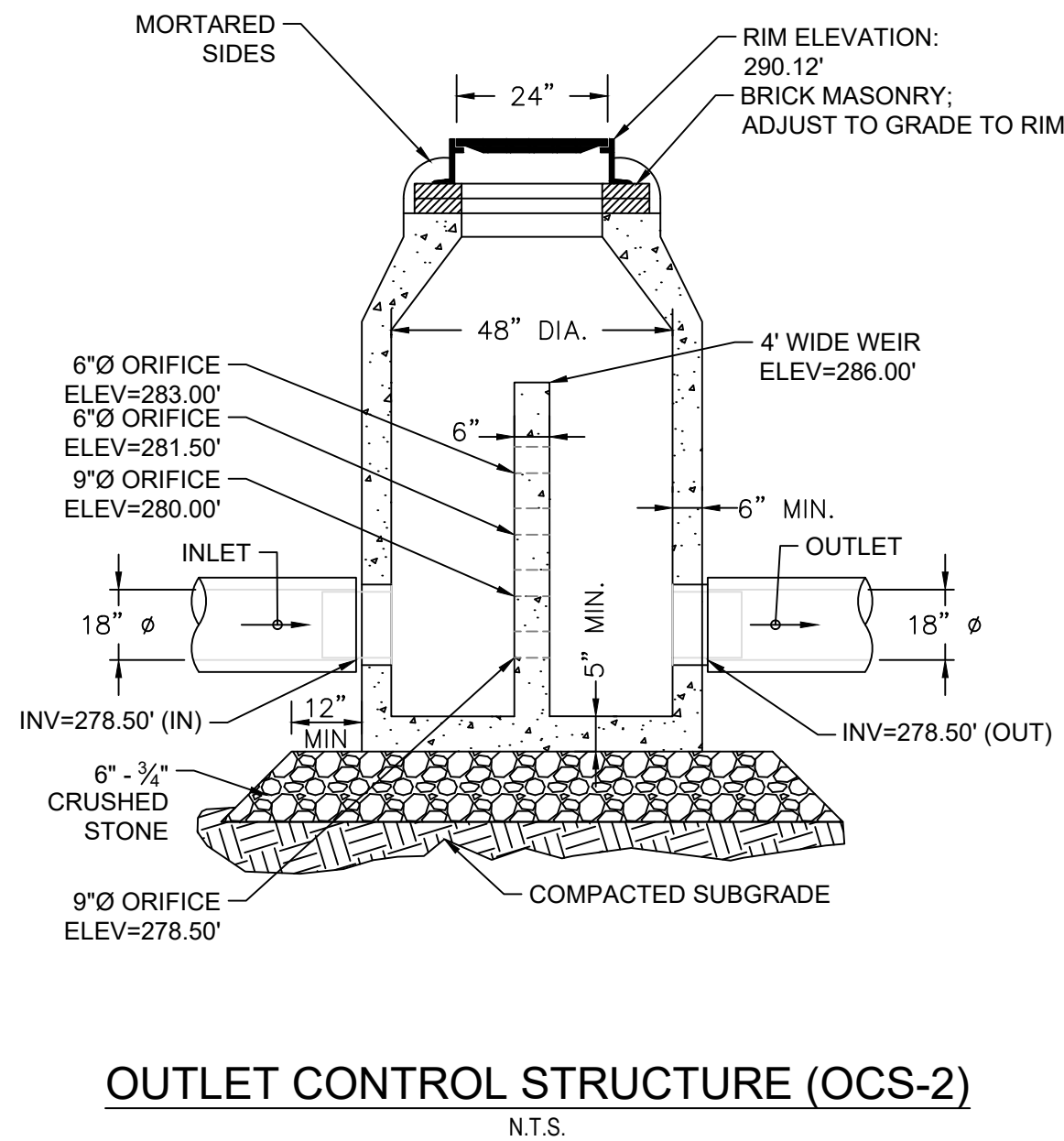
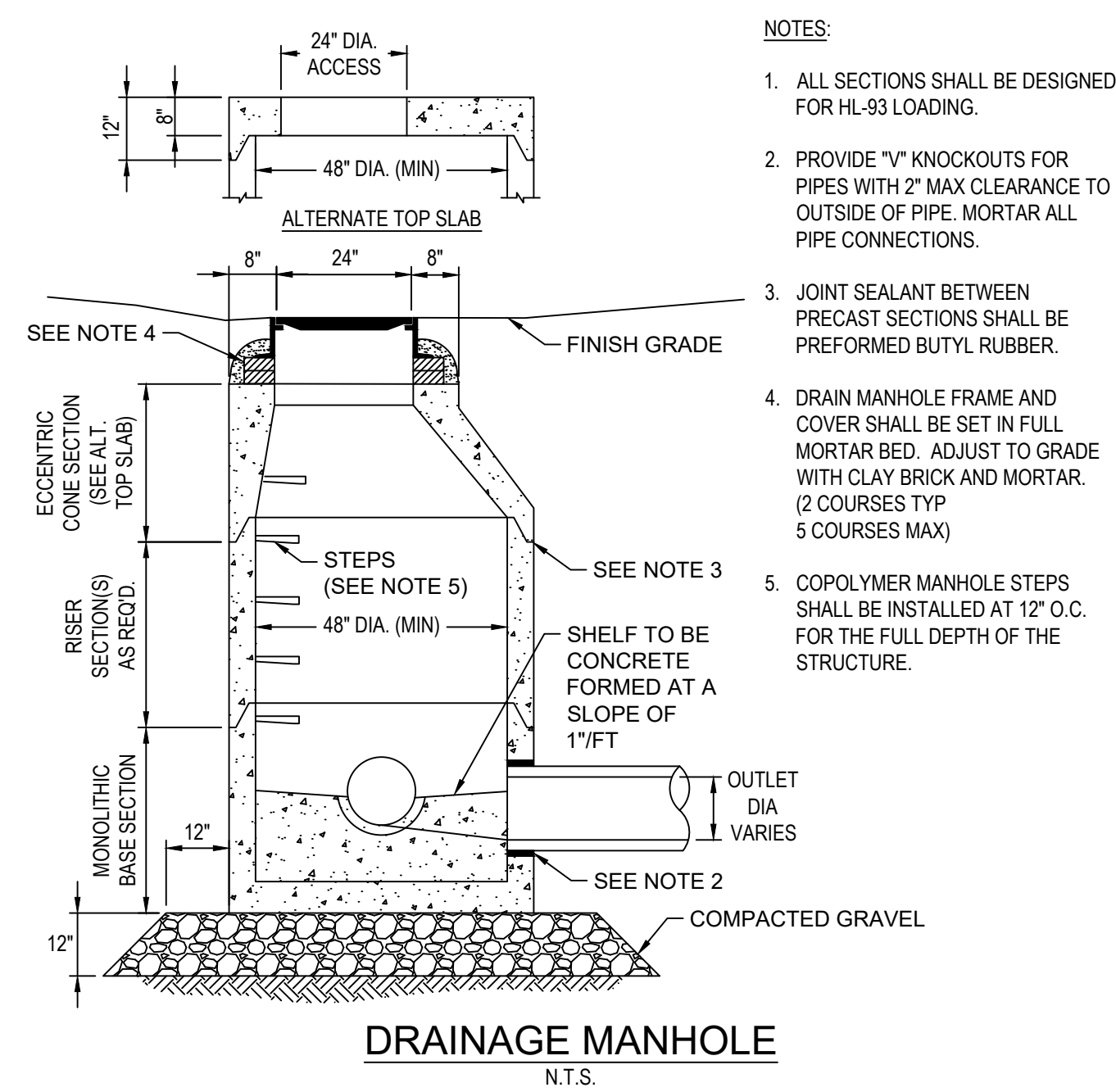
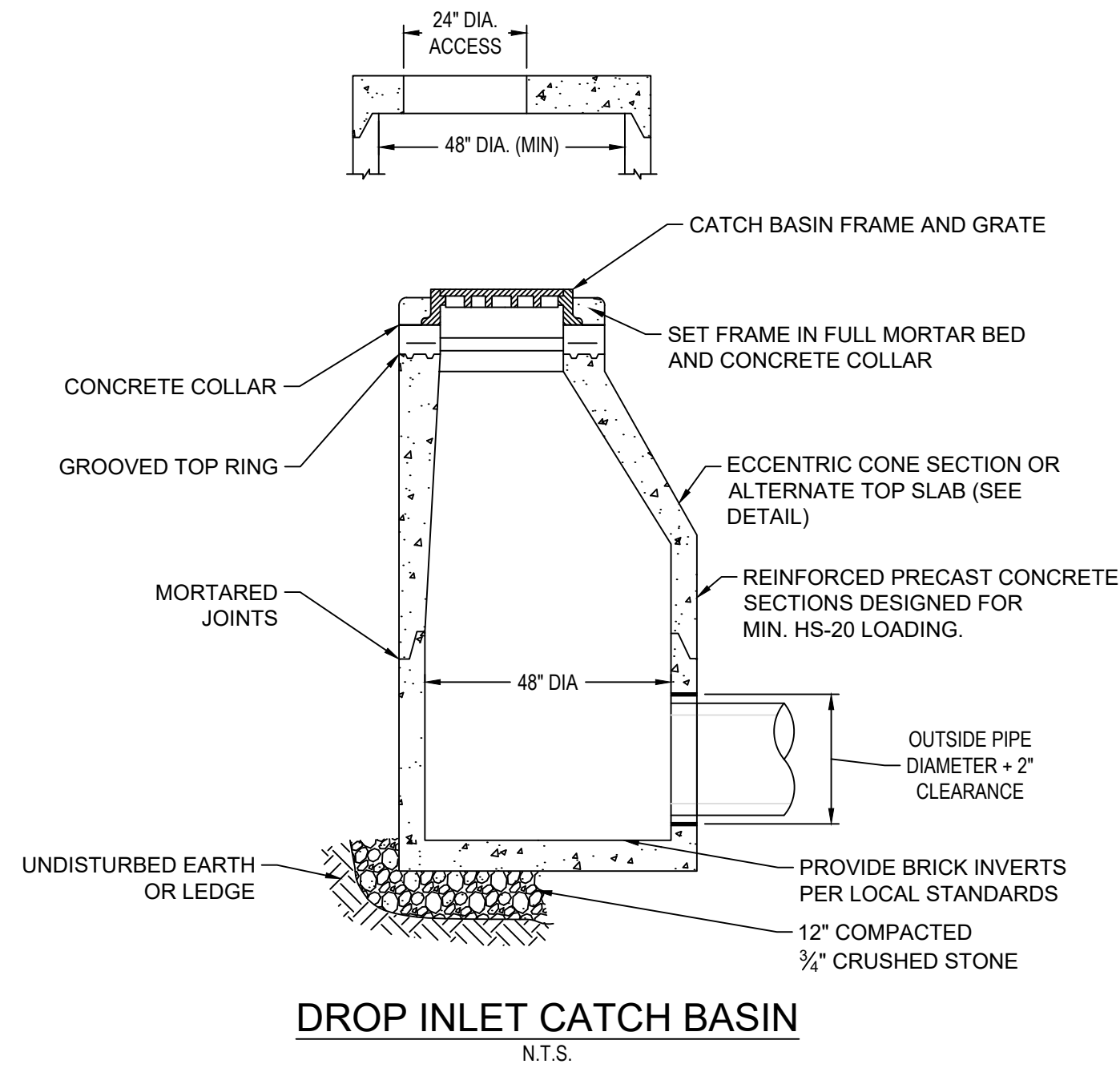
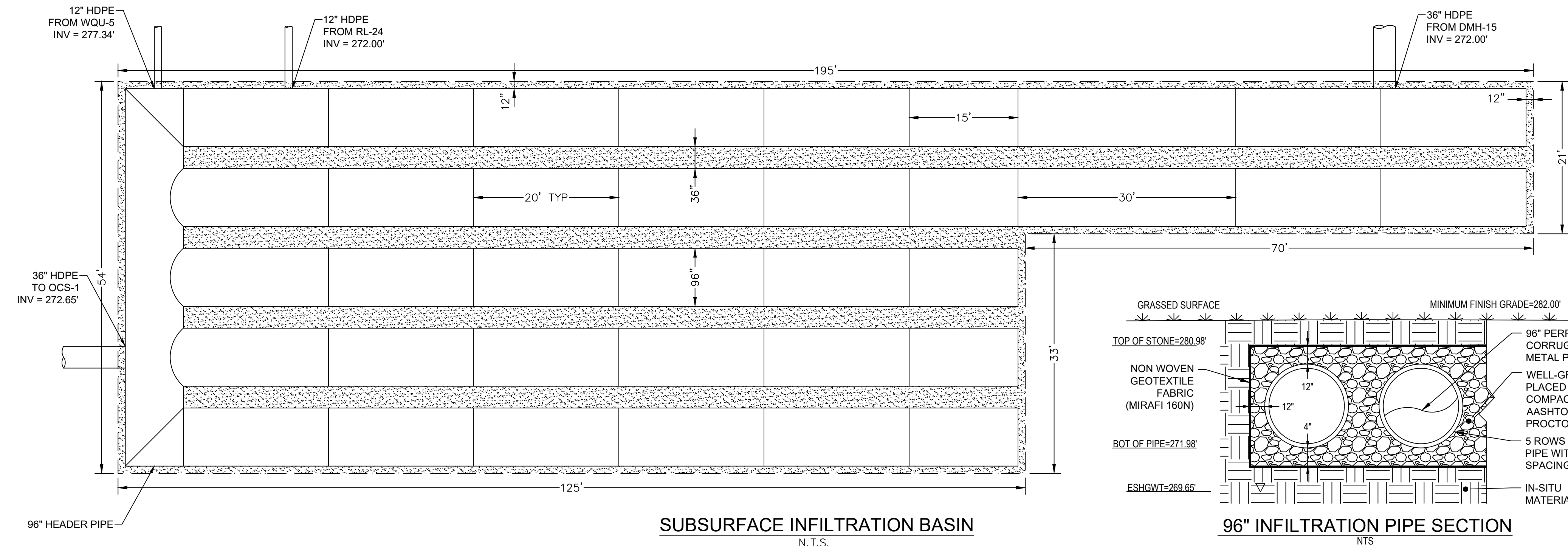
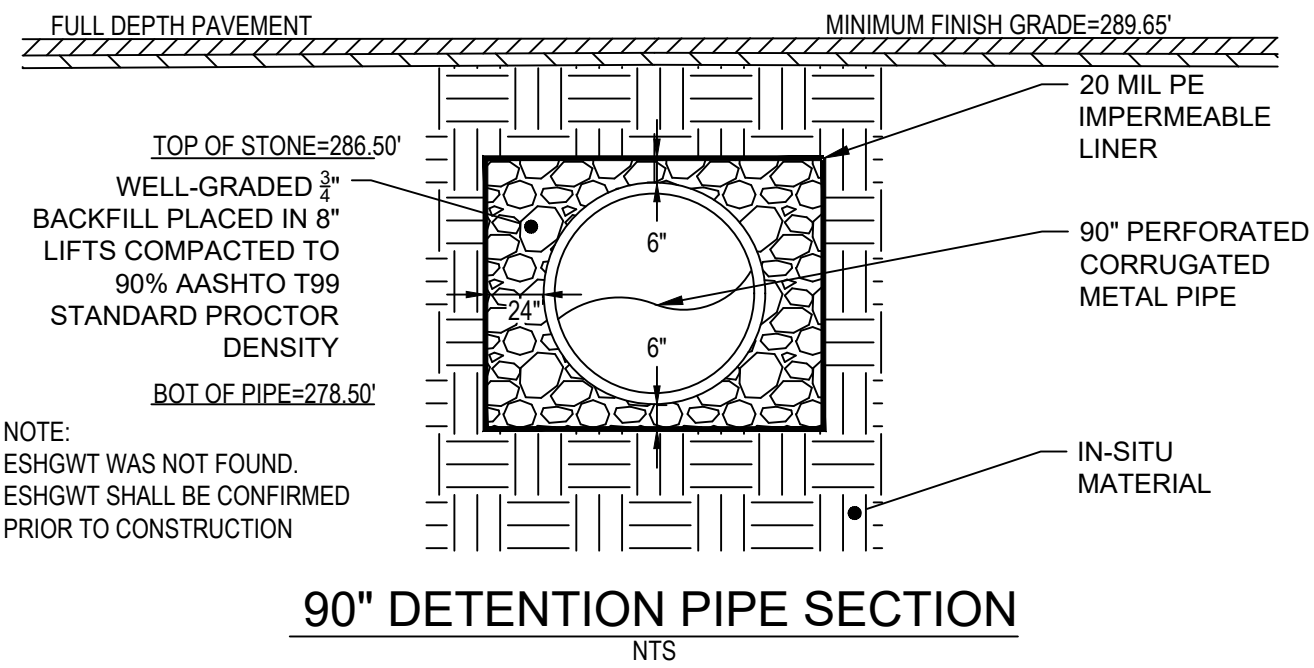
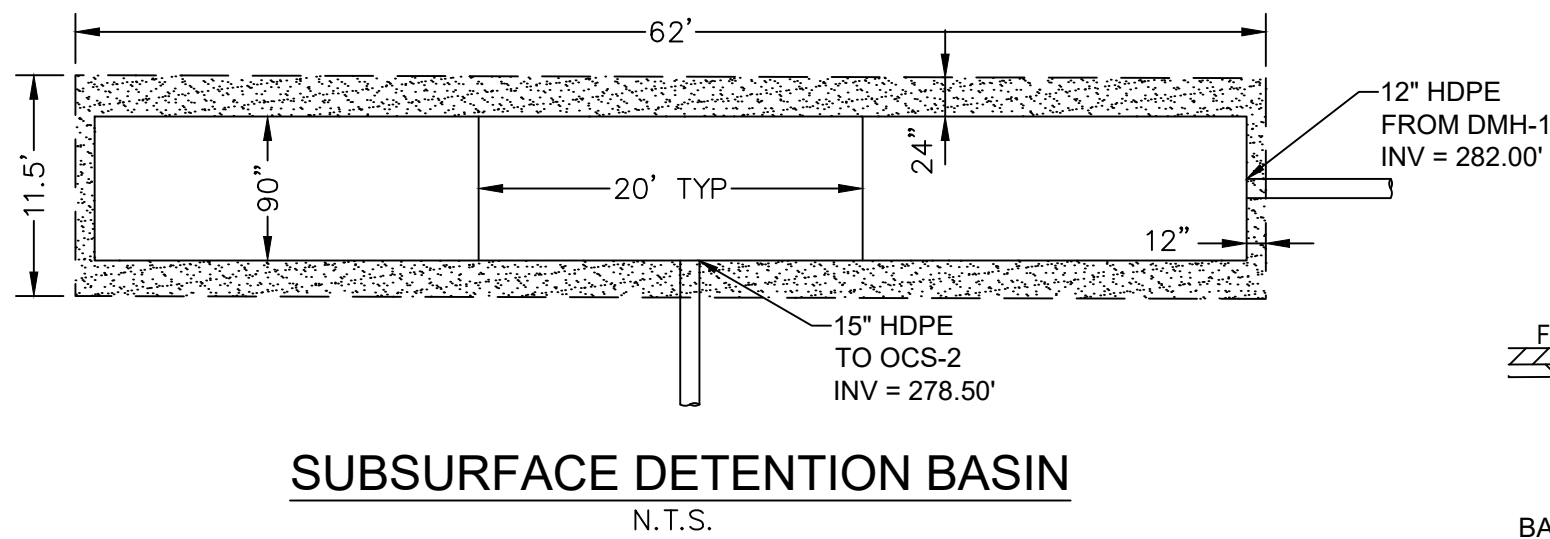
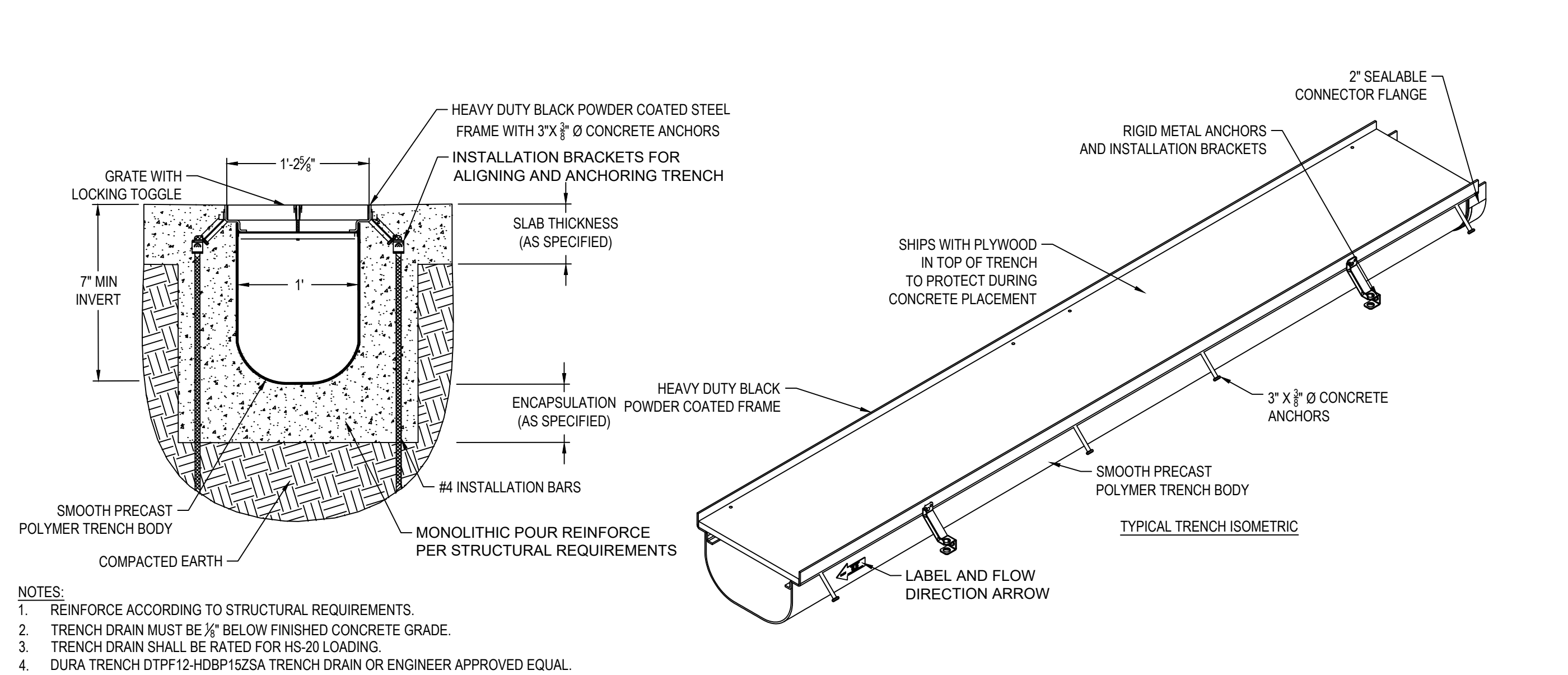
550 King Street, LLC
Littleton, MA 01460

DRAWING TITLE

Construction Details

PROJECT NO. T1180
TEC CAD FILE T1180_DET
DRAWING NO. C-14
SHEET 14 OF 16





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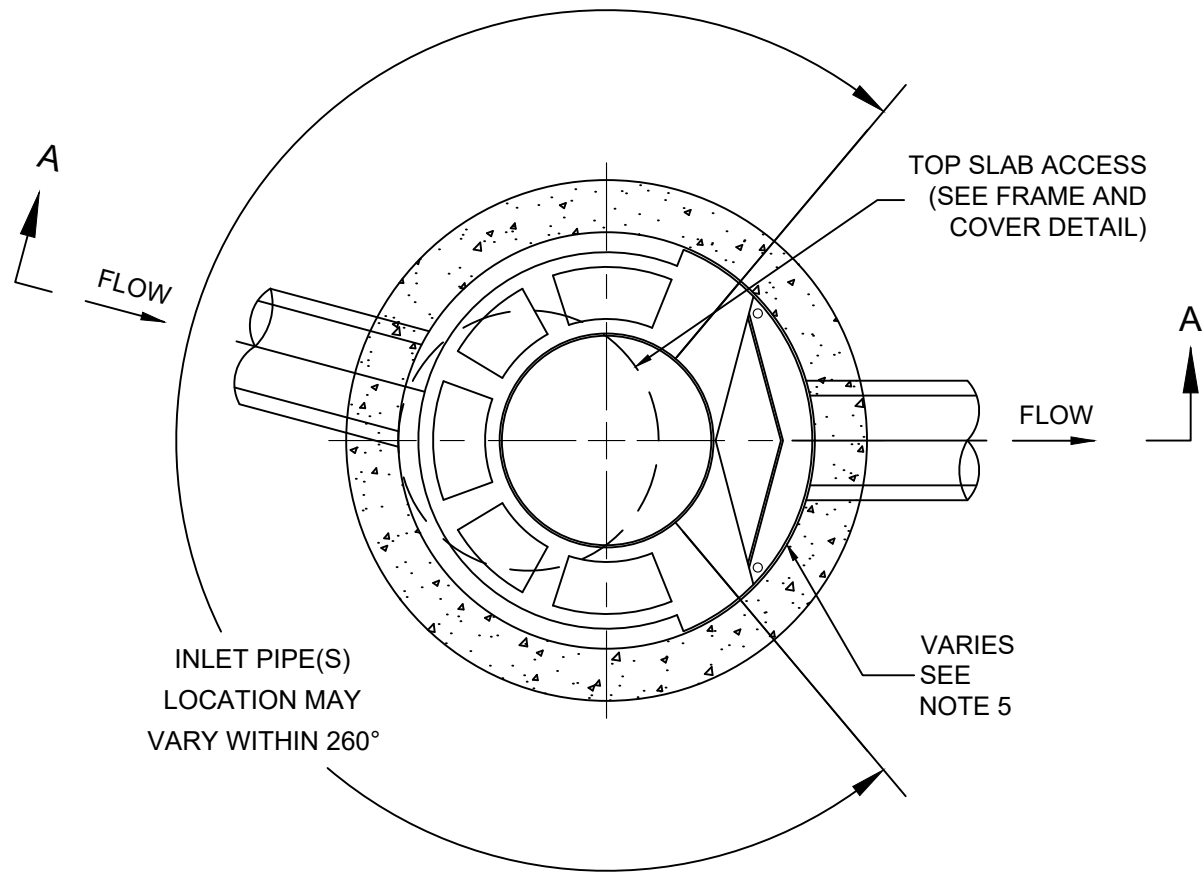
PREPARED FOR
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290 Merrimack Street
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REVISIONS

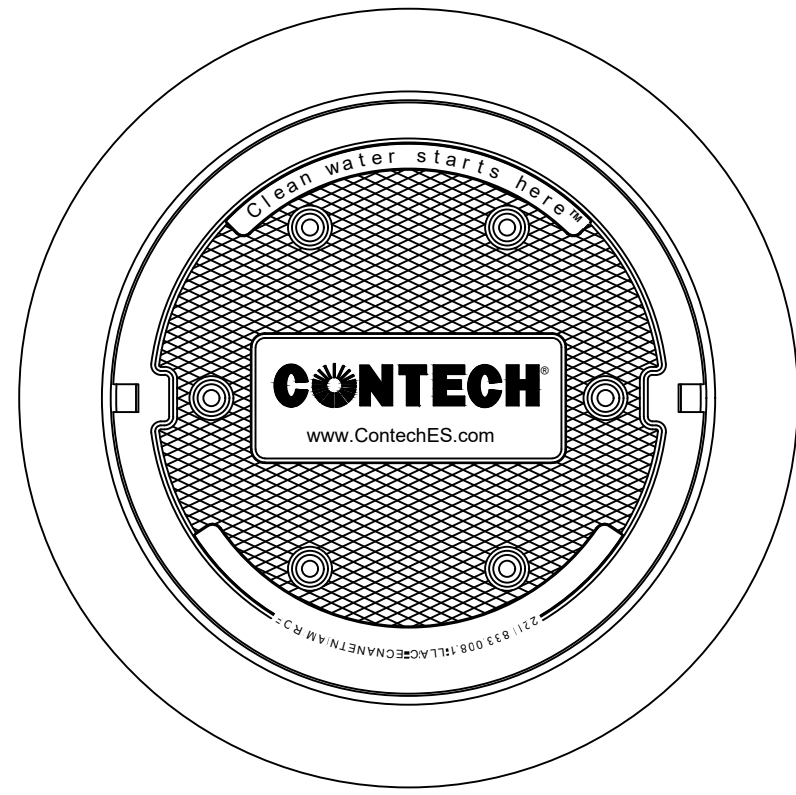
ISSUED FOR
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PROJECT TITLE
Phase 1 Retail Development at King Street Commons
PROJECT LOCATION
550 King Street, LLC Littleton, MA 01460
DRAWING TITLE
Construction Details

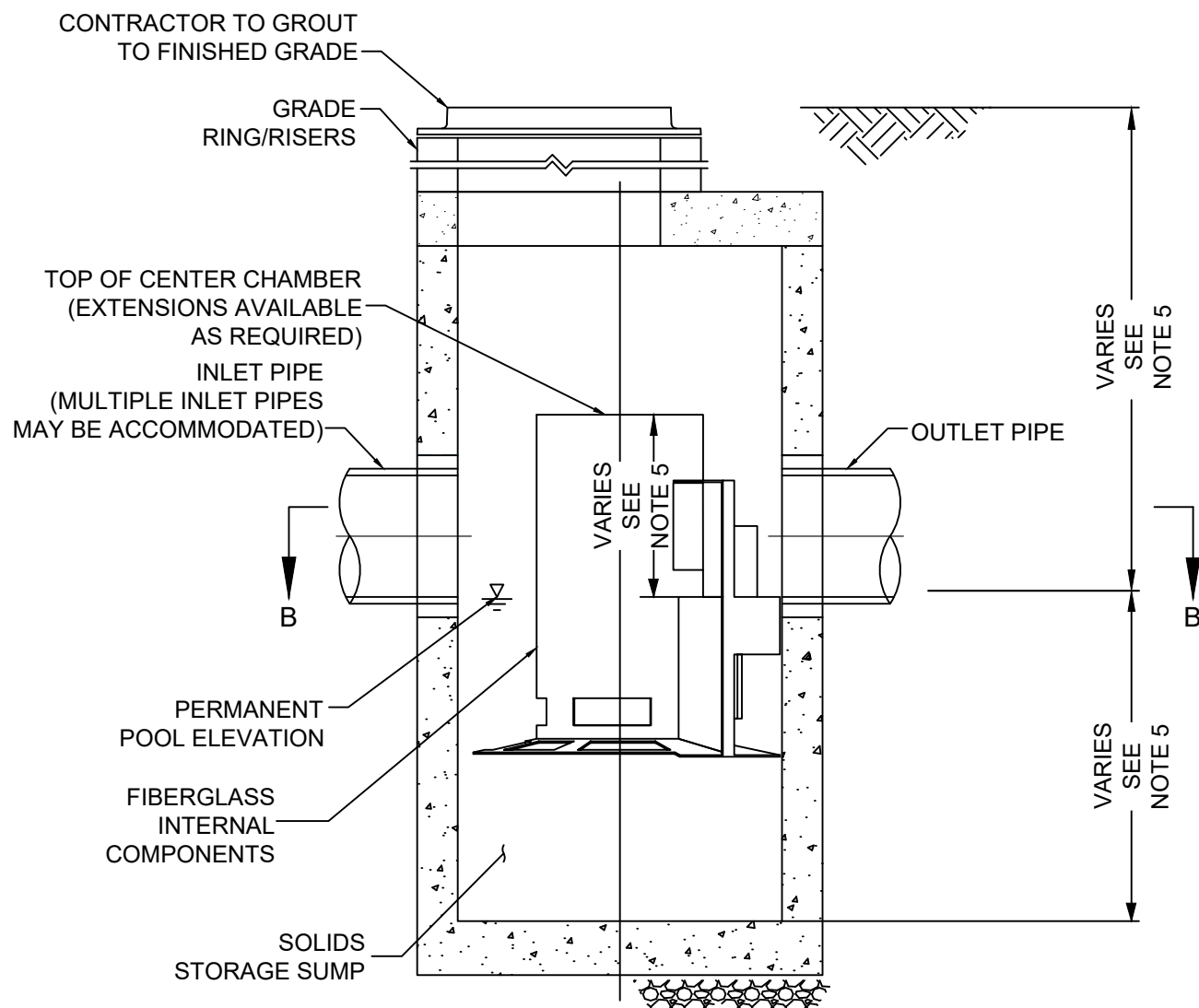
PROJECT NO. T1180
TEC CAD FILE T1180_DET
DRAWING NO. C-15
SHEET 15 OF 16
ALEXANDER SELLAR No. 59081
11/26/25



PLAN VIEW B-B
N.T.S.



FRAME AND COVER
(DIAMETER VARIES)
N.T.S.



ELEVATION A-A
N.T.S.

NOTES:

1. ALL WATER QUALITY UNITS SHALL BE CDS HYDRODYNAMIC SEPARATORS AS MANUFACTURED BY CONTECH, OR EQUAL.
2. CONTRACTOR SHALL PROVIDE WATER QUALITY UNIT SIZING CALCULATIONS AND SHOP DRAWINGS TO ENGINEER FOR REVIEW PRIOR TO CONSTRUCTION.
3. WATER QUALITY STRUCTURE SHALL BE IN ACCORDANCE WITH ALL DESIGN DATA AND INFORMATION BASED ON THE MANUFACTURER'S SPECIFICATIONS. CONTRACTOR TO CONFIRM STRUCTURE MEETS THE REQUIREMENTS OF THE PROJECT.
4. THE LOAD RATING SHALL BE HS-20 FOR THE COVER. THE WATER QUALITY UNIT SHALL BE PRECAST CONCRETE CONFORMING TO ASTM C478 AND AASHTO LOAD RATING.
5. COORDINATE WITH MANUFACTURER FOR WATER QUALITY UNIT DIMENSIONS.

WATER QUALITY UNIT TABLE			
NAME	MODEL NUMBER	INVERT (IN)	INVERT (OUT)
WQU-101	CDS3035-6	277.05 (NW)	276.95 (SE)
WQU-102	CDS2025-5	283.00 (SE)	282.90 (NW)
WQU-103	CDS3035-6	277.98 (SW)	277.88 (S)
		277.98 (NE)	277.88 (NW)
		277.98 (NW)	277.88 (SE)
WQU-104	CDS2015-4	275.11 (SE)	275.01 (NW)
WQU-105	CDS2015-4	277.54 (N)	277.44 (SW)

WATER QUALITY UNIT
N.T.S.



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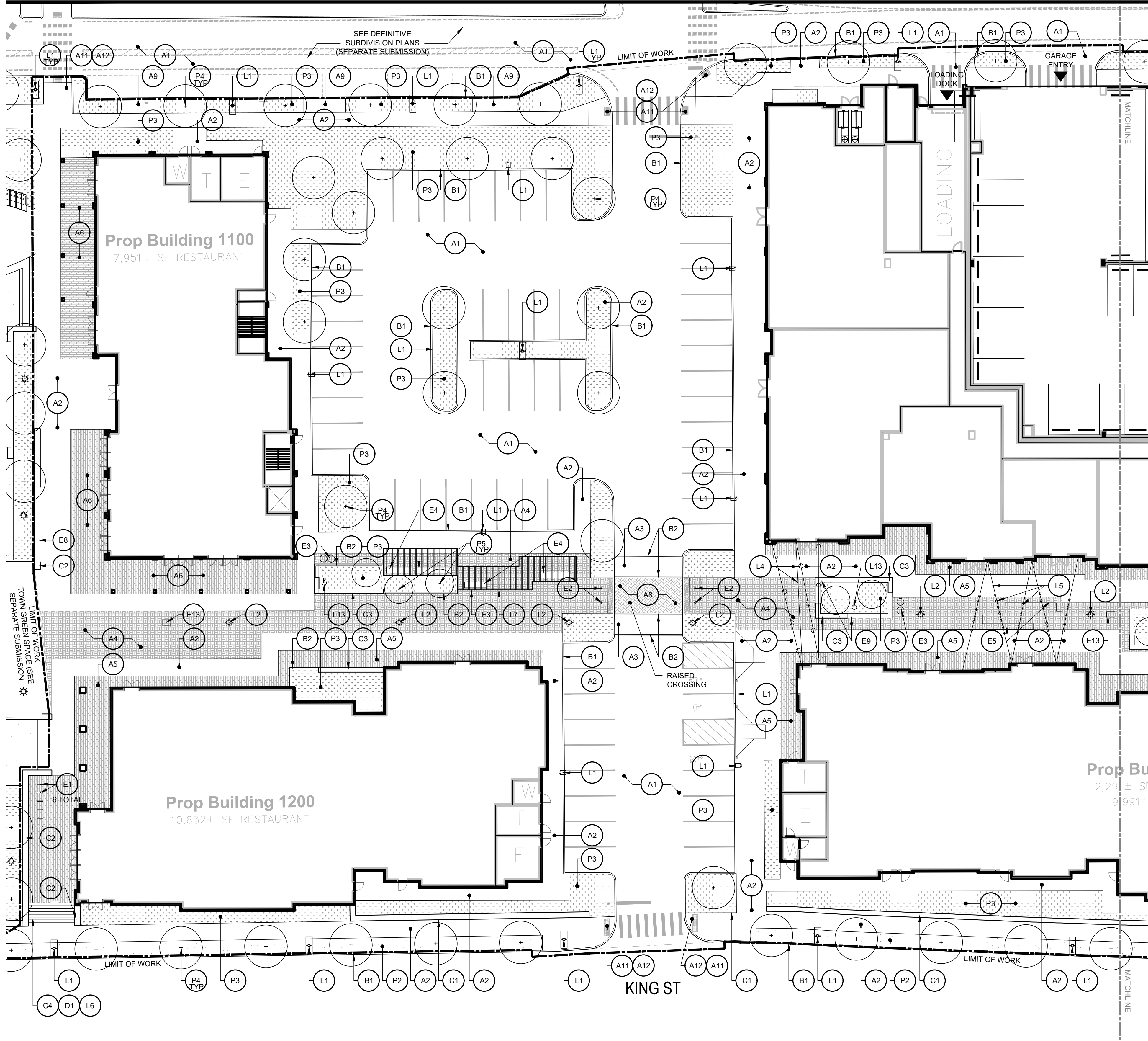
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PROJECT TITLE
Phase 1 Retail
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PROJECT LOCATION
550 King Street, LLC
Littleton, MA 01460

DRAWING TITLE
Construction Details

PROJECT NO.
T1180
TEC CAD FILE
T1180_DET
DRAWING NO.
C-16
SHEET 16 OF 16



MATERIALS LEGEND

TAG	DESCRIPTION	DETAIL
PAVING		
A1	EXISTING PAVING MATERIAL TO REMAIN	
A2	BITUMINOUS CONCRETE PAVING - VEHICULAR - SEE CIVIL DRAWINGS	
A3	POURED IN PLACE CONCRETE PAVING - PEDESTRIAN 6" - SEE CIVIL DRAWINGS	
A4	POURED IN PLACE CONCRETE PAVING - VEHICULAR 10" - SEE CIVIL DRAWINGS	
A5	PRECAST CONCRETE UNIT PAVERS - PEDESTRIAN TYPE 1	
A6	PRECAST CONCRETE UNIT PAVERS - PEDESTRIAN TYPE 2	
A7	PRECAST CONCRETE UNIT PAVERS - PEDESTRIAN TYPE 3	
A8	PRECAST CONCRETE UNIT PAVERS - PEDESTRIAN TYPE 4	
A9	PRECAST CONCRETE UNIT PAVERS - VEHICULAR	
A10	PRECAST CONCRETE UNIT PAVERS - PERMEABLE AT STREETSCAPE TREE/FURN ZONE	
A11	WOOD DECKING ON CONCRETE BASE	
A12	ACCESSIBLE CURB RAMP - SEE CIVIL DRAWINGS	
A13	DETECTABLE WARNING PANEL - SEE CIVIL DRAWINGS	
CURBS		
B1	EXISTING CURB TO REMAIN	
B2	V44 GRANITE ROADWAY & PARKING LOT CURB	
B3	6" WIDTH FLUSH GRANITE PAVING/LANDSCAPE CURB	
B4	4" WIDTH GRANITE LANDSCAPE CURB	
SITE WALLS & STAIRS		
C1	CAST IN PLACE CONCRETE RETAINING WALL WITH STONE VENEER 20" TOTAL WIDTH	
C2	STONE SEAT / PLANTER WALL WITH CAP OR 'E8' WOOD & METAL BENCH TOP	
C3	FREESTANDING STONE SEAT WALL WITH 'E9' WOOD & METAL BENCH TOP	
C4	PRECAST CONCRETE STAIR TREADS	
C5	WOOD DECKING STAIR TREADS ON CONCRETE BASE	
STAIRS, RAILS & FENCES		
D1	EXTERIOR STAIR METAL HANDRAIL	
SITE ELEMENTS & FURNISHINGS		
E1	BIKE RACK - LANDSCAPE FORMS 'RING'	
E2	VEHICULAR BOLLARD	
E3	TRASH & RECYCLING RECEPTACLES (PAIRS)	
E4	WOOD AND METAL FREESTANDING BENCH - TYPE 1	
E5	WOOD AND METAL FREESTANDING BENCH - TYPE 2	
E6	WOOD AND METAL FREESTANDING BENCH - TYPE 3	
E7	WOOD AND METAL PERGOLA BENCH - TYPE 4	
E8	WOOD & METAL WALL TOP BENCH - MOUNTED TO 'C2' STONE SEAT / PLANTER WALL	
E9	WOOD & METAL WALL TOP BENCH - MOUNTED TO 'C3' FREESTANDING STONE WALL	
E10	CAFE TABLE - 30" DIA. ROUND	
E11	CAFE CHAIRS	
E12	MOVEABLE PLANTERS - SIZE VARIES	
E13	WAYFINDING KIOSK	

PROGRAM & MISCELLANEOUS SUPPORT ELEMENTS	
F1	WOOD & METAL PAVILION - TYPE 1
F2	WOOD & METAL PAVILION - TYPE 2
F3	WOOD & METAL PAVILION - TYPE 3
F4	ART ELEMENT - SIZE VARIES
F5	AERATION GRATES AND SUBSURFACE PIPING AT SAND BASED STRUCTURAL SOIL
F6	LANDSCAPE AREA DRAIN GRATE
LIGHTING & ELECTRICAL	
L1	VEHICULAR SCALE POST TOP FIXTURE
L2	PEDESTRIAN SCALE POST TOP FIXTURE
L3	BOLLARD LIGHTING
L4	CATENARY LIGHTING - TYPE 1
L5	CATENARY LIGHTING - TYPE 2
L6	RECESSED STAIR/CHEEK-WALL LIGHTS
L7	DOWNLIGHTS MOUNTED IN OVERHEAD PAVILION
L8	FEATURE LIGHTING (UPLIGHTS) - SET IN PLANTING BED
L9	ART LIGHTING - FLUSH
L10	LED STRIP BENCH UNDERLIGHTING
L11	POWER BOLLARD (EVENT POWER)
L12	CHARGING STATION (PUBLIC)
L13	ELECTRICAL RECEPTACLES
L14	OUTDOOR RATED WIRELESS ACCESS POINT
SEE ARCHITECTURAL AND LIGHTING DRAWINGS FOR BUILDING-MOUNTED LIGHTING.	
PLANTING	
P1	HIGH USE SOD LAWN
P2	SEEDED LAWN
P3	PLANTING BED - SEE PLANTING SHEETS FOR TYPE
P4	DECIDUOUS SHADE TREE - 3.5" - 4" CALIPER
P5	ORNAMENTAL TREE - 2.5" - 3" CALIPER



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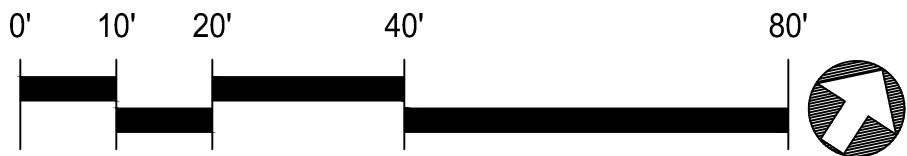
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Development at King
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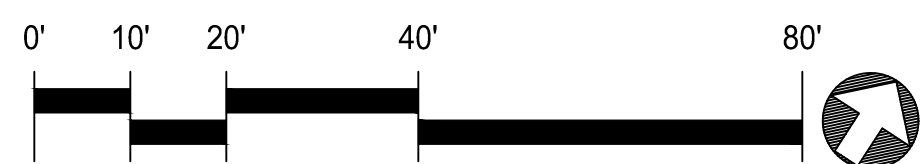
DRAWING TITLE
Site Materials Plan
Pedestrian Walkway

PROJECT NO.	T1180
TEC CAD FILE	
L1.0 Site Landscape Plan	
DRAWING NO.	

L101-PW
SHEET OF X



NOTE:
ITEMS WITH STRIKETHROUGH ARE
NOT APPLICABLE TO THIS SHEET



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(w) _____

(x) _____

(y) _____

(z) _____

L102-PW

SHEET OF X

REPRESENTATIVE PLANT LIST

Symbol	Quantity	Botanical Name	Common Name	Size	Spacing	Notes
TREES						
AM AR		<i>Amelanchier arborea</i>	Downy Serviceberry	10-12' ht, B&B		multi-stem, matched
AC FR		<i>Acer x freemanii 'Jeffersred'</i>	Autumn Blaze Maple	4" caliper, B&B		Single stem, matched specimen
AC RU		<i>Acer rubrum 'Karpick'</i>	Karpick Maple	4" caliper, B&B		Single stem, matched specimen
AM GR		<i>Amelanchier x grandiflora 'Autumn Brilliance'</i>	Autumn Brilliance Serviceberry	10-12' ht, B&B		Multi-stem, matched
BE NI		<i>Betula nigra 'Cully'</i>	Heritage River Birch	16-18' ht, B&B		Multi-stem / clump
BE PO		<i>Betula populifolia 'Whitespire'</i>	Whitespire Grey Birch	16-18' ht, B&B		Multi-stem / clump
CA BE		<i>Carpinus caroliniana</i>	American Hornbeam	10-12' ht, B&B		multi-stem, matched
CE OC		<i>Celtis occidentalis</i>	Hackberry	4" Caliper, B&B		Single stem, matched specimen
CO RU		<i>Cornus x 'Rutgan'</i>	Stellar Pink Dogwood	3" caliper, B&B		Single stem, matched specimen
CR VI		<i>Crataegus viridis 'Winter King'</i>	Winter King Hawthorn	3" caliper, B&B		Single stem, matched specimen
GI BI		<i>Ginkgo biloba</i>	Ginkgo	4" Caliper, B&B		Single stem, matched specimen, NO FEMALES
GL TR		<i>Gleditsia triacanthos 'Shademaster'</i>	Shademaster Honeylocust	4" caliper, B&B		Single stem, matched specimen
HA IN		<i>Hamamelis x intermedia 'Arnold Promise'</i>	Arnold Promise Witch Hazel	10-12' ht, B&B		Multi-stem, matched
HA VE		<i>Hamamelis vernalis 'Autumn Embers'</i>	Autumn Embers Witch Hazel	6-8' ht, B&B		Multi-stem, matched
JU VI		<i>Juniperus virginiana</i>	Eastern Red Cedar	10-12' ht, B&B		
LI ST		<i>Liquidambar styraciflua 'Rotundiloba'</i>	Fruitless Sweetgum	4" caliper, B&B		Single stem, matched specimen
LI TU		<i>Liriodendron tulipifera</i>	Tuliptree	4" caliper, B&B		Single stem, matched specimen
PI TH		<i>Pinus thunbergiana</i>	Japanese Black Pine	10-12' ht, B&B		
QU BI		<i>Quercus bicolor</i>	Swamp White Oak	4" caliper, B&B		Single stem, matched specimen
UL XP		<i>Ulmus 'Patriot'</i>	Patriot Elm	4" caliper, B&B		Single stem, matched specimen, first branch to 7 ft
SHRUBS						
Bu Gm		<i>Buxus 'Green Mountain'</i>	Green Mountain Boxwood	24-30" ht	36" O.C.	
Bu Wg		<i>Buxus microphylla japonica 'Winter Gem'</i>	Winter Gem Boxwood	18-24" ht	36" O.C.	
Co Iv		<i>Cornus alba 'Ivory Halo'</i>	Variegated Red Twig Dogwood	30-36" ht	36" O.C.	
Fo Ma		<i>Fothergilla major 'Mount Airy'</i>	Mt. Airy Dwarf Fothergilla	24-30" ht	30" O.C.	
Hy Lr		<i>Hydrangea macrophylla 'Lady in Red'</i>	Lady in Red Hydrangea	30-36" ht	36" O.C.	
Hy Qu		<i>Hydrangea quercifolia</i>	Oakleaf Hydrangea	30-36" ht	36" O.C.	
Hy Sq		<i>Hydrangea quercifolia 'Snow Queen'</i>	Snow Queen Oakleaf Hydrangea	30-36" ht	36" O.C.	
Hy Fr		<i>Hypericum frondosum 'Sunburst'</i>	Sunburst St. John's Wort	18-24" ht	24" O.C.	
Ix De		<i>Ilex glabra 'Densa'</i>	Dense Inkberry	30-36" ht	36" O.C.	
Ix Sh		<i>Ilex glabra 'Shamrock'</i>	Shamrock Inkberry	30-36" ht	36" O.C.	
Mi De		<i>Microbiota decussata</i>	Siberian Carpet Cypress	3 GAL / 18-24" ht	36" O.C.	
My Pe		<i>Myrica pennsylvanica</i>	Northern Bayberry	36" ht	60" O.C.	
Rh Da		<i>Rhododendron 'Dora Amateis'</i>	Dora Amateis Rhododendron	30-36" ht	30" O.C.	
Rh Gl		<i>Rhus aromatica 'Gro-Low'</i>	Gro-Low Fragrant Sumac	24-30" ht	24" O.C.	
Ro Bl		<i>Rosa 'Blushing Knock Out'</i>	Blushing Knock Out Rose	3 GAL / 18-24" ht	24" O.C.	
Ta Re		<i>Taxus bacata 'Repandens'</i>	Spreading English Yew	12-18" ht	24" O.C.	
Va An		<i>Vaccinium angustifolium</i>	Low Bush Blueberry	3 GAL	24" O.C.	
Vi Bl		<i>Viburnum dentatum 'Christom'</i>	Blue Muffin Viburnum	30-36" ht	36" O.C.	
Vi Ju		<i>Viburnum x 'Juddii'</i>	Judd Viburnum	30-36" ht	48" O.C.	
Vi Sb		<i>Viburnum carlesii 'SMVCB' P.P. 25872</i>	Spice Baby Viburnum	24-30" ht	36" O.C.	
PERENNIALS						
ach mi		<i>Achillia millefolium 'Pretty Belinda'</i>	Pretty Belinda Yarrow	2 GAL	18" O.C.	
aga ba		<i>Agastache 'Black Adder'</i>	Black Adder Hyssop	2 GAL	18" O.C.	
alc mo		<i>Alchemilla mollis</i>	Common Lady's Mantle	1 GAL	12" O.C.	
ams bi		<i>Amsonia x 'Blue Ice'</i>	Blue Star Flower	1 GAL	12" O.C.	
ams ta		<i>Amsonia tabernaemontana 'Walter'</i>	Eastern Bluestar	1 GAL	18" O.C.	
ane sc		<i>Anemone x 'September Charm'</i>	September Charm Windflower	2 GAL	24" O.C.	
asc tu		<i>Asclepias tuberosa</i>	Butterfly Weed	1 GAL	18" O.C.	
bap au		<i>Baptisia australis</i>	False Indigo	2 GAL	18: O.C.	
den pu		<i>Dennstaedtia punctilobula</i>	Hay Scented Fern	2 GAL	30" O.C.	
ech pu		<i>Echinacea purpurea</i>	Purple Coneflower	2 GAL	18" O.C.	
ger ro		<i>Geranium x 'Rozanne'</i>	Rozanne Cranesbill	1 GAL	18" O.C.	
hem fr		<i>Hemerocallis 'Fragrant Returns'</i>	Fragrant Returns Daylily	2 GAL	18" O.C.	
heu ss		<i>Heuchera 'Stormy Seas'</i>	Coral Bells	2 GAL	24" O.C.	
lup pe		<i>Lupinus perennis</i>	Wild Blue Lupine	1 GAL	18" O.C.	
nep fa		<i>Nepeta x faassenii 'Walkers Low'</i>	Walkers Low Catmint	2 GAL	18" O.C.	
rud fu		<i>Rudbeckia fulgida 'Goldsturm'</i>	Black Eyed Susan	2 GAL	18" O.C.	
rud tr		<i>Rudbeckia triloba</i>	Brown Eyed Susan	1 GAL	18" O.C.	
sal mn		<i>Salvia 'May Night'</i>	May Night Salvia	2 GAL	18" O.C.	
GRASSES & GROUND COVERS						
bou gr		<i>Bouteloua gracilis 'Blonde Ambition'</i>	Side Oats Grama	2 GAL	30" O.C.	
car pe		<i>Carex pendula</i>	Drooping Sedge	2 GAL	30" O.C.	
car pn		<i>Carex pensylvanica</i>	Pennsylvania Sedge	Plug	12" O.C.	
cha la		<i>Chasmanthium latifolium</i>	Northern Sea Oats	2 GAL	30" O.C.	
cha rm		<i>Chasmanthium latifolium 'River Mist'</i>	Variegated Northern Sea Oats	2 GAL	30" O.C.	
des ce		<i>Deschampsia cespitosa 'Pixie Fountain'</i>	Tufted Hair Grass	2 GAL	24" O.C.	
epl ru		<i>Epimedium x rubrum</i>	Red Barrenwort	1 GAL	12" O.C.	
euo co		<i>Euonymus coloratus</i>	Wintercreeper Euonymus	1 GAL	12" O.C.	
lir sp		<i>Liriope spicata</i>	Lilyturf	1 GAL	12" O.C.	
mis si		<i>Miscanthus sinensis 'Adagio'</i>	Dwarf Silver Grass	2 GAL	30" O.C.	
pan vi		<i>Panicum virgatum</i>	Switchgrass	Plug	12" O.C.	

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PROPOSED TREE

PROPOSED HIGH USE SOD LAWN

PROPOSED SEEDED LAWN

PROPOSED PLANT BED - TYPE 1:
75% GROUND COVER, 25% PERENNIALS AND ORNAMENTAL GRASSES

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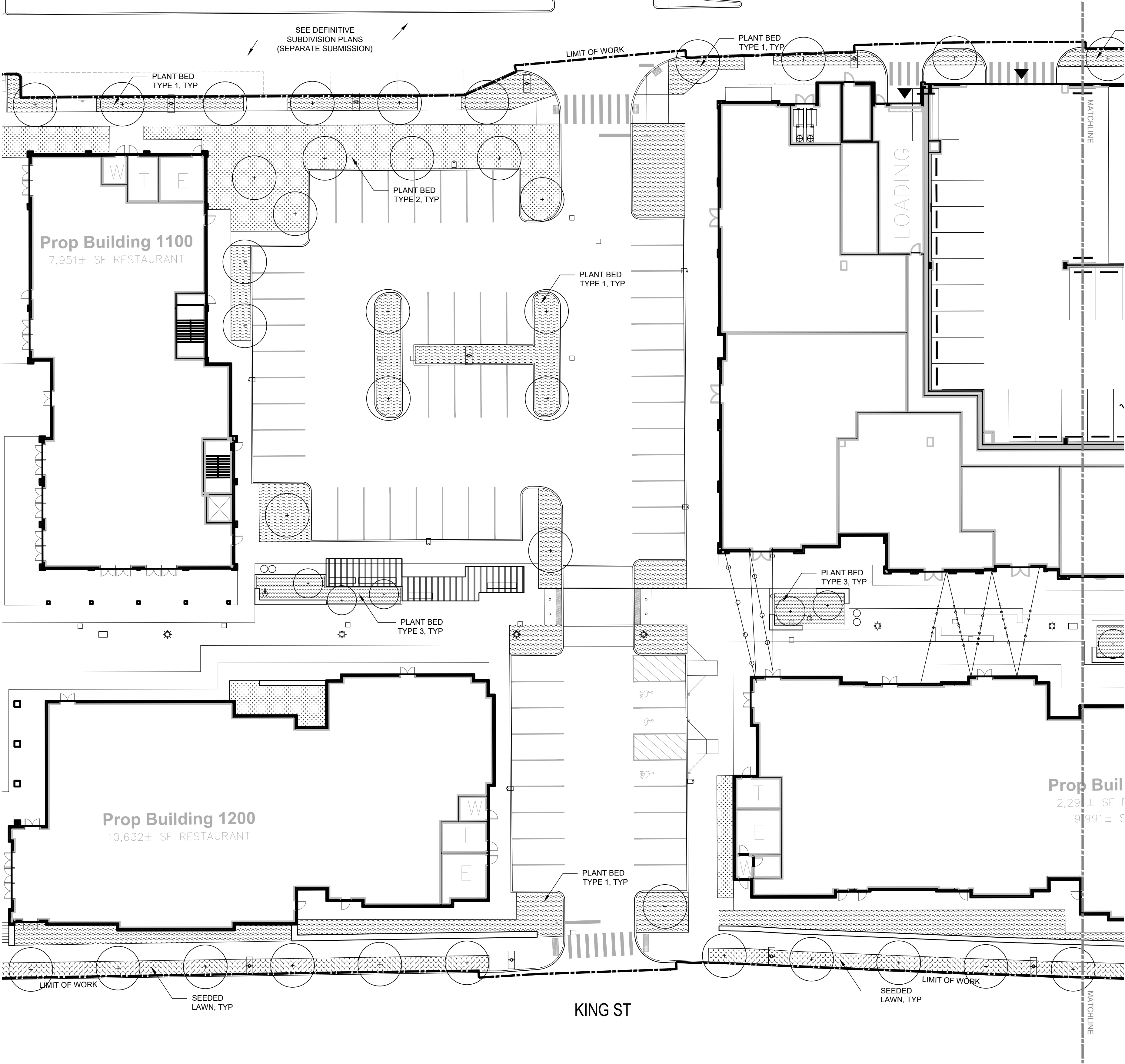
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PROJECT TITLE
Phase 1 Retail
Development at King
Street Commons

PROJECT LOCATION
550 King Street, LLC
Littleton, MA 01460

DRAWING TITLE
Site Planting Plan

PROJECT NO.	T1180
TEC CAD FILE	
L4.0 Site Planting Plan	
DRAWING NO.	
L400	
SHEET	OF X



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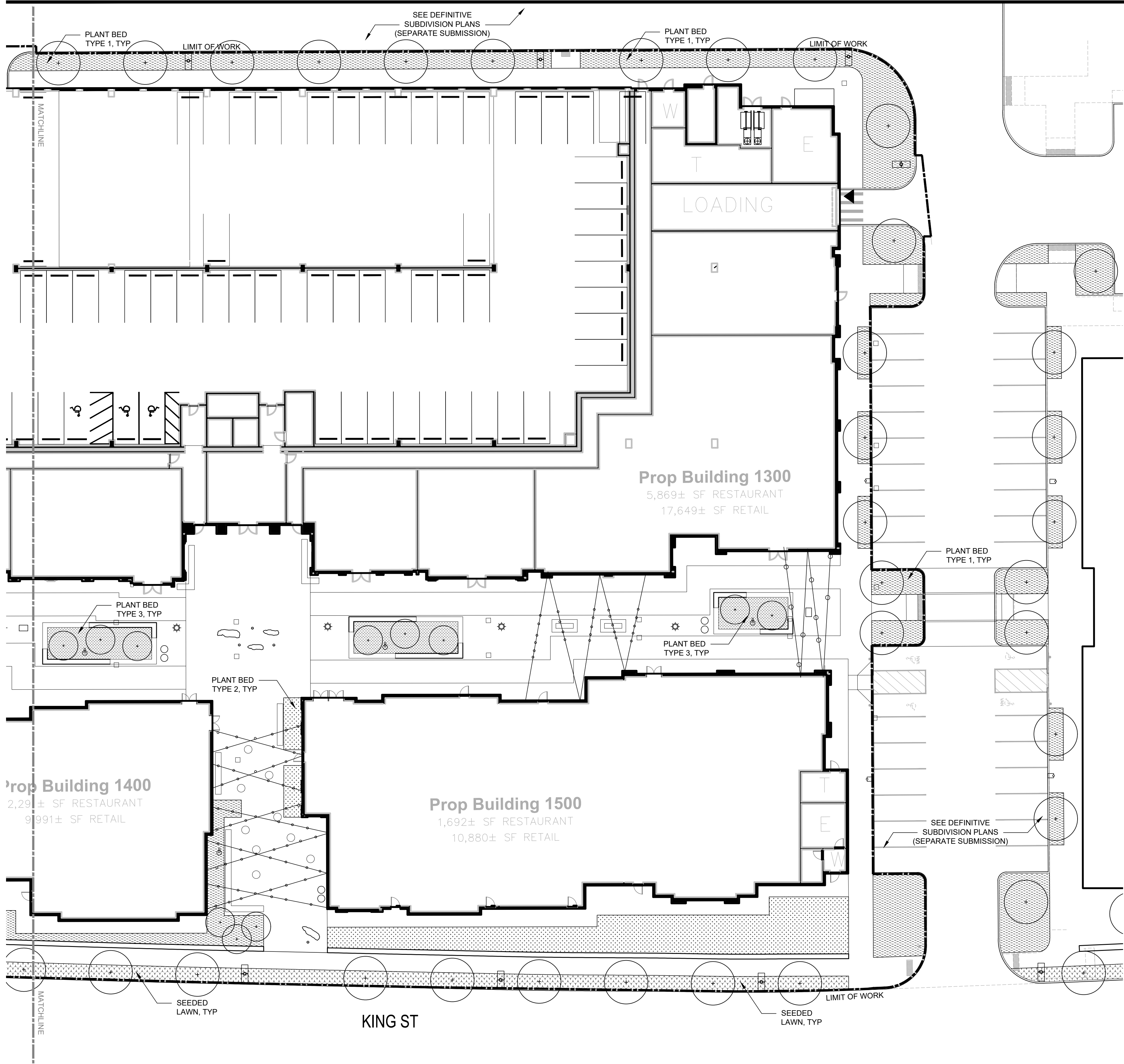
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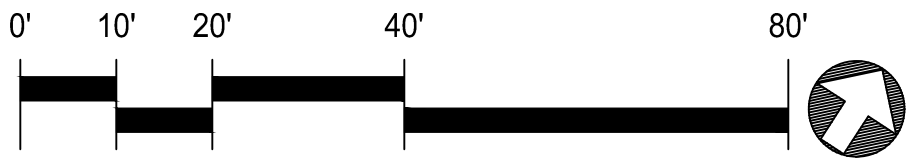


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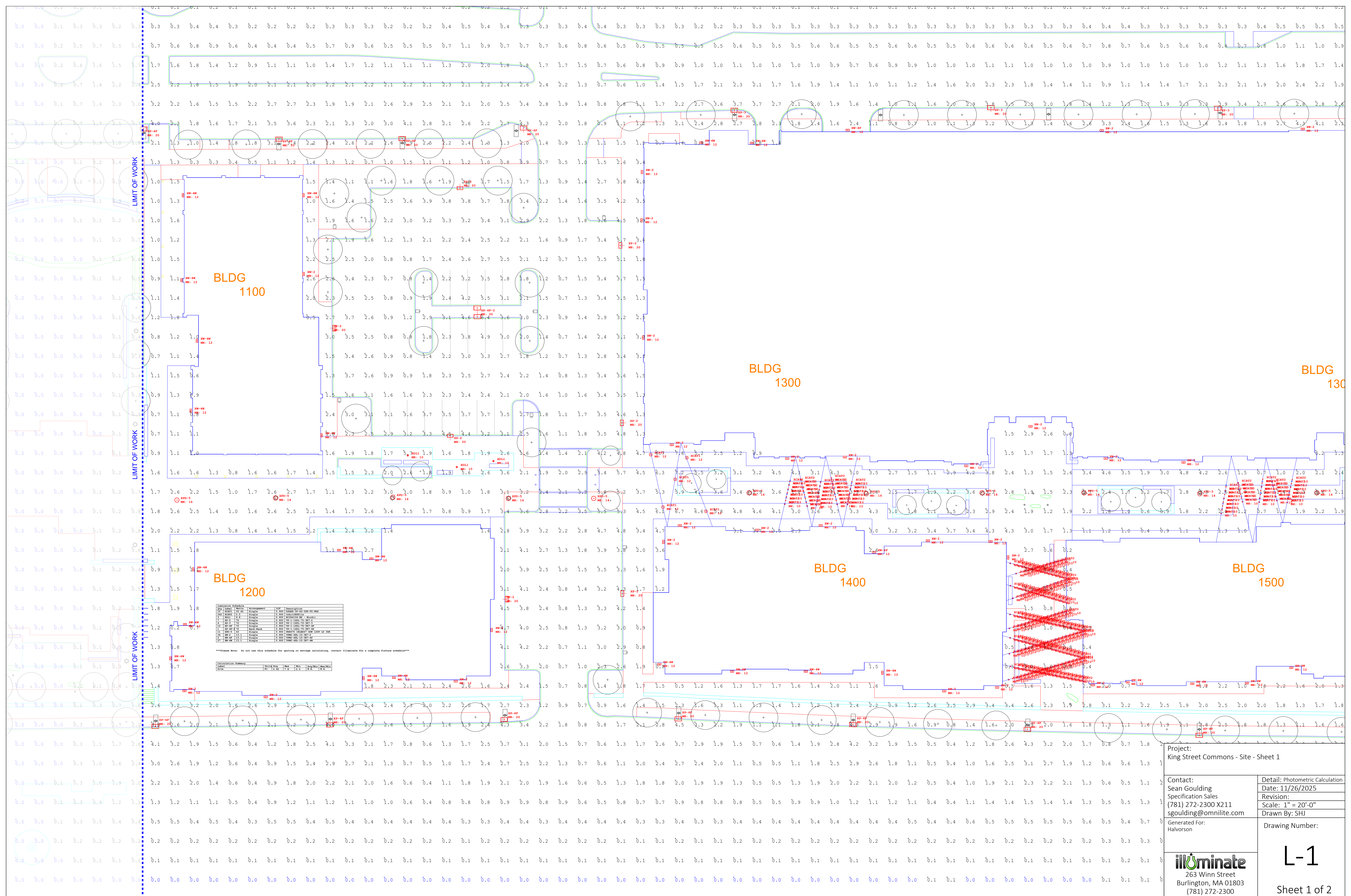
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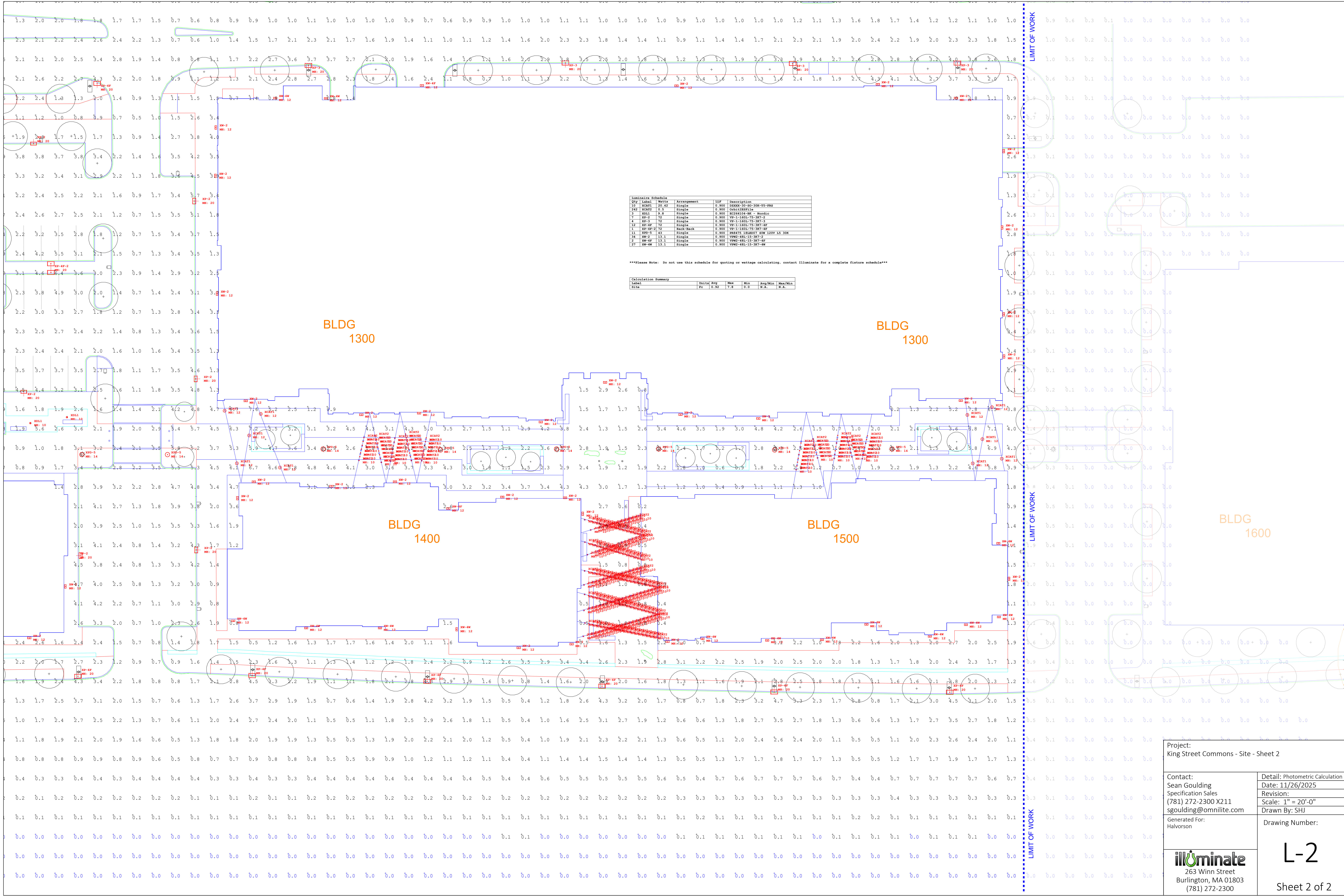
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L402-PW
SHEET OF X





Qty	Label	Watts	Arrangement	LF	Description
10	XCAT1	20.42	Single	0.500	OSRAM 50-50-300-PS-PSS
242	XCAT2	0.5	Single	0.500	OSRAM 50-50-300-PS-PSS
3	X011	9.8	Single	0.500	OSRAM 50-50-300-PS-PSS
7	XP-2	72	Single	0.500	XP-1-1400L-75-3K7-2
4	XP-3	72	Single	0.500	XP-1-1400L-75-3K7-2
12	XP-4P	72	Single	0.500	XP-1-1400L-75-3K7-4P
1	XP-4P-2	72	Single	0.500	XP-1-1400L-75-3K7-4P
11	XP-5	43	Single	0.500	XP-1-1400L-75-3K7-4P
14	XP-2	13.1	Single	0.500	XP-1-1400L-75-3K7-4P
2	XP-4P	13.1	Single	0.500	XP-1-1400L-75-3K7-4P
27	XP-4P	13.1	Single	0.500	XP-1-1400L-75-3K7-4P

Please Note: Do not use this schedule for quoting or wattage calculating, contact illuminate for a complete fixture schedule

Label	Units	Avg	Max	Min	Avg/Min	Max/Min
Site	sq	0.92	7.8	0.0	N/A	N/A

Project:
King Street Commons - Site - Sheet 2

Contact:
Sean Goulding
Specification Sales
(781) 272-2300 x211
sgoulding@omnilite.com

Generated For:
Halvorson

Detail: Photometric Calculation
Date: 11/26/2025
Revision:
Scale: 1" = 20'-0"
Drawn By: SHJ

Drawing Number:

illuminate
263 Winn Street
Burlington, MA 01803
(781) 272-2300

L-2

Sheet 2 of 2

TE ADDRESS:

#550
KING STREET
Littleton, Massachusetts

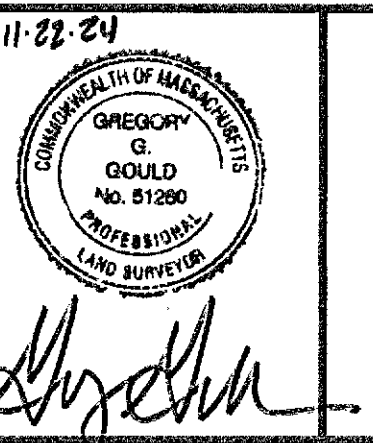
PREPARED FOR:

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LLC**

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Lawrence, Massachusetts 01843

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Wetland Scientists

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1	JAR	GGG	11/22/24	ADDITIONAL UTILITIES
DATE: 4/11/2022				DRAWN BY: M
SCALE: 1" = 20'				CHECK BY: G

**EXISTING
CONDITIONS
PLAN OF LAND
IN
LITTLETON,
MASSACHUSETTS**

PLOT DATE: Nov 28, 2024 4:07 pm
PATH: X:\25579-1\uncell-1\litleton\Surv\DWG\


DWG: 25579sv.dwg

LAYOUT: EC

SHEET: COVER

PROJECT NO.: 2557

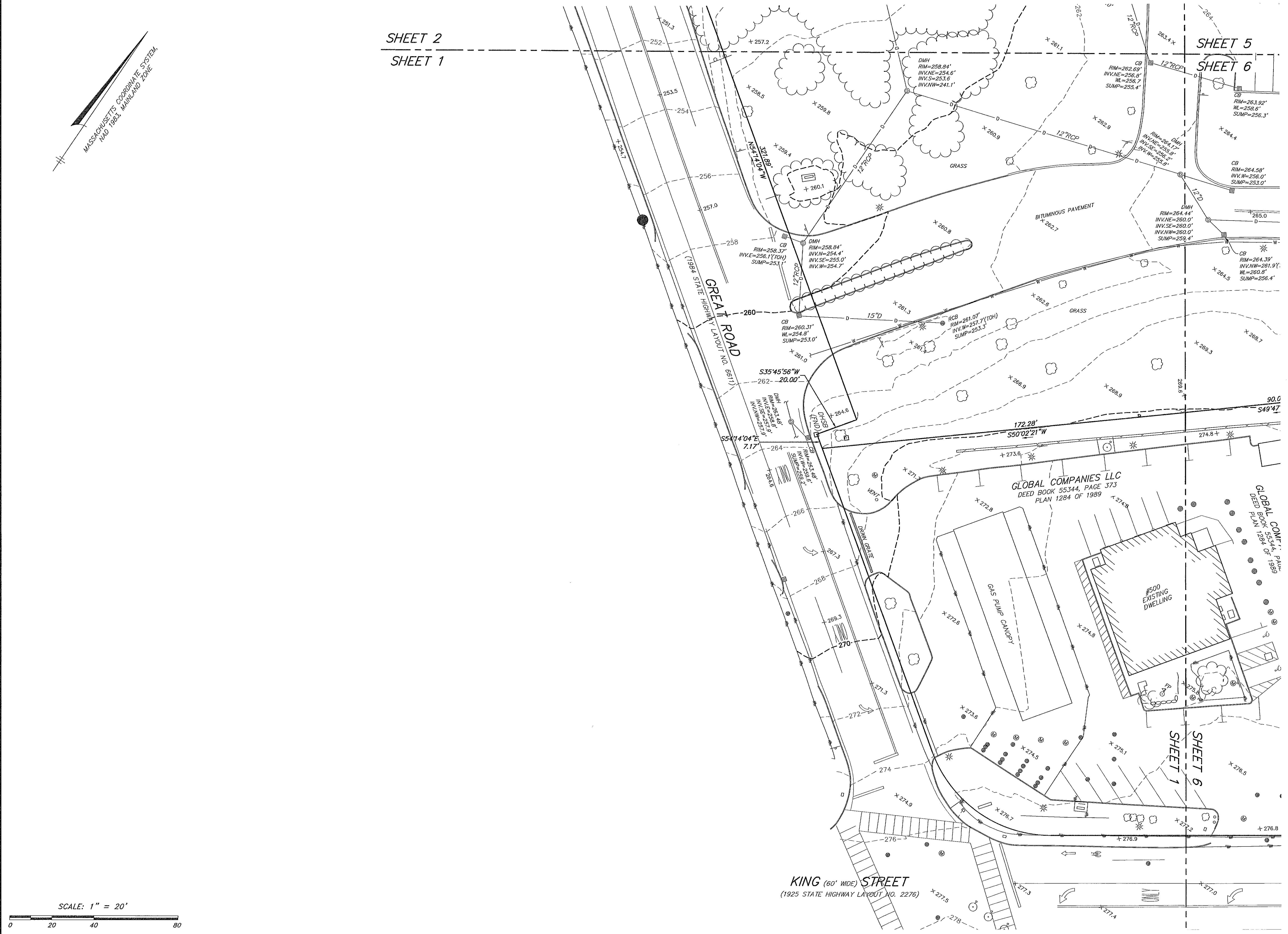
2557

ELEVATION BENCH MARKS		
 DATUM: NAVD88 (SEE NOTE 1)		
NO.	DESCRIPTION	ELEV.
A	HYDRANT - X-CUT	278.30
B	HYDRANT - BOLT OVER MAIN OUTLET	271.61
C	SPIKE SET	285.54
D	HYDRANT - BOLT OVER MAIN OUTLET	299.58
E	UP#6 - SPIKE SET	284.41

MASSACHUSETTS COORDINATE SYSTEM
NAD 1983 MAINLAND ZONE

SHEET 2
SHEET 1

SHEET 5
SHEET 6



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KING STREET

Littleton, Massachusetts

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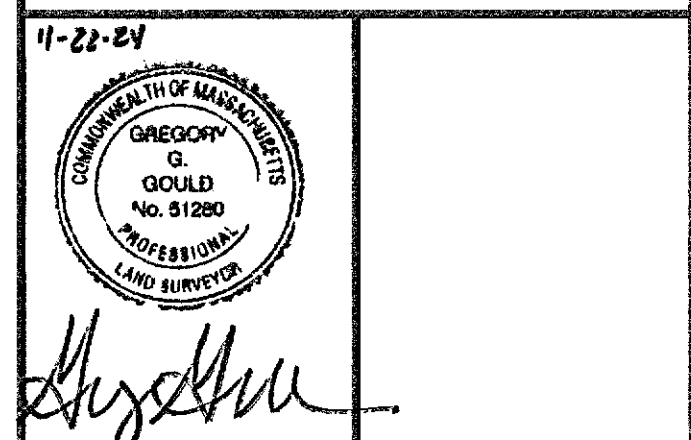
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1 JAN GGS 11/22/24 ADDITIONAL UTILITIES

DATE: 4/11/2022 DRAWN BY: MJS
SCALE: 1" = 20' CHECK BY: GGS

EXISTING
CONDITIONS
PLAN OF LAND
IN
LITTLETON,
MASSACHUSETTS

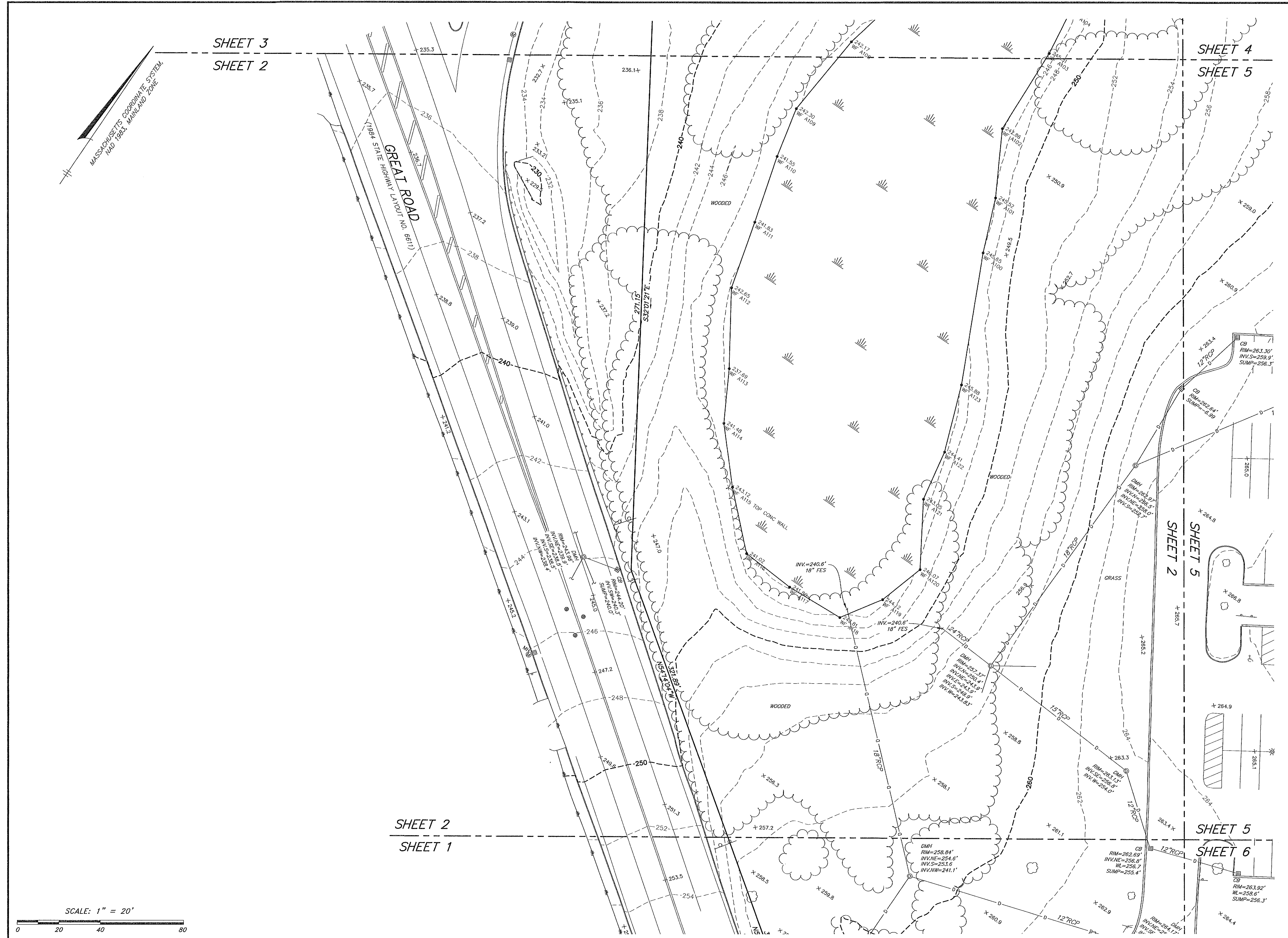
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DWG: 25579sv.dwg

LAYOUT: EC

SHEET: 1 OF 16

PROJECT NO.: 25579



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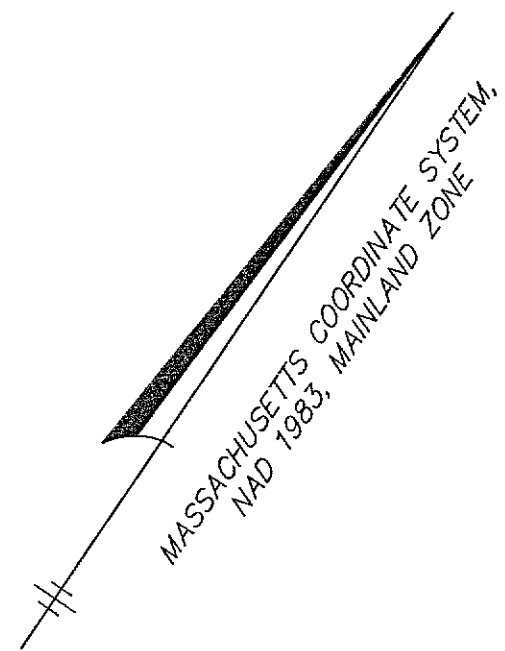
11-22-24

1	JAR	GGG	11/22/24	ADDITIONAL UTILITIES
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DATE: 4/11/2022 DRAWN BY: MJS
SCALE: 1" = 20' CHECK BY: GGG

EXISTING
CONDITIONS
PLAN OF LAND
IN
LITTLETON,
MASSACHUSETTS
PLOT DATE: Nov 25, 2024 8:58 am
PATH: X:\25579-Lupoli-Littleton\Surf\DWG\

DWG: 25579sv.dwg
LAYOUT: EC
SHEET: 2 OF 16
PROJECT NO.: 25579



SHEET 4
SHEET 3

SITE ADDRESS:

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1 JAR GGG 11/22/24 ADDITIONAL UTILITIES

DATE: 4/11/2022 DRAWN BY: MJS
SCALE: 1" = 20' CHECK BY: GGG

EXISTING
CONDITIONS
PLAN OF LAND
IN
LITTLETON,
MASSACHUSETTS

PLOT DATE: Nov 25, 2024 8:59 am
PLOT: X:\25579-Lupoli-Littleton\Shm\DWG\

DWG: 25579sv.dwg

LAYOUT: EC

SHEET: 3 OF 16

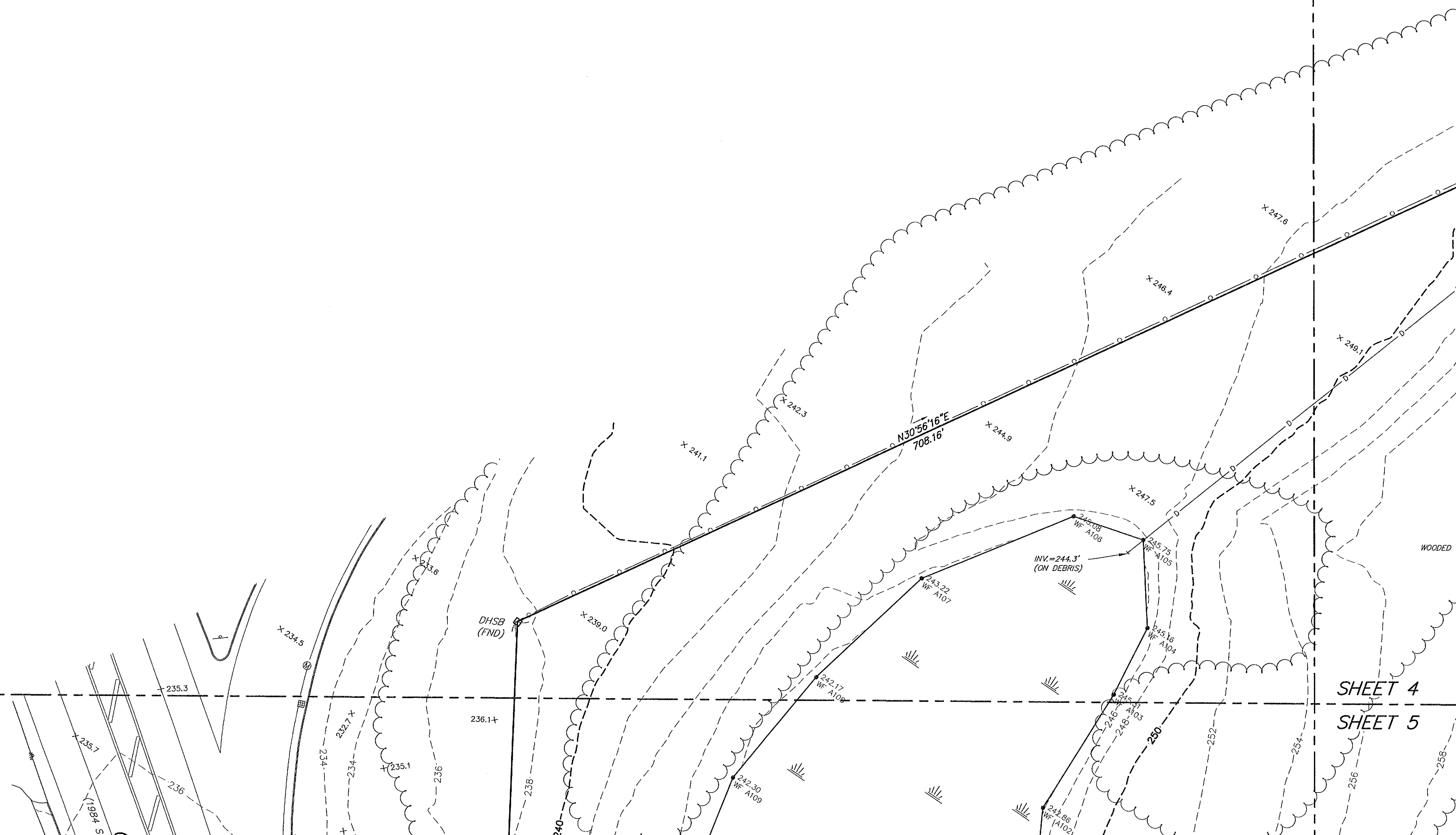
PROJECT NO.: 25579

SCALE: 1" = 20'



SHEET 3
SHEET 2

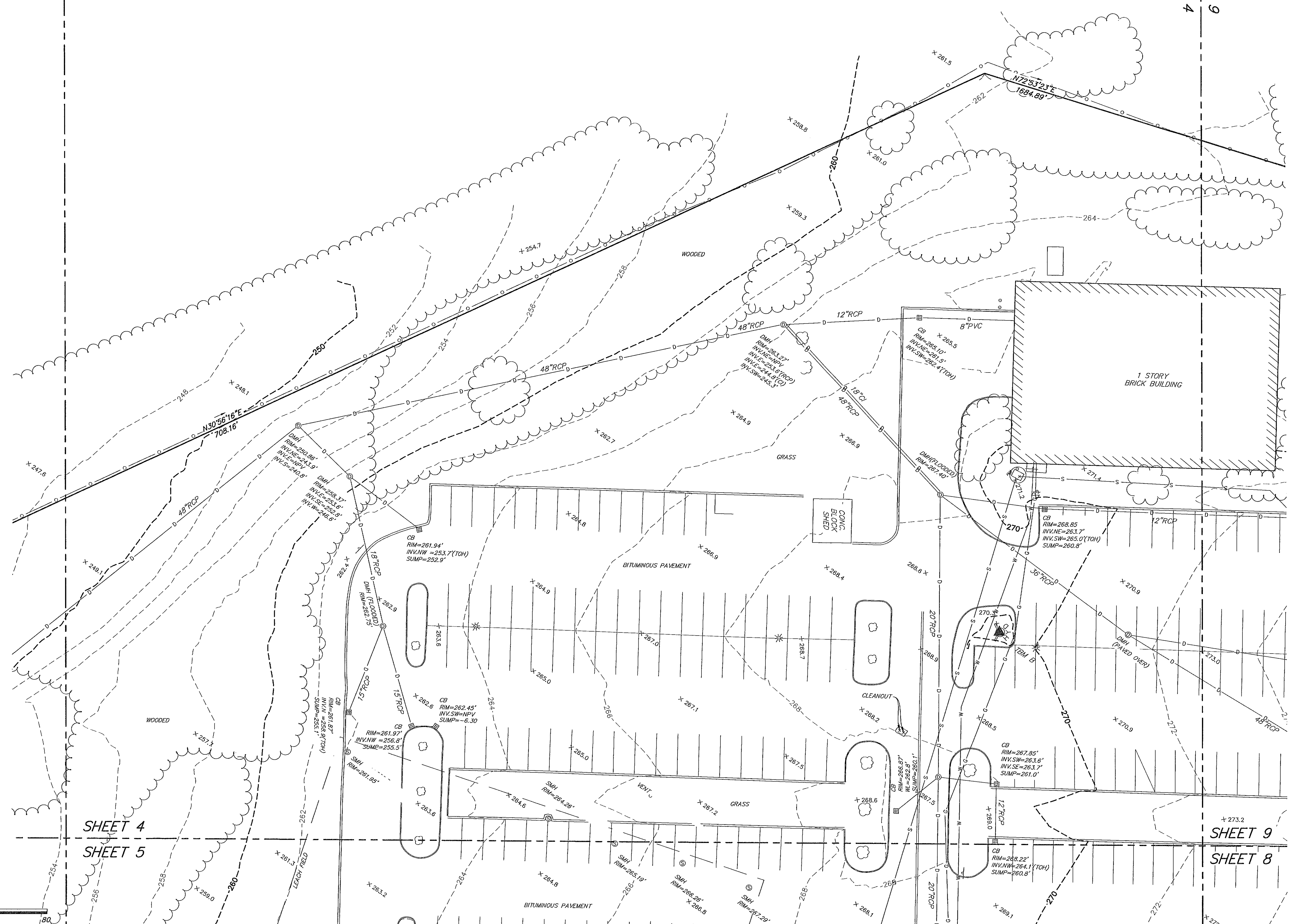
SHEET 4
SHEET 5



MASSACHUSETTS COORDINATE SYSTEM
NAD 1983 MAINLAND ZONE

SHEET 4
SHEET 3

SHEET 9
SHEET 4



SCALE: 1" = 20'

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GREGORY G. GOULD
No. 91280
REGISTERED
LAND SURVEYOR

1 JAN GGG 11/22/24 ADDITIONAL UTILITIES

DATE: 4/11/2022 DRAWN BY: MJS
SCALE: 1" = 20' CHECK BY: GGG

EXISTING
CONDITIONS
PLAN OF LAND
IN
LITTLETON,
MASSACHUSETTS

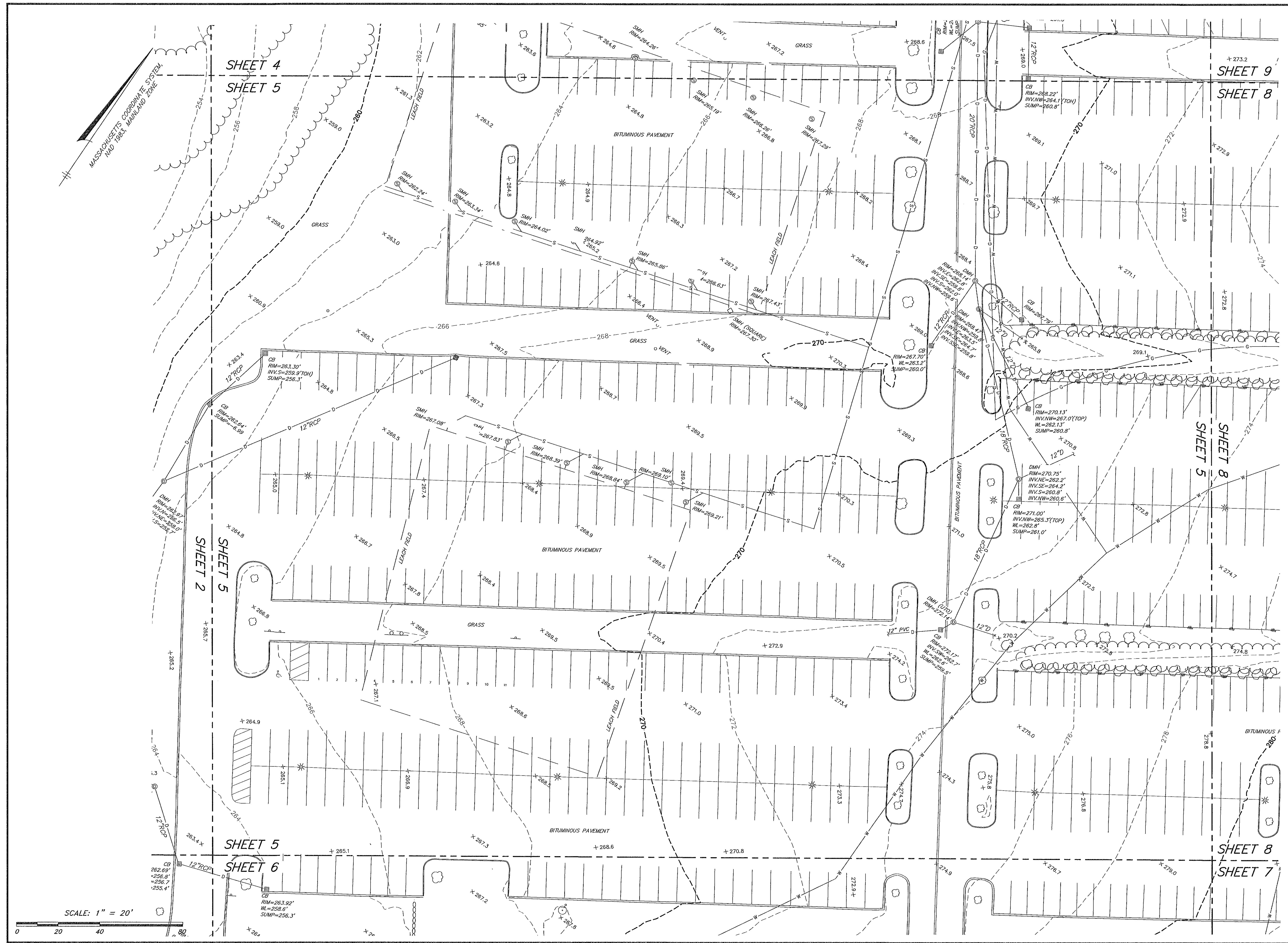
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PATH: X:\25579-Lupoli-Littleton\Surv\DWG\

DWG: 25579sv.dwg

LAYOUT: EC

SHEET: 4 OF 16

PROJECT NO.: 25579



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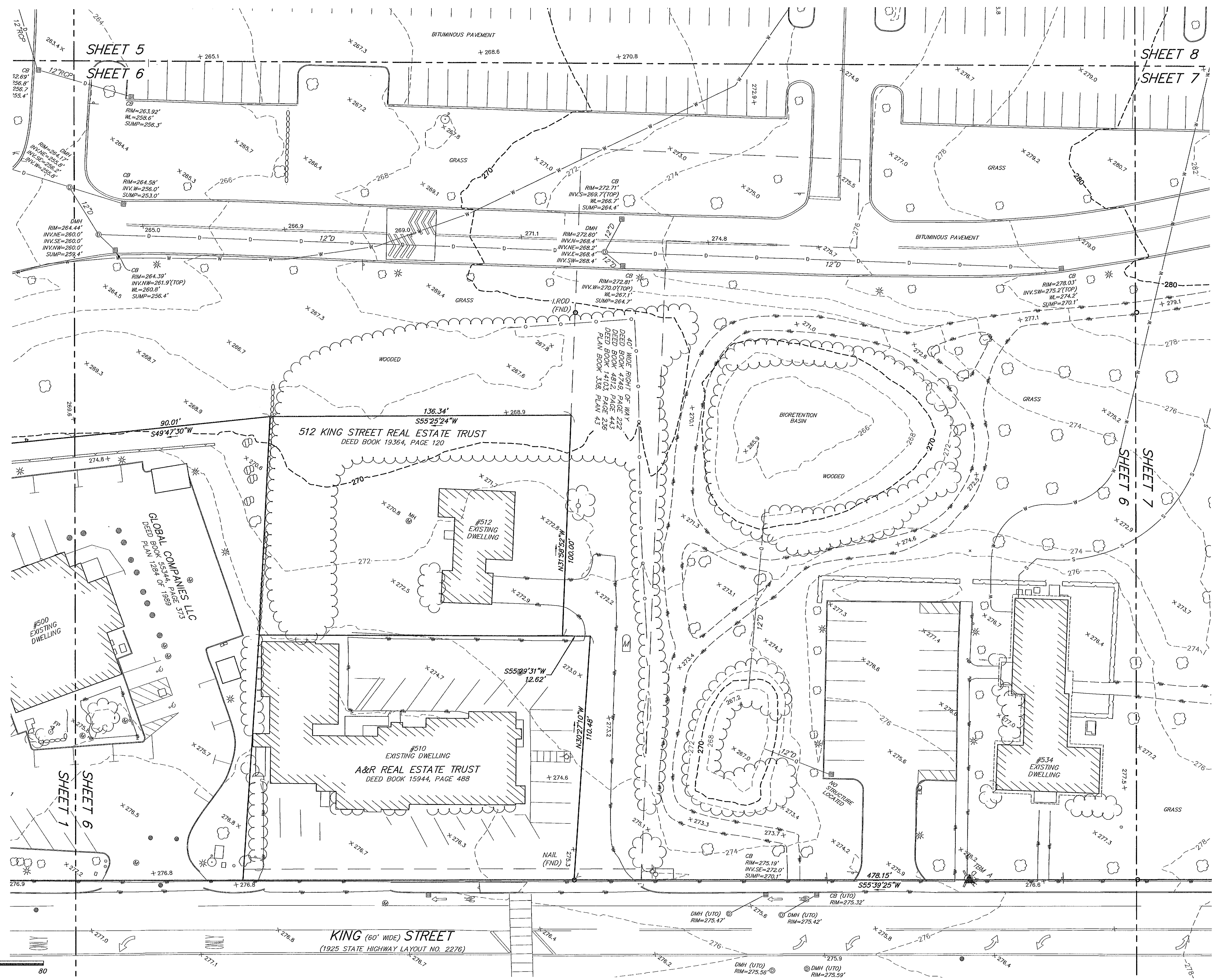
1	JAR	GGG	11/22/24	ADDITIONAL UTILITIES
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DATE: 4/11/2022	DRAWN BY: MJS
SCALE: 1" = 20'	CHECK BY: GGG

**EXISTING
CONDITIONS
PLAN OF LAND
IN
LITTLETON,
MASSACHUSETTS**

PLOT DATE: Rev 25, 2024, 9:00 am
PATH: X:\25579-Lupoli-Littleton\Sur+DWG\

DWG: 25579sv.dwg
LAYOUT: EC
SHEET: 5 OF 16
PROJECT NO.: **25579**



SCALE: 1" = 20'

KING (60' WIDE) STREET
(1925 STATE HIGHWAY LAYOUT NO. 2276)

SITE ADDRESS:

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KING STREET

Littleton, Massachusetts

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GREGORY
G.
GOULD
No. 51280
PROFESSIONAL
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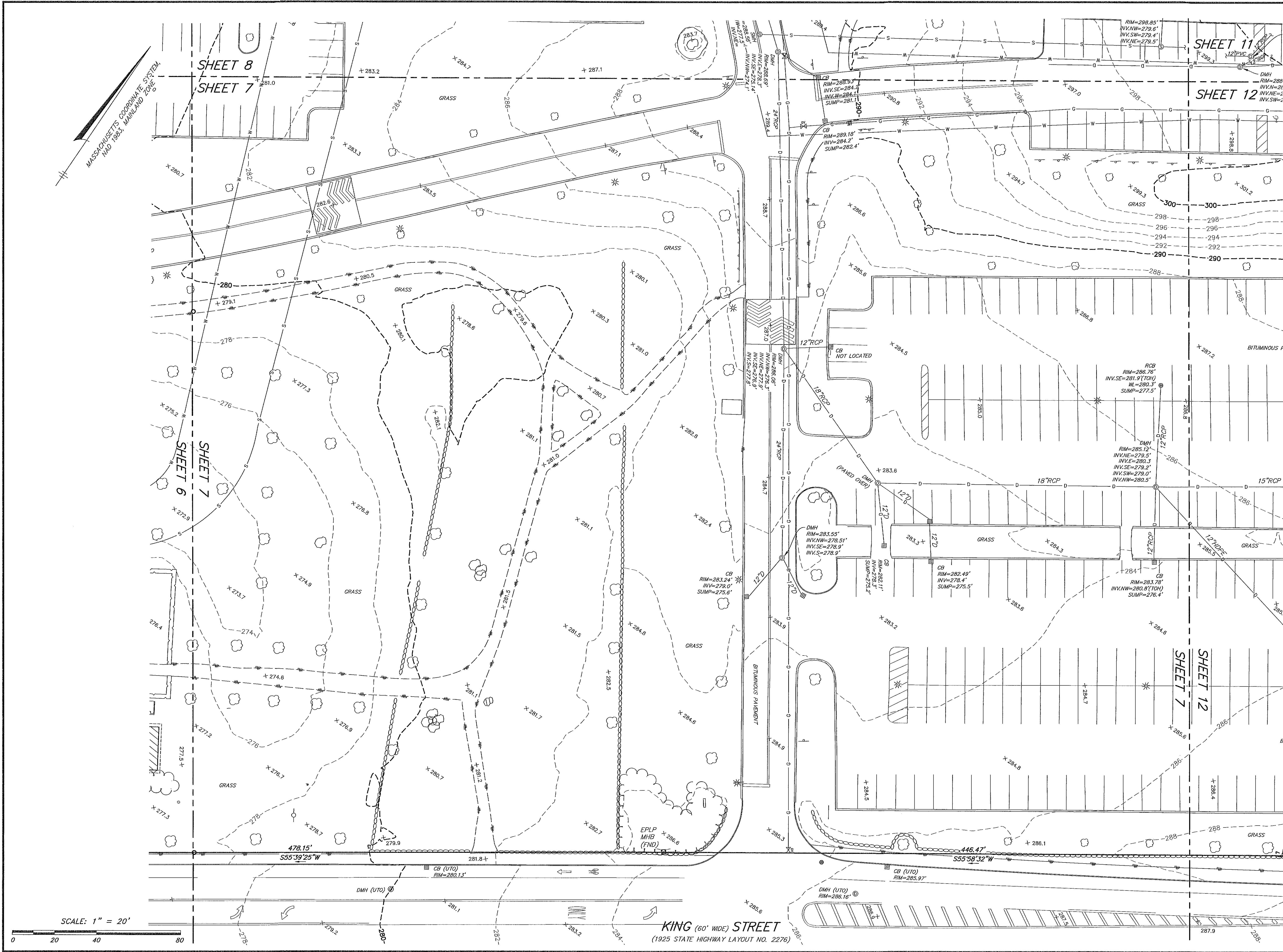
1 JAR GGG 11/22/24 ADDITIONAL UTILITIES

DATE: 4/11/2022 DRAWN BY: MJS
SCALE: 1" = 20' CHECK BY: GGG

EXISTING
CONDITIONS
PLAN OF LAND
IN
LITTLETON,
MASSACHUSETTS

PLOT DATE: Nov 26, 2024 4:09 pm
PFILE: X:\25579-Lupoli-Littleton\Surv\DWG\

DWG: 25579sv.dwg
LAYOUT: EC
SHEET: 6 OF 16
PROJECT NO.: 25579



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1	JAR	GGG	11/22/24	ADDITIONAL UTILITIES
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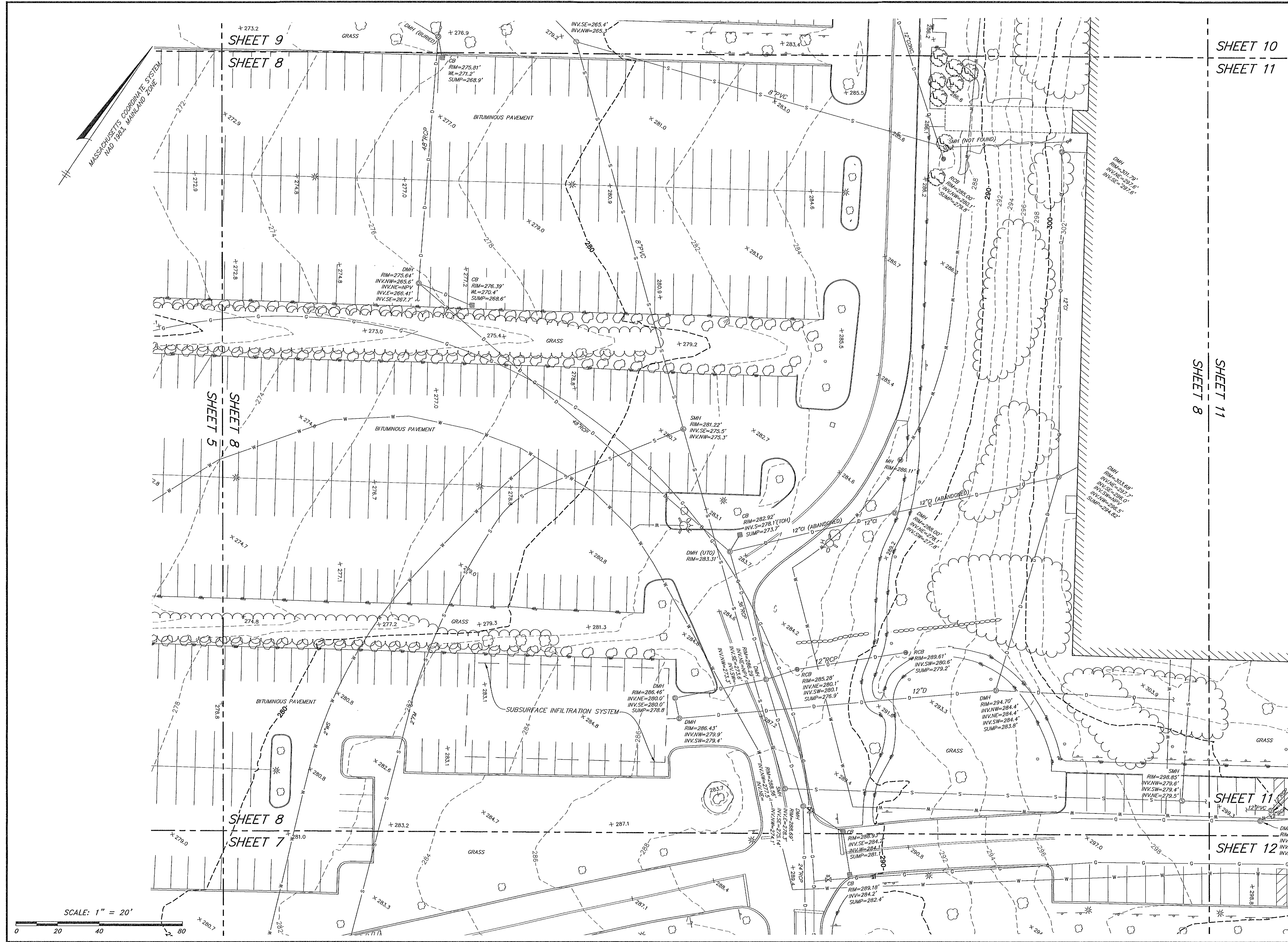
DATE: 4/11/2022
SCALE: 1" = 20'

DRAWN BY: MJS
CHECK BY: GGG

**EXISTING
CONDITIONS
PLAN OF LAND
IN
LITTLETON,
MASSACHUSETTS**

PLOT DATE: Nov 26, 2024 10:01 am
PFILE: S:\25579-Lupoli-Littleton\Sur\DWG\

DWG: 25579sv.dwg
LAYOUT: EC
SHEET: 7 OF 16
PROJECT NO.: 25579



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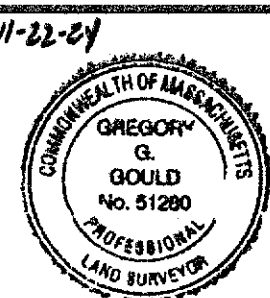
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1 JAR GGG 11/22/24 ADDITIONAL UTILITIES

DATE: 4/11/2022 DRAWN BY: MJS
SCALE: 1" = 20' CHECK BY: GGG

EXISTING
CONDITIONS
PLAN OF LAND
IN
LITTLETON,
MASSACHUSETTS

PLOT DATE: Nov 25, 2024 8:02 am

PAID: X:\25579-Lupoli-Littleton\Sur\DWG\

DWG: 25579rev.dwg

LAYOUT: EC

SHEET: 8 OF 16

PROJECT NO.:

25579

#550
KING STREET

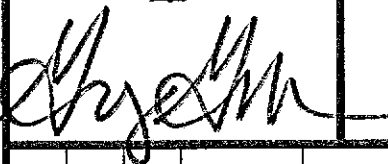
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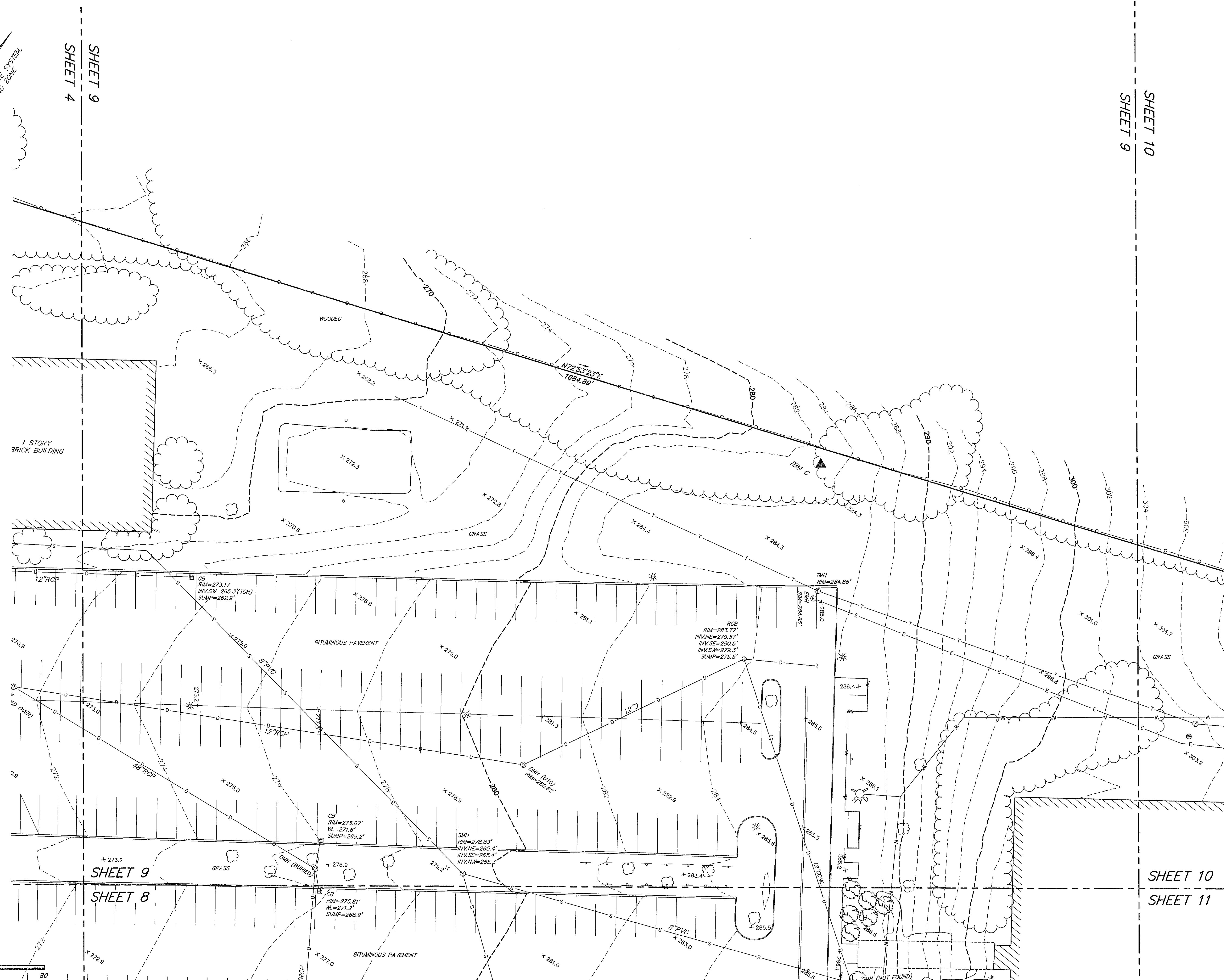
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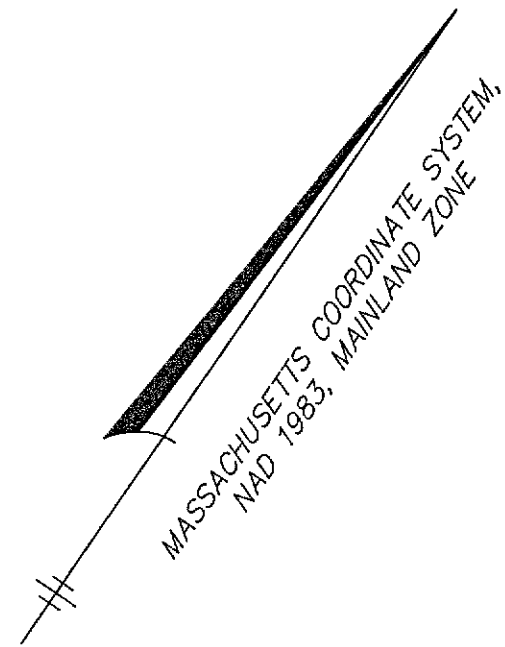
11-22-24



**EXISTING
CONDITIONS
PLAN OF LAND
IN
LITTLETON,
MASSACHUSETTS**

5579

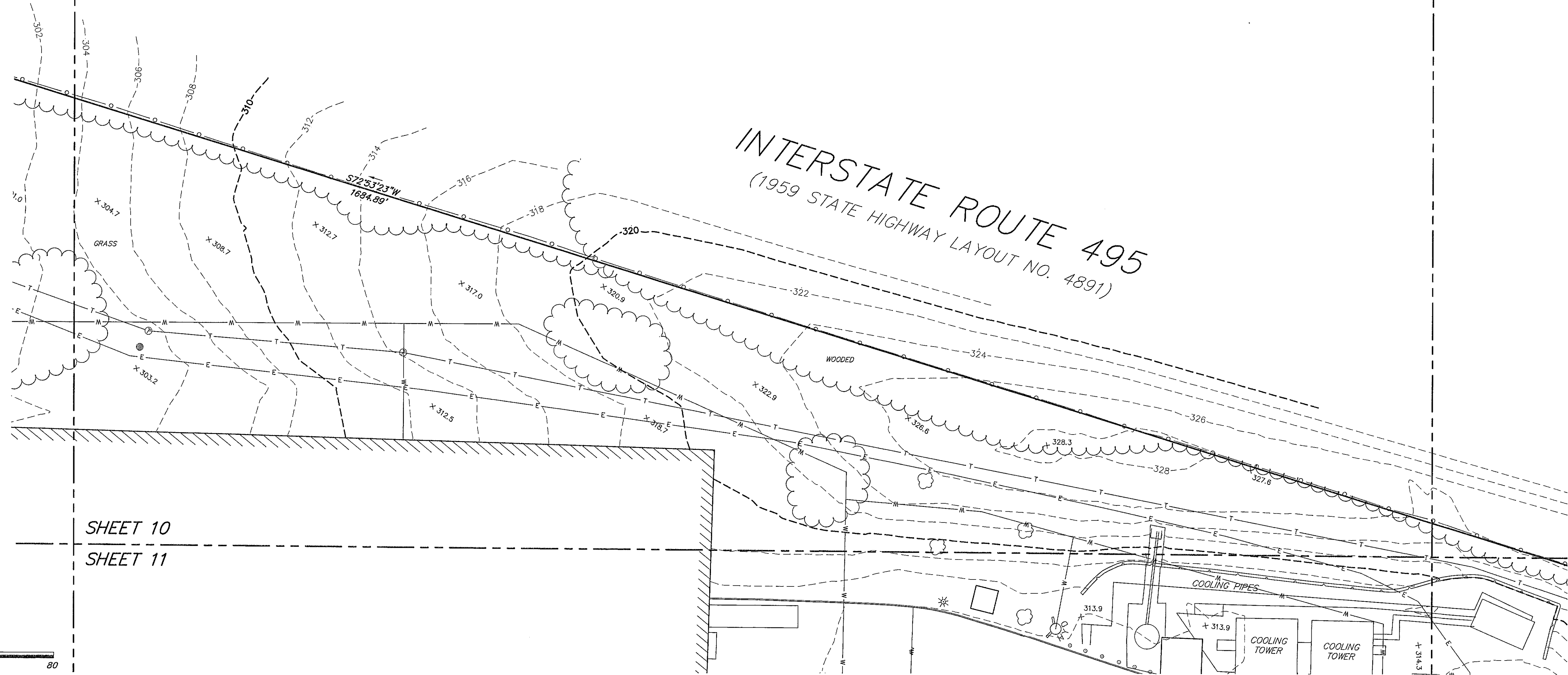




SHEET 9

SHEET 10

SHEET 10
SHEET 15



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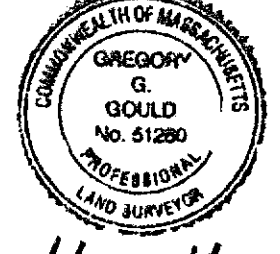
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1 JAR GGG 11/22/24 ADDITIONAL UTILITIES

DATE: 4/11/2022 DRAWN BY: MJS

SCALE: 1" = 20' CHECK BY: GGG

EXISTING
CONDITIONS
PLAN OF LAND
IN
LITTLETON,
MASSACHUSETTS

PLOT DATE: Nov 25, 2024 9:03 am
PATH: X:\25579-Lupoli-Littleton\Surv\DWG\

DWG: 25579sv.dwg

LAYOUT: EC

SHEET: 10 OF 16

PROJECT NO.: 25579

SHEET 10
— — — — —
SHEET 11

SHEET 11
SHEET 8

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BRICK BUILDING

#550
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---	-----	-----	----------	----------------------

DATE: 4/11/2022	DRAWN BY: MJS
SCALE: 1" = 20'	CHECK BY: GGG

**EXISTING
CONDITIONS
PLAN OF LAND
IN
LITTLETON,
MASSACHUSETTS**

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DWG: 25579sv.dwg

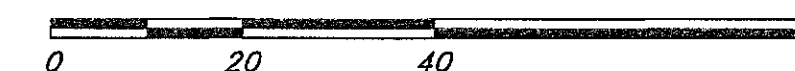
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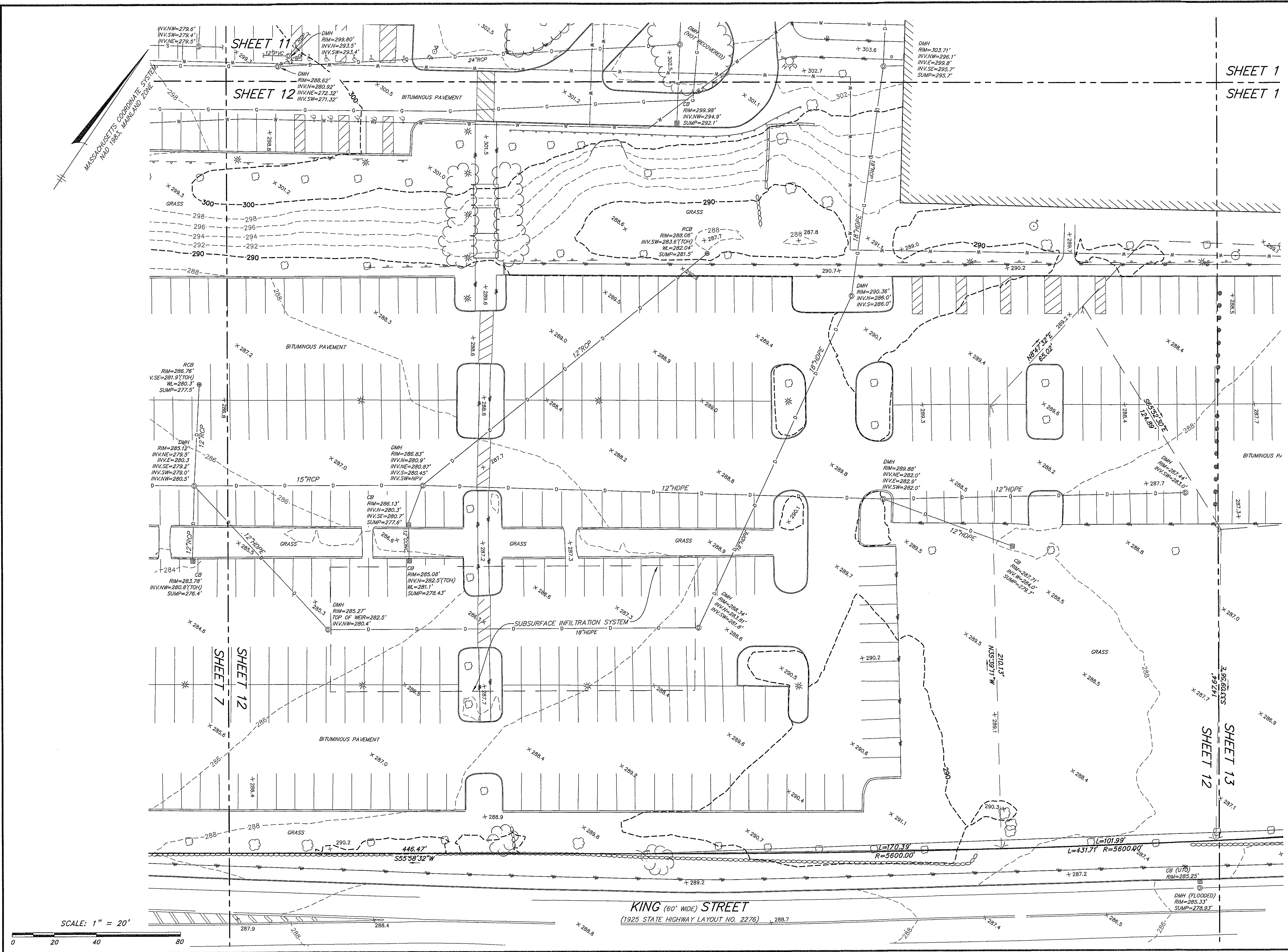
SHEET: 11 OF 16

PROJECT NO.:

25579

SCALE: 1" = 20'





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GREGORY S. GOULD
No. 51260
PROFESSIONAL
LAND SURVEYOR

[Signature]

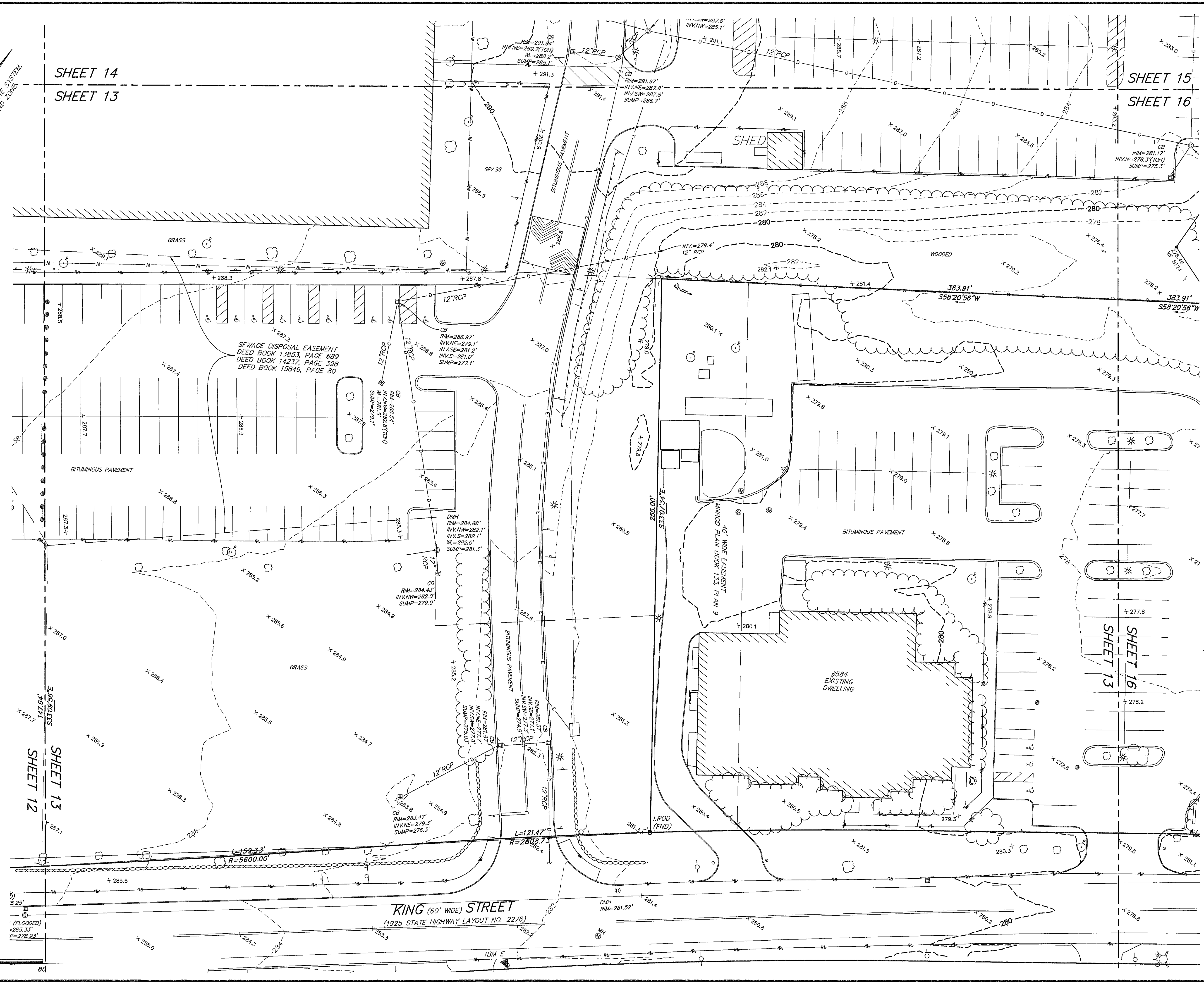
1	JAR	GGG	11/22/24	ADDITIONAL UTILITIES
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DATE: 4/11/2022 DRAWN BY: MJS
SCALE: 1" = 20' CHECK BY: GGG

EXISTING
CONDITIONS
PLAN OF LAND
IN
LITTLETON,
MASSACHUSETTS

PLOT DATE: Nov 25, 2024 9:04 am
PATH: X:\25579-Lupoli-Littleton\Bur\DWG\

DWG: 25579sv.dwg
LAYOUT: EC
SHEET: 12 OF 16
PROJECT NO.: 25579



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G. GOULD
No. 51280
PROFESSIONAL
LAND SURVEYOR

Gregory G. Gould

1	JAR	GGG	11/22/24	ADDITIONAL UTILITIES
---	-----	-----	----------	----------------------

DATE: 4/11/2022	DRAWN BY: MJS
SCALE: 1" = 20'	CHECK BY: GGG

EXISTING
CONDITIONS
PLAN OF LAND
IN
LITTLETON,
MASSACHUSETTS

PLOT DATE: Nov 25, 2024 9:09 am
PATH: X:\25579-Lupoli-Littleton\Sur\DWG\

DWG: 25579sv.dwg	
LAYOUT: EC	
SHEET: 13 OF 16	
PROJECT NO.:	25579

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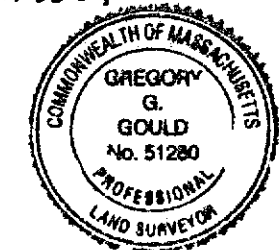
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1 JAR GGG 11/22/24 ADDITIONAL UTILITIES

DATE: 4/11/2022 DRAWN BY: MJS
SCALE: 1" = 20' CHECK BY: GGG

EXISTING
CONDITIONS
PLAN OF LAND
IN
LITTLETON,
MASSACHUSETTS

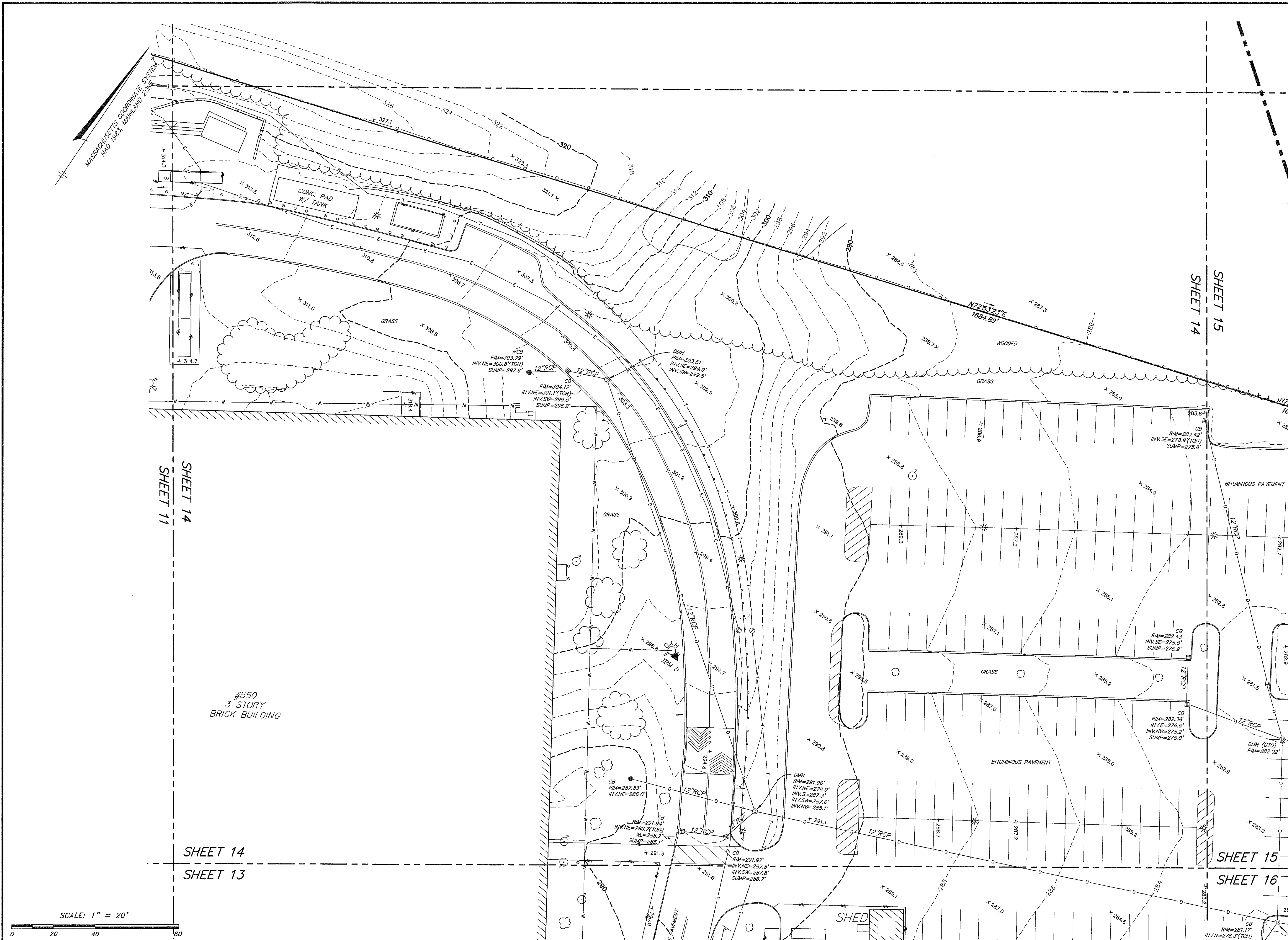
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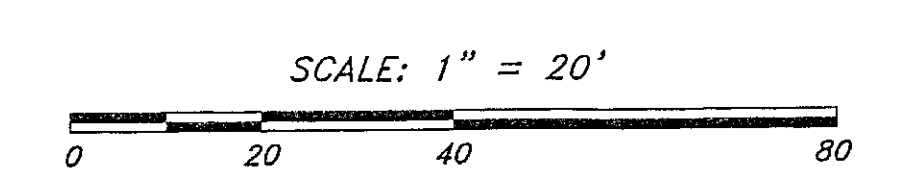
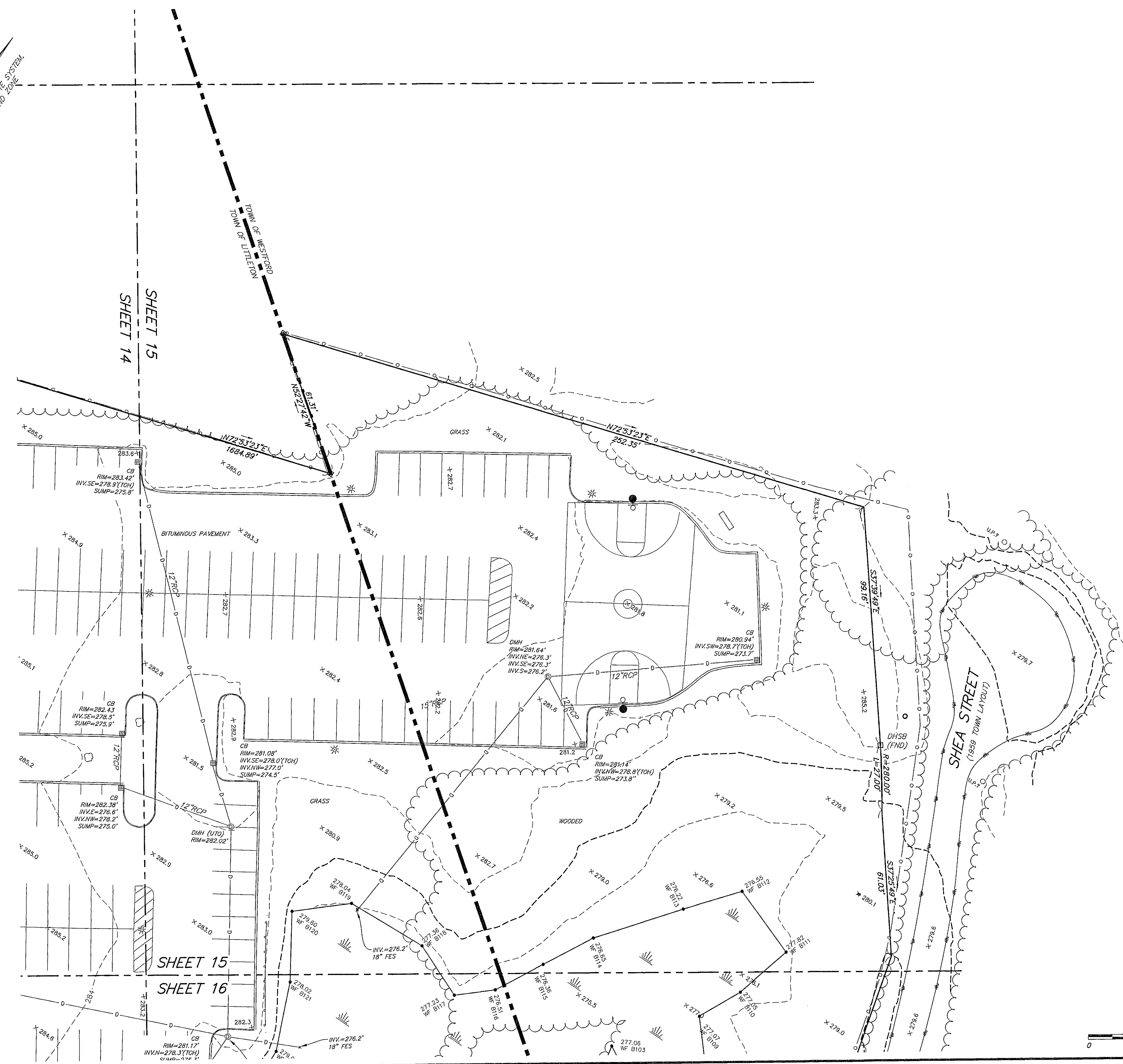
LAYOUT: EC

SHEET: 14 OF 16

PROJECT NO.: 25579



MASSACHUSETTS COORDINATE SYSTEM,
NAD 1983 MAINLAND ZONE



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GREGORY G. GOULD
No. 51280
LAND SURVEYOR

Gregory G. Gould

1	JAR	GGG	11/22/24	ADDITIONAL UTILITIES
---	-----	-----	----------	----------------------

DATE: 4/11/2022 DRAWN BY: MJS
SCALE: 1" = 20' CHECK BY: GGG

EXISTING
CONDITIONS
PLAN OF LAND
IN
LITTLETON,
MASSACHUSETTS

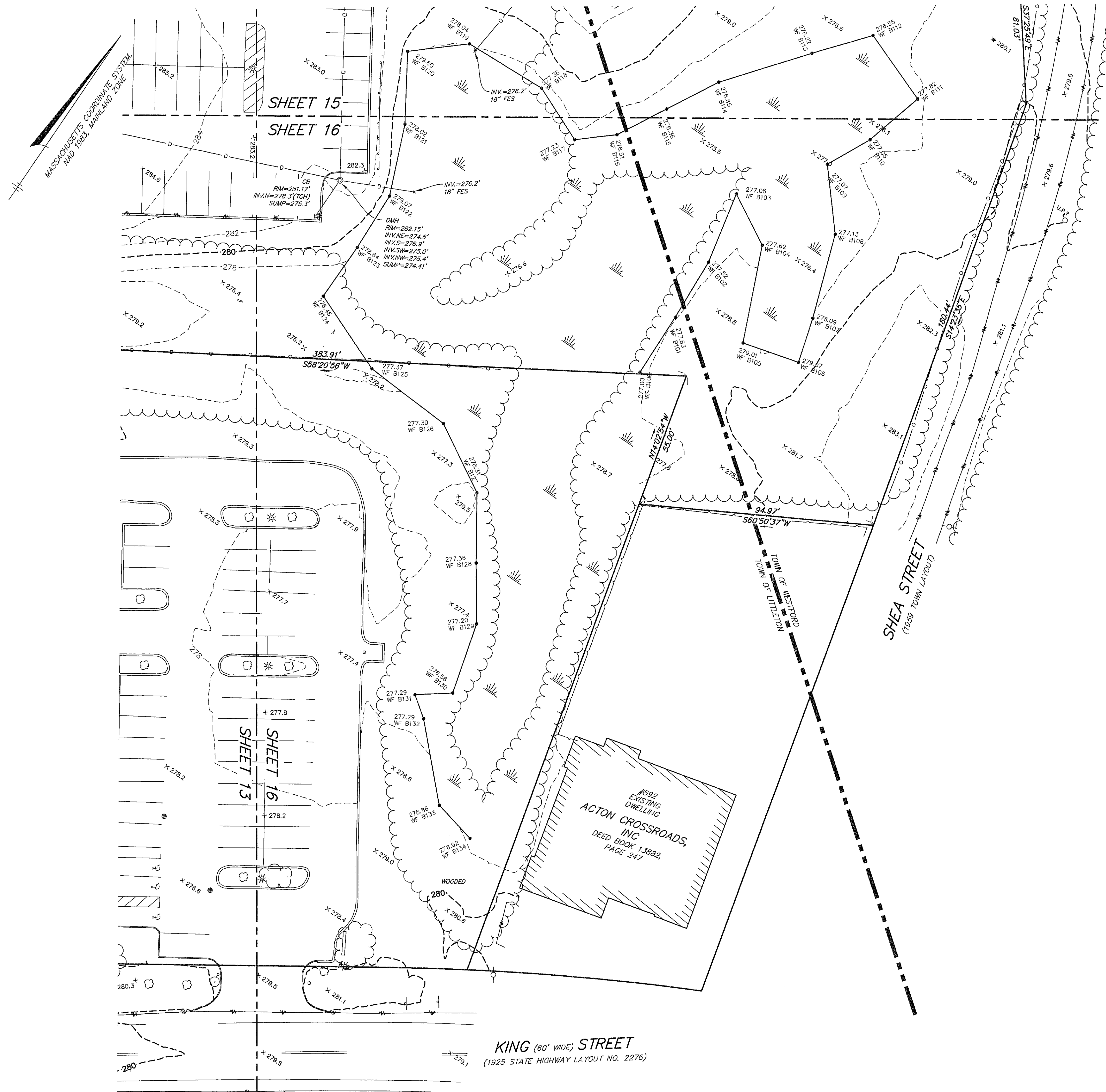
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PATH: X:\25579-Lupoli-Littleton\Drawings\DWG\

DWG: 25579sv.dwg

LAYOUT: EC

SHEET: 15 OF 16

PROJECT NO.: 25579



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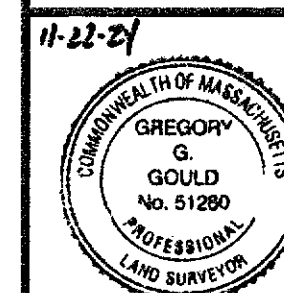
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Gregory Gould

1 JAR GGG 11/22/24 ADDITIONAL UTILITIES

DATE: 4/11/2022 DRAWN BY: MJS
SCALE: 1" = 20' CHECK BY: GGG

EXISTING
CONDITIONS
PLAN OF LAND
IN
LITTLETON,
MASSACHUSETTS

PLOT DATE: Nov 25, 2024 9:08 am
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DWG: 25579sv.dwg

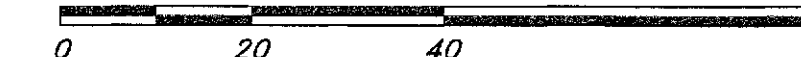
LAYOUT: EC

SHEET: 16 OF 16

PROJECT NO.:

25579

SCALE: 1" = 20'



KING ST, BLDG 1100

KING ST, LITTLETON MA

PCA PROJECT #: 24067.11

[illegible]

ORIGINAL ISSUE:
PERMITTING
11/26/2025

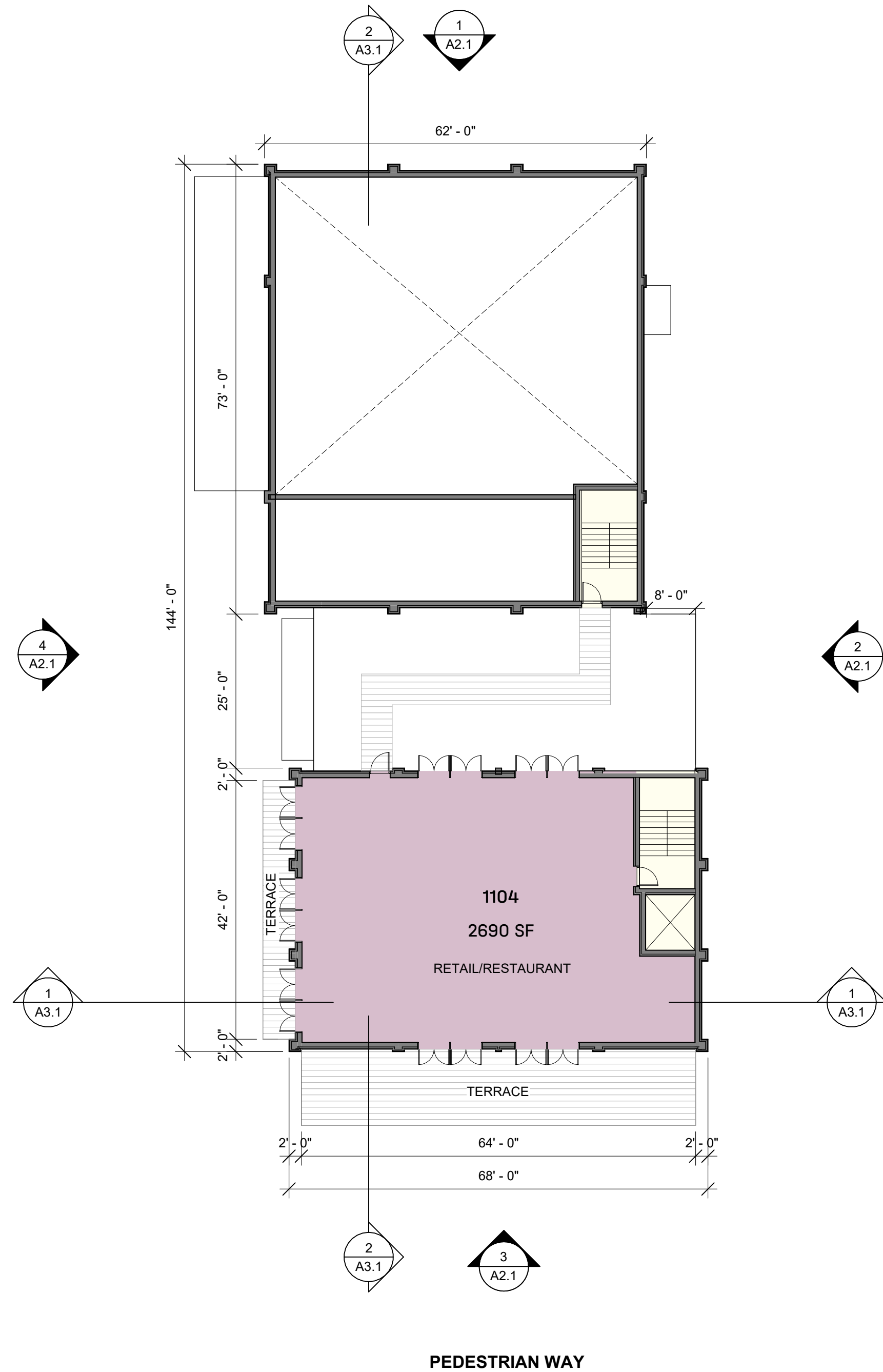
SCALE: 1/16" = 1'-0"

100 - FLOOR PLANS

A1.1

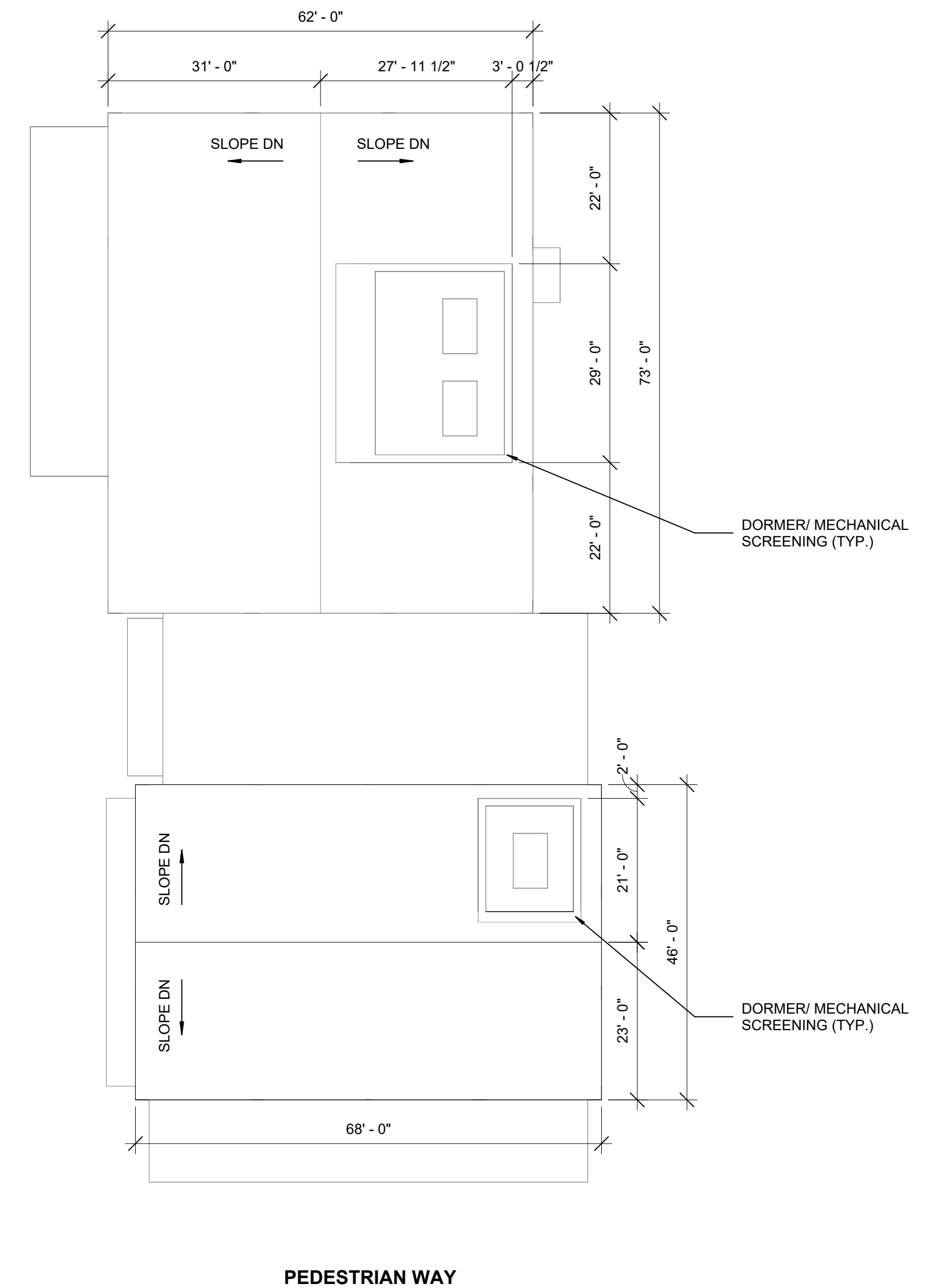


1 1100 - GROUND FLOOR CONCEPT

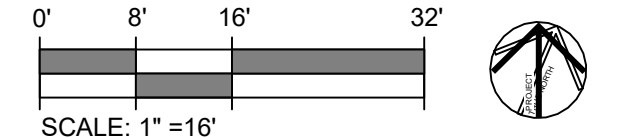


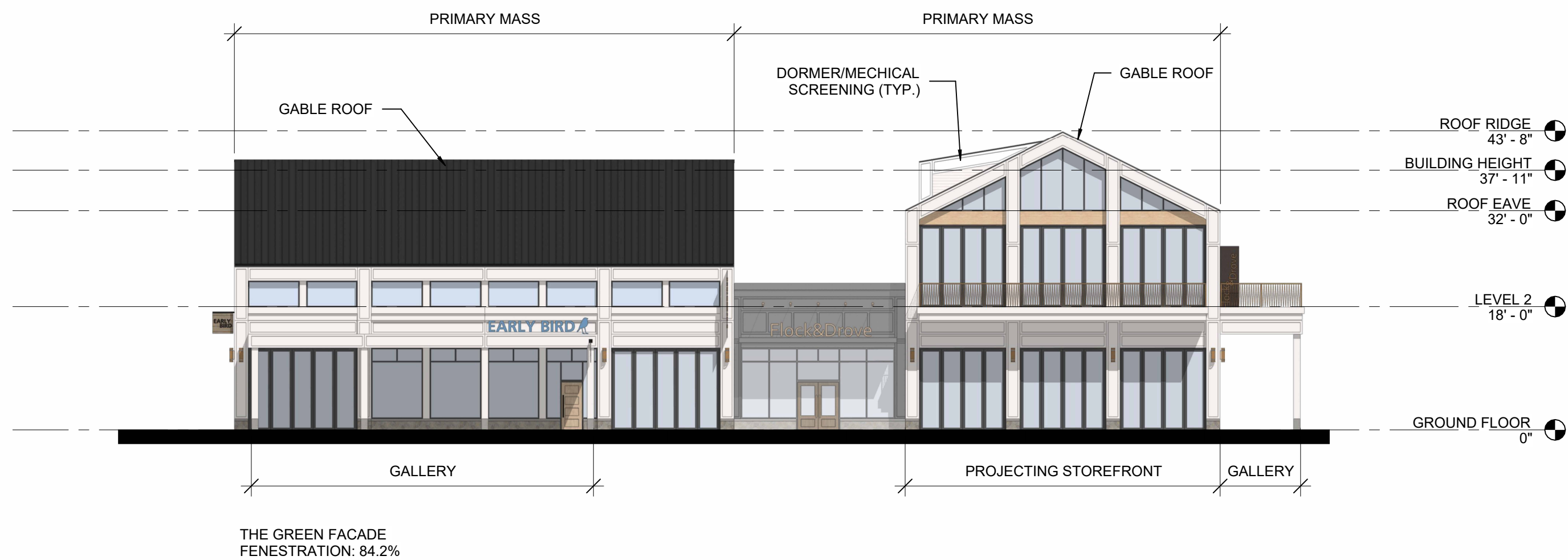
2 1100 - LEVEL 2 CONCEPT

SCALE: 1/16" = 1'-0"



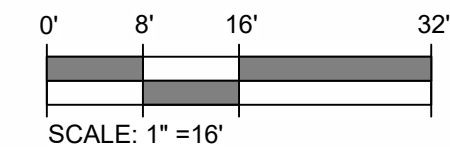
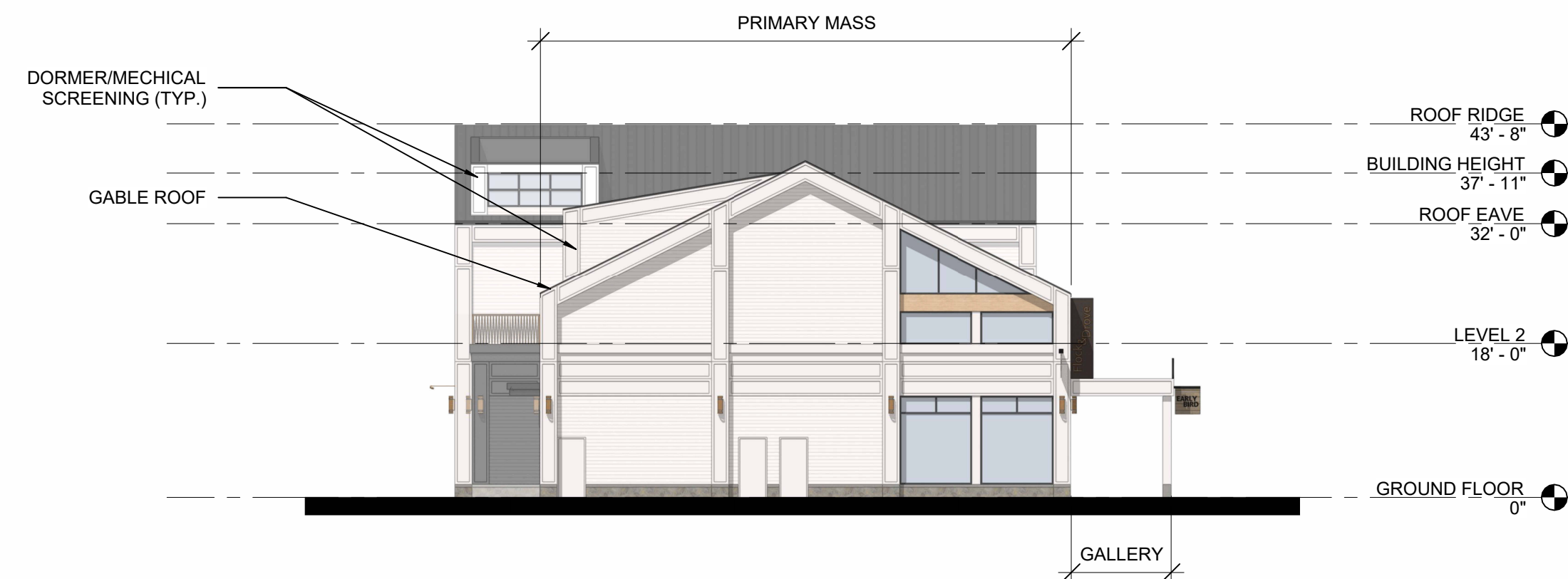
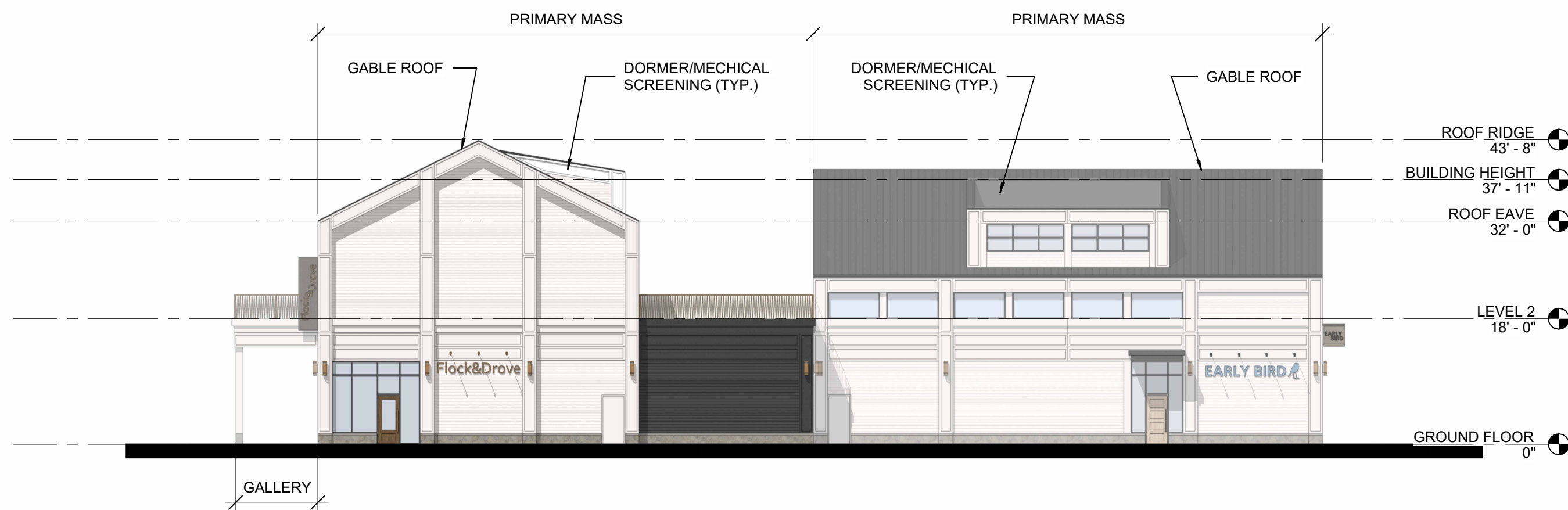
3 1100 - ROOF PLAN CONCEPT



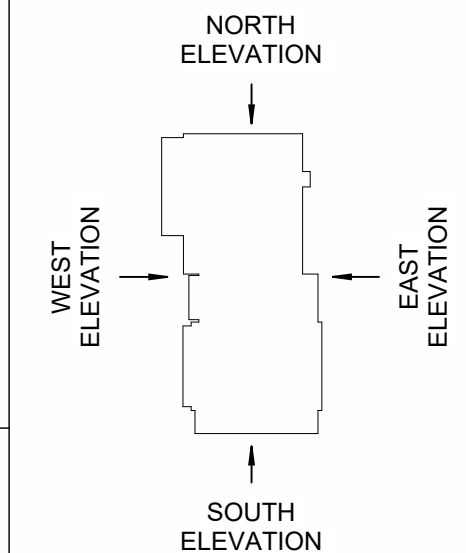


4 1100 - WEST ELEVATION
SCALE: 1/16" = 1'-0"

3 1100 - SOUTH ELEVATION
SCALE: 1/16" = 1'-0"

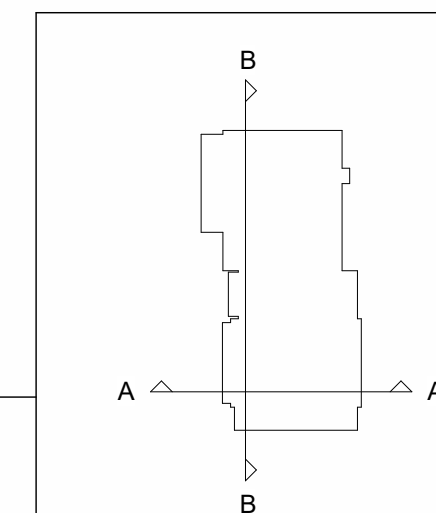


GENERAL NOTES:
REFER TO PLANS FOR BUILDING
COMPONENT DIMENSIONS.

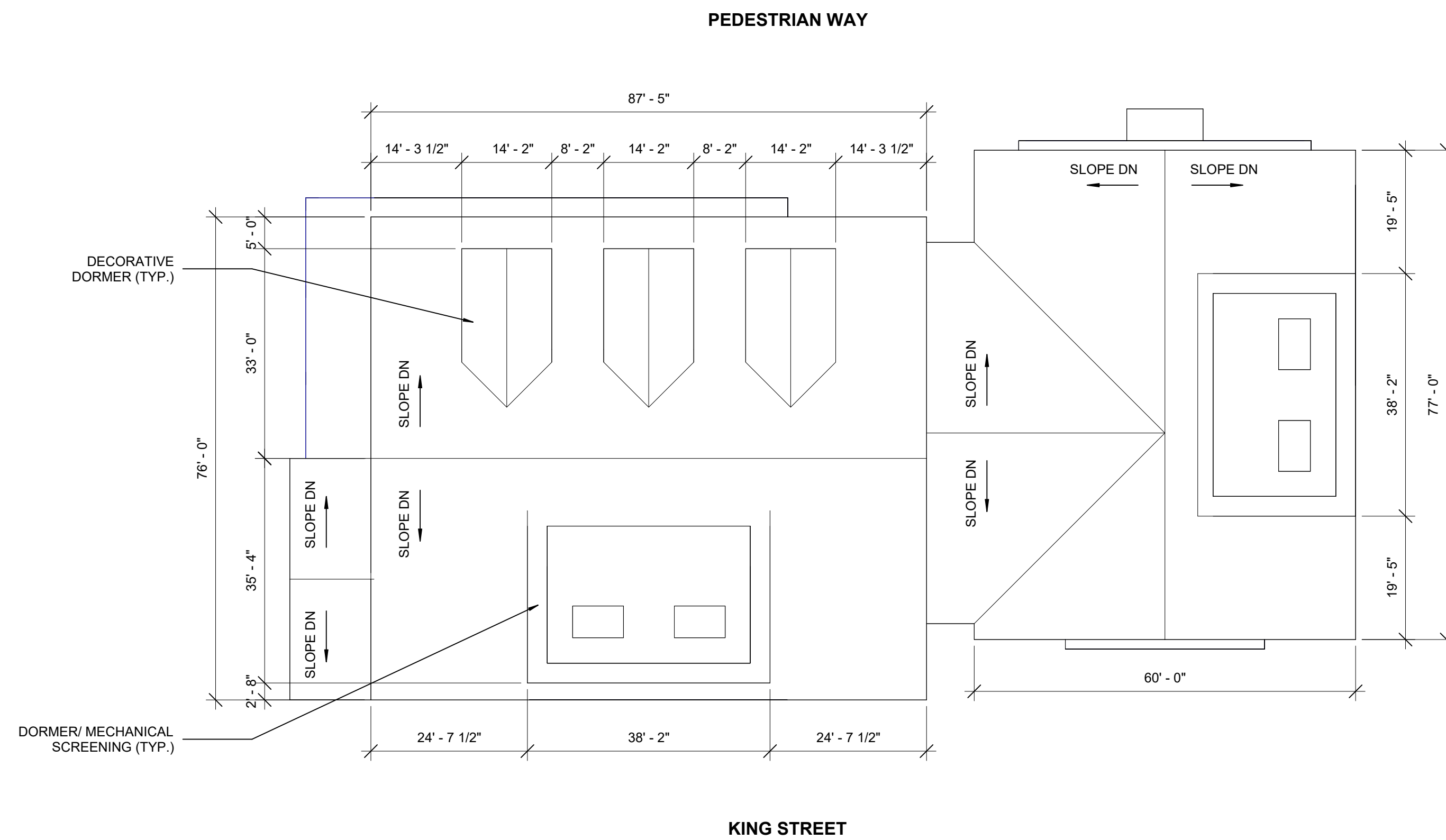


2 1100 - EAST ELEVATION
SCALE: 1/16" = 1'-0"

1 1100 - NORTH ELEVATION
SCALE: 1/16" = 1'-0"

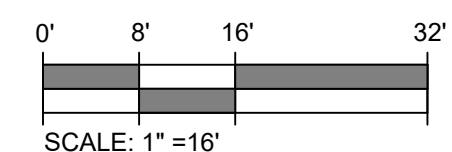
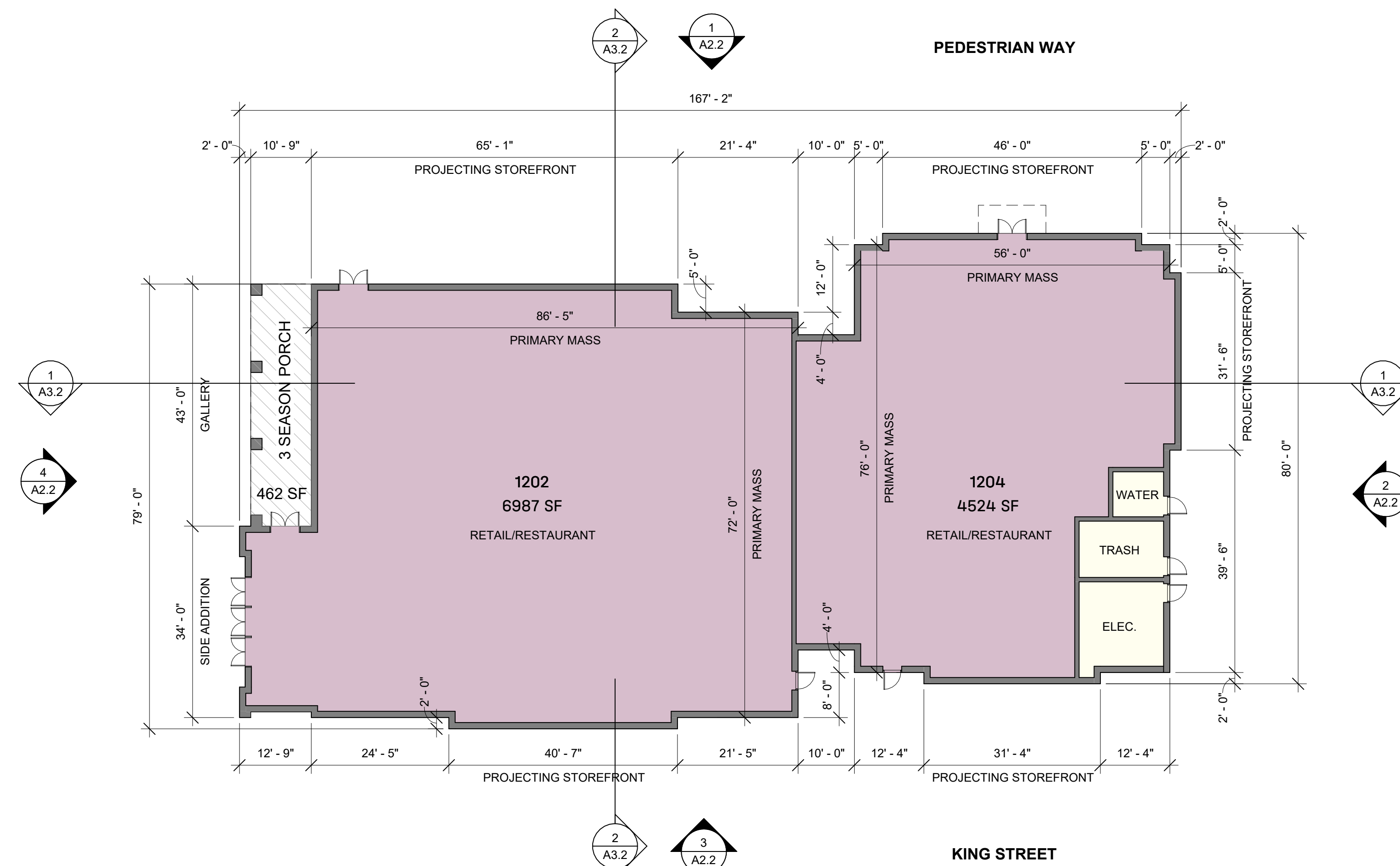


1 1100 - SECTION A
SCALE: 1/16" = 1'-0"



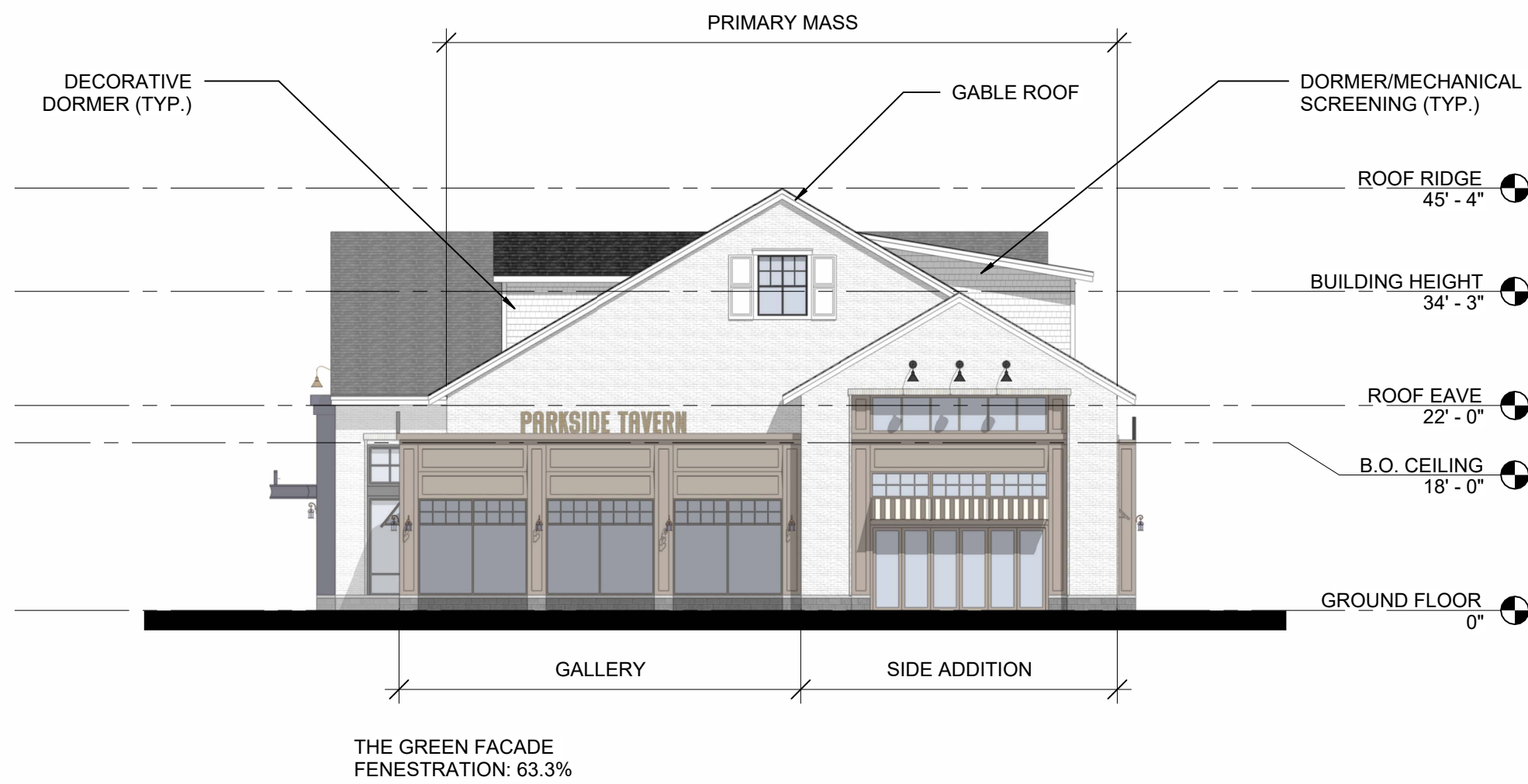
2 1200 - ROOF PLAN CONCEPT

SCALE: 1/16" = 1'-0"

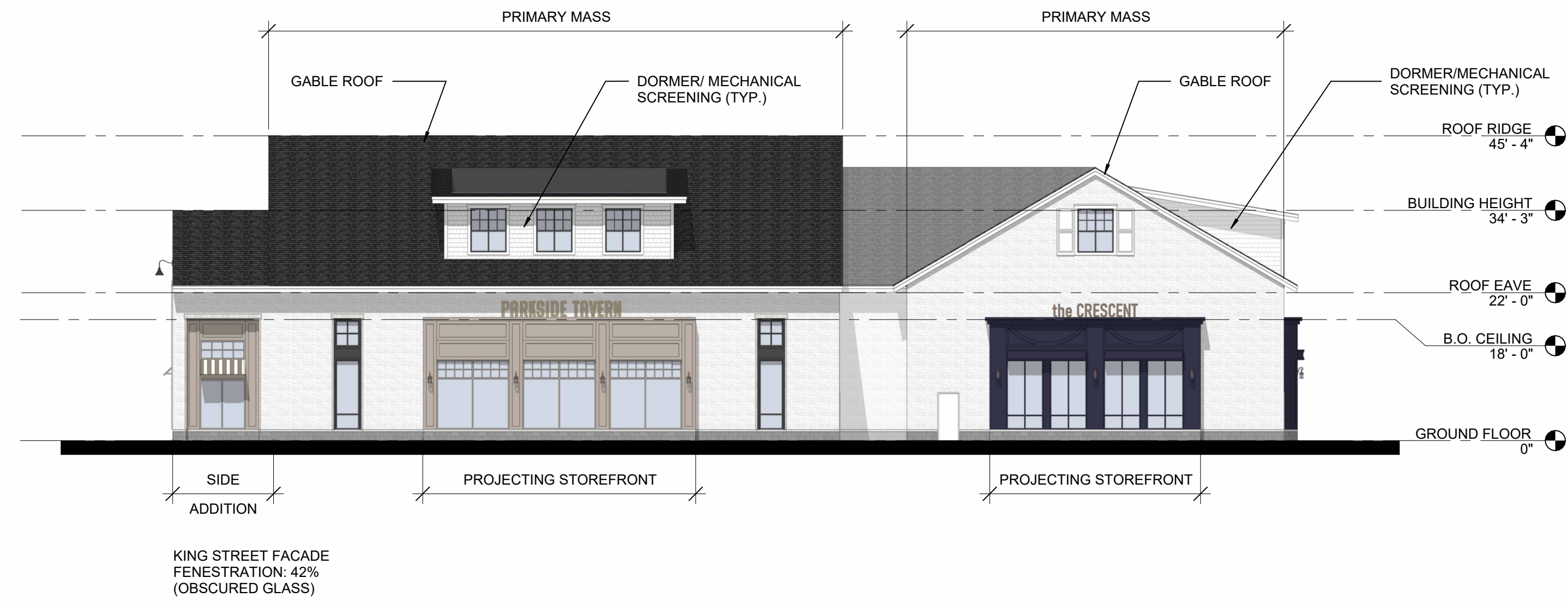


1 1200 - GROUND FLOOR CONCEPT

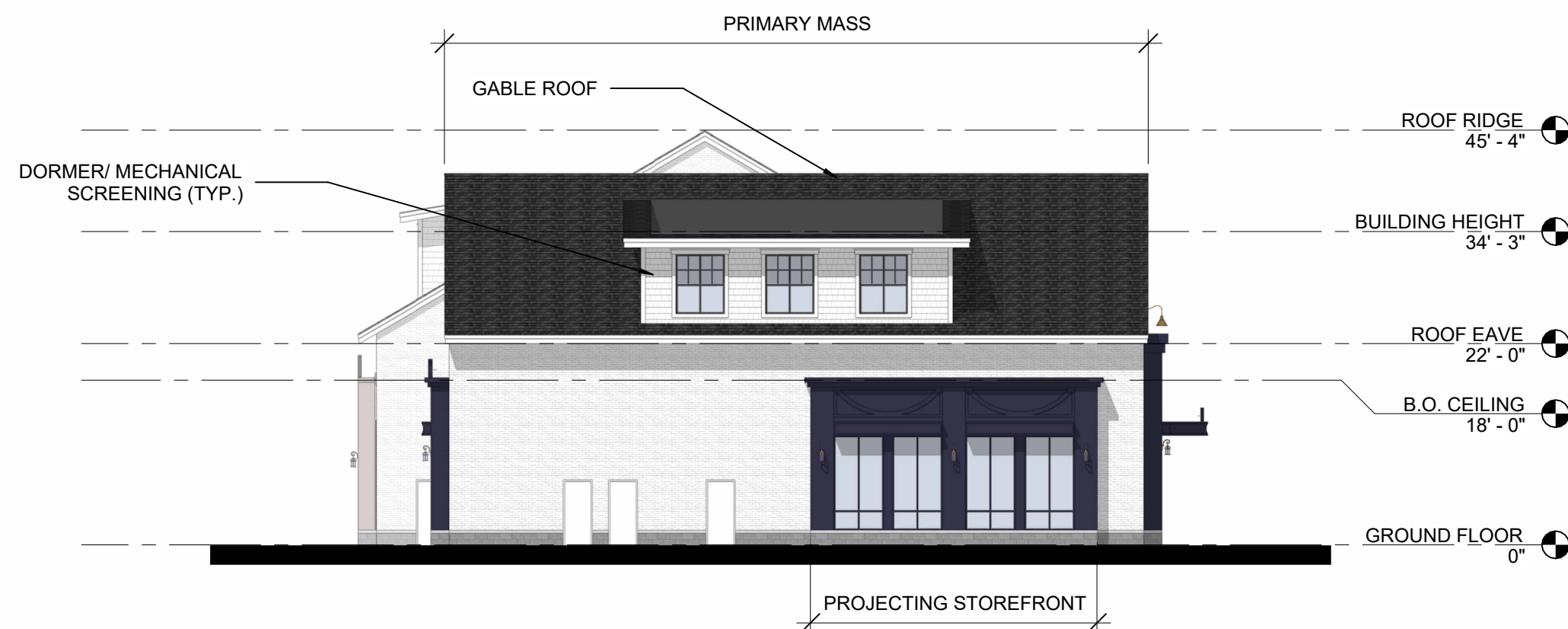
SCALE: 1/16" = 1'-0"



4 1200 - WEST ELEVATION
SCALE: 1/16" = 1'-0"



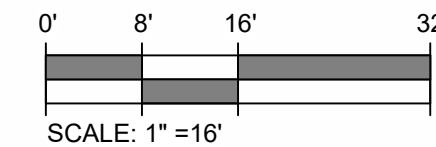
3 1200 - SOUTH ELEVATION
SCALE: 1/16" = 1'-0"



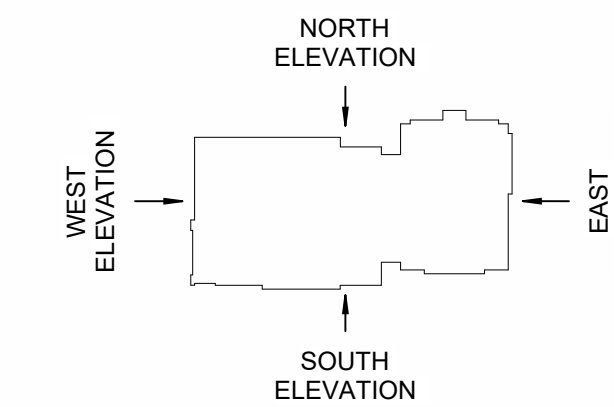
2 1200 - EAST ELEVATION
SCALE: 1/16" = 1'-0"



1 1200 - NORTH ELEVATION
SCALE: 1/16" = 1'-0"



GENERAL NOTES:
REFER TO PLANS FOR BUILDING COMPONENT
DIMENSIONS.



KING ST, BLDG 1300

PCA PROJECT #: 24067.11

KING STRET, LITTLETON MA

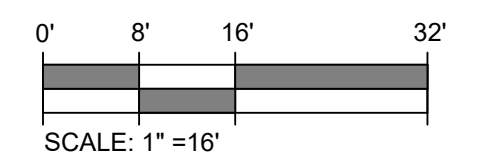
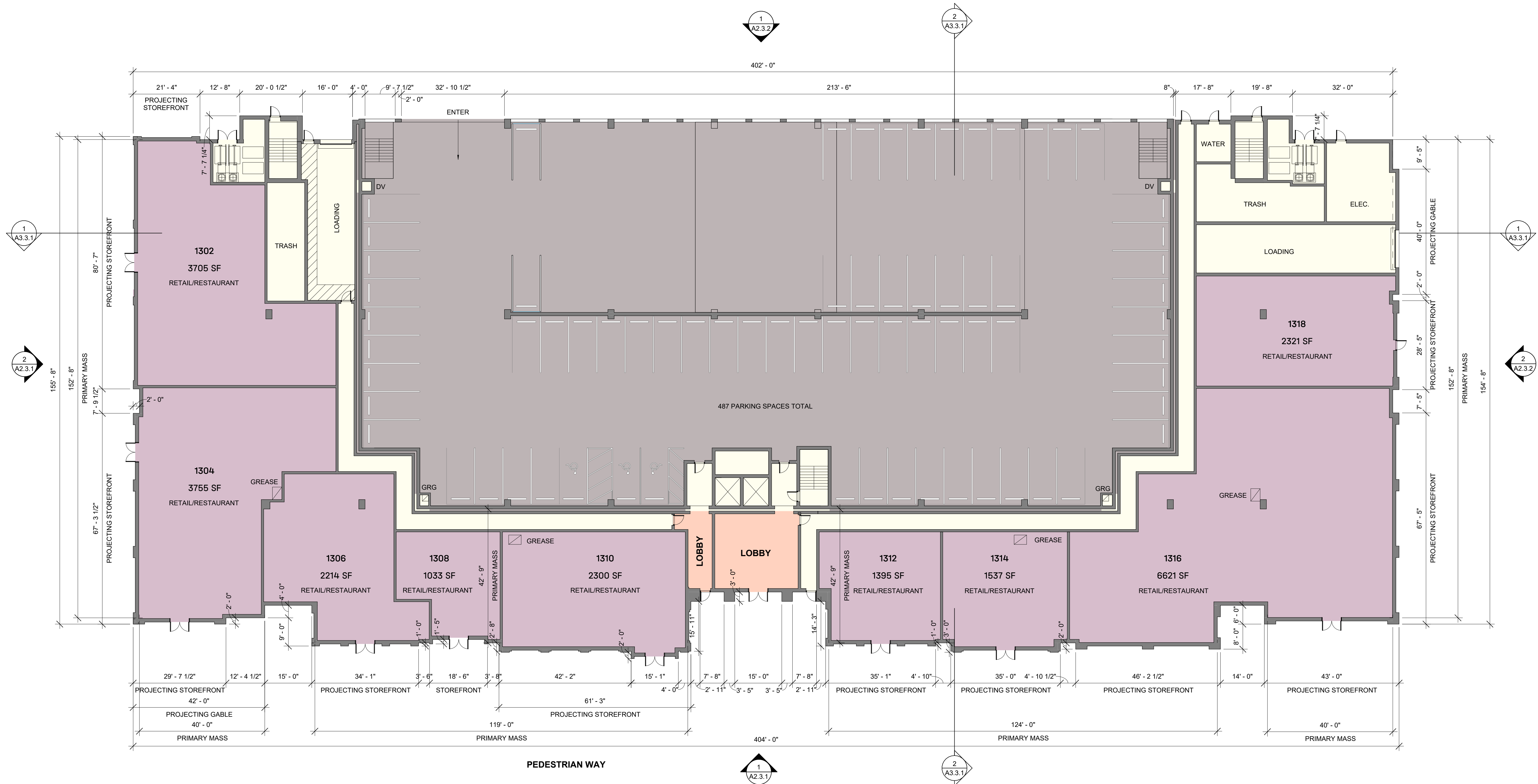
REVISIONS:

ORIGINAL ISSUE:
PERMITTING
11/26/2025
SCALE: 1/16" = 1'-0"

1300 -
GROUND
FLOOR PLAN

A1.3.1

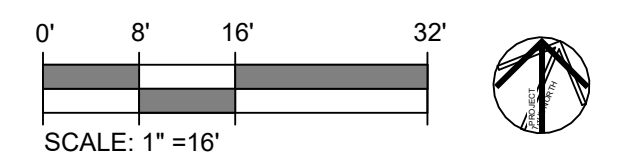
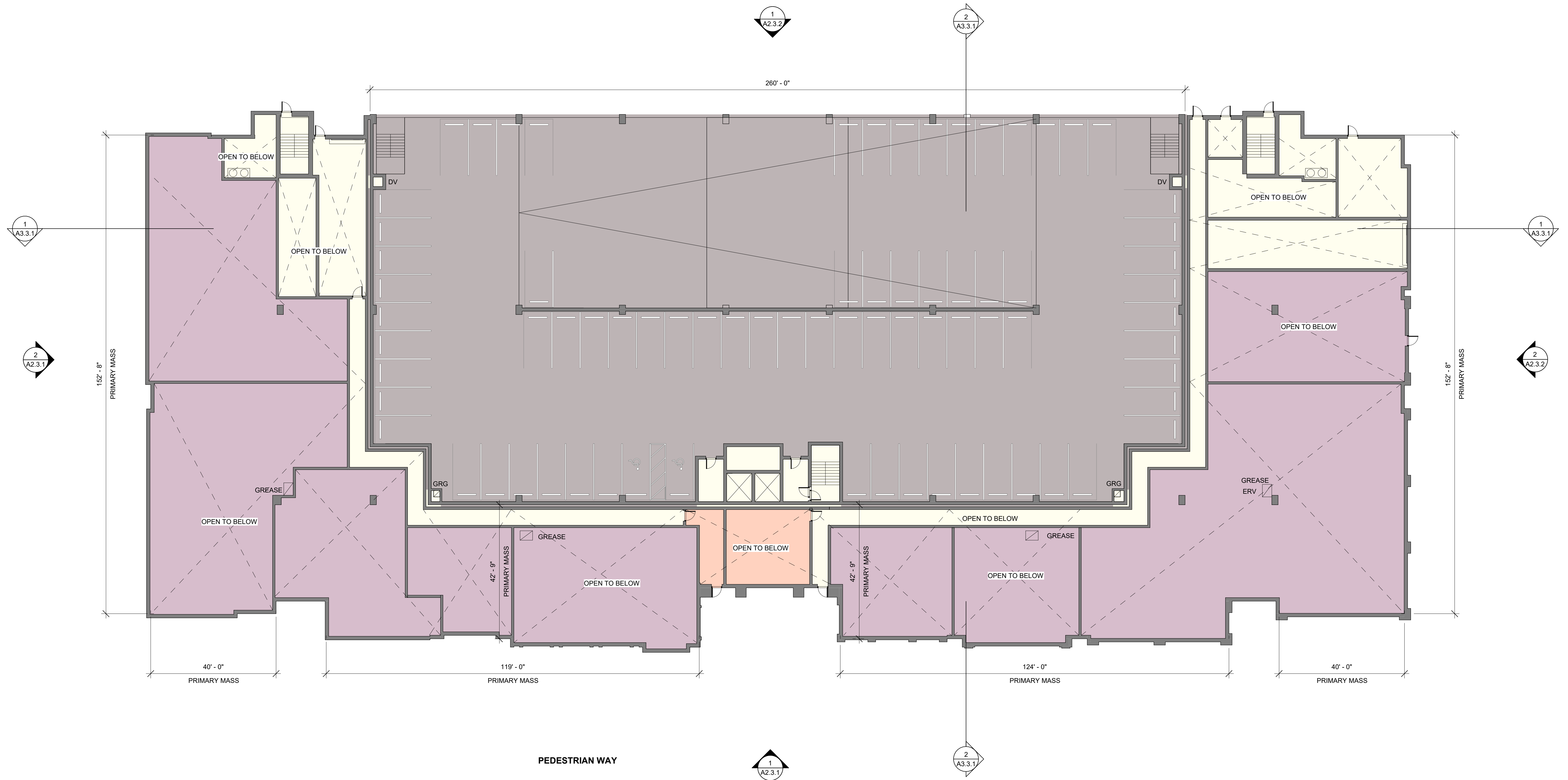
© 2024 PCA



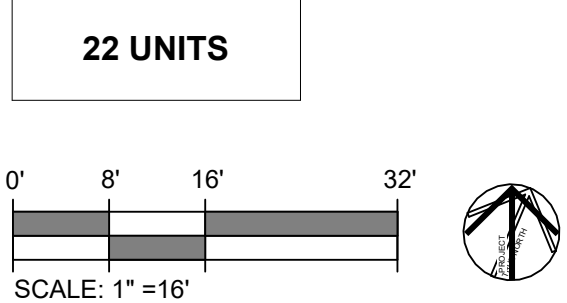
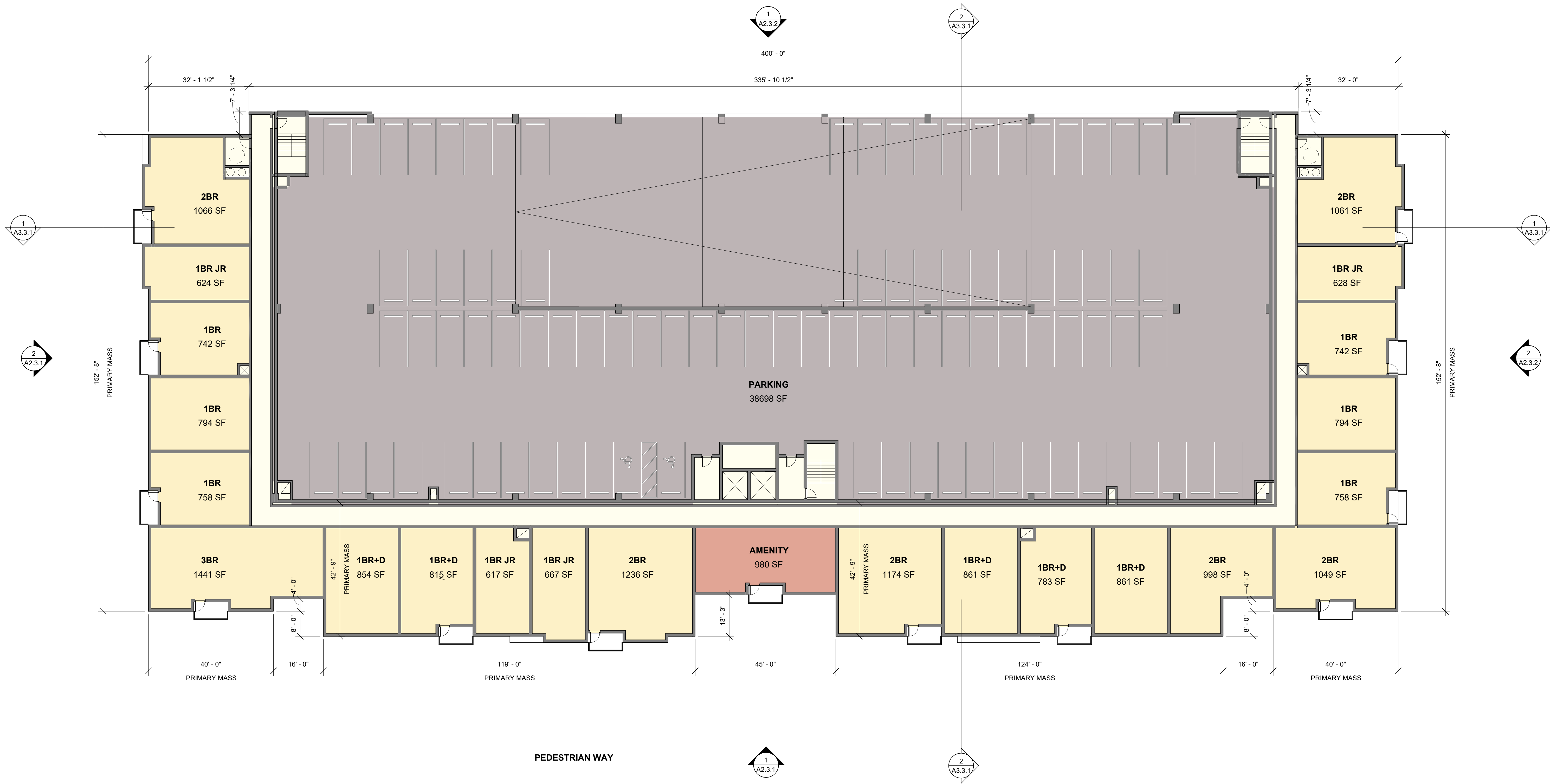
1 GROUND FLOOR CONCEPT

SCALE: 1/16" = 1'-0"

PRINTED: 11/26/2025 9:57:21 AM

[illegible]

REVISIONS:	



KING ST, BLDG 1300

KING STRET, LITTLETON MA

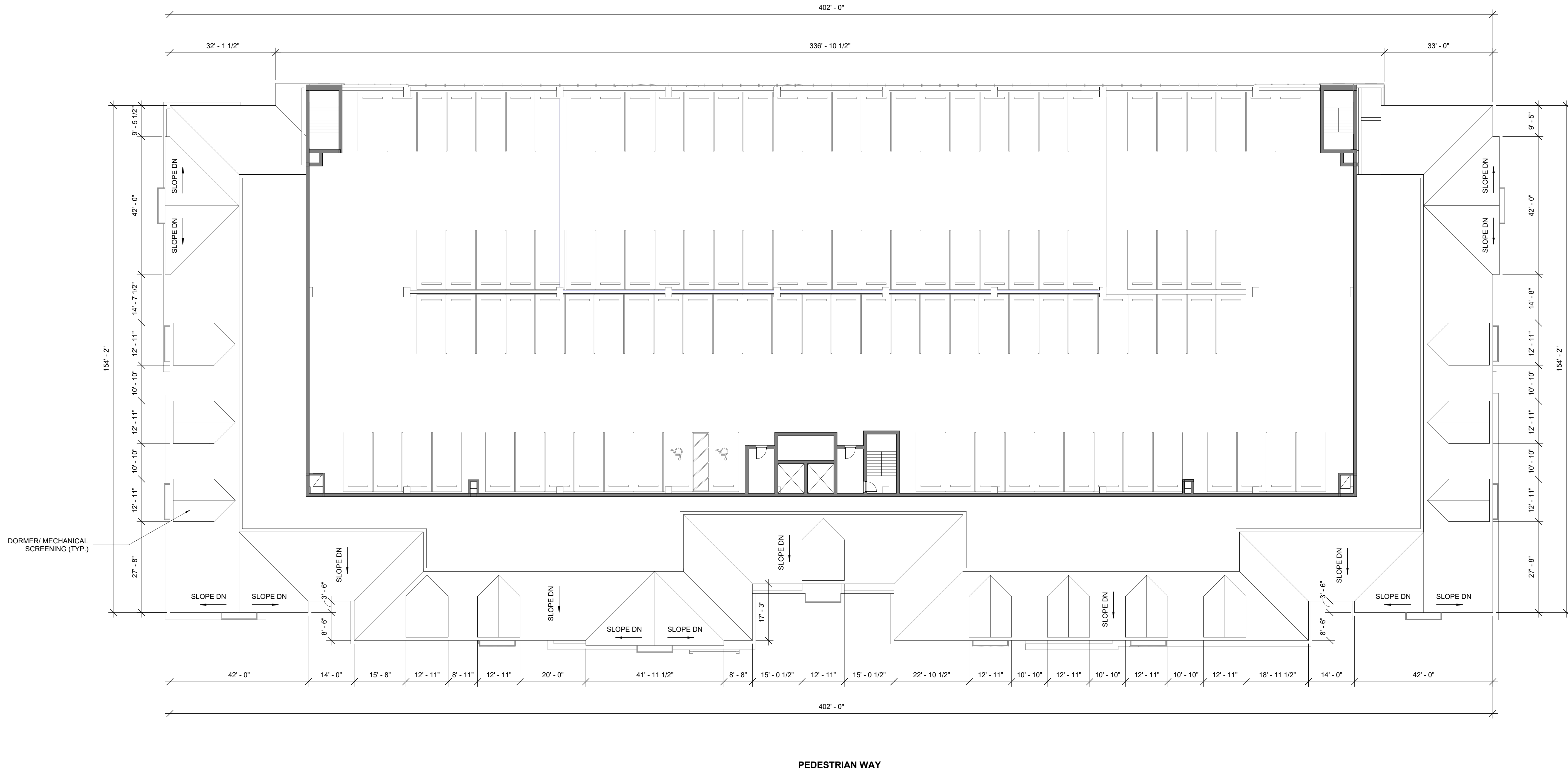
PCA PROJECT #: 24067.11

REVISIONS:

ORIGINAL ISSUE:
PERMITTING
11/26/2025
SCALE: 1/16" = 1'-0"1300 -
GARAGE
ROOF PLAN

A1.3.5

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1 GARAGE ROOF PLAN

SCALE: 1/16" = 1'-0"



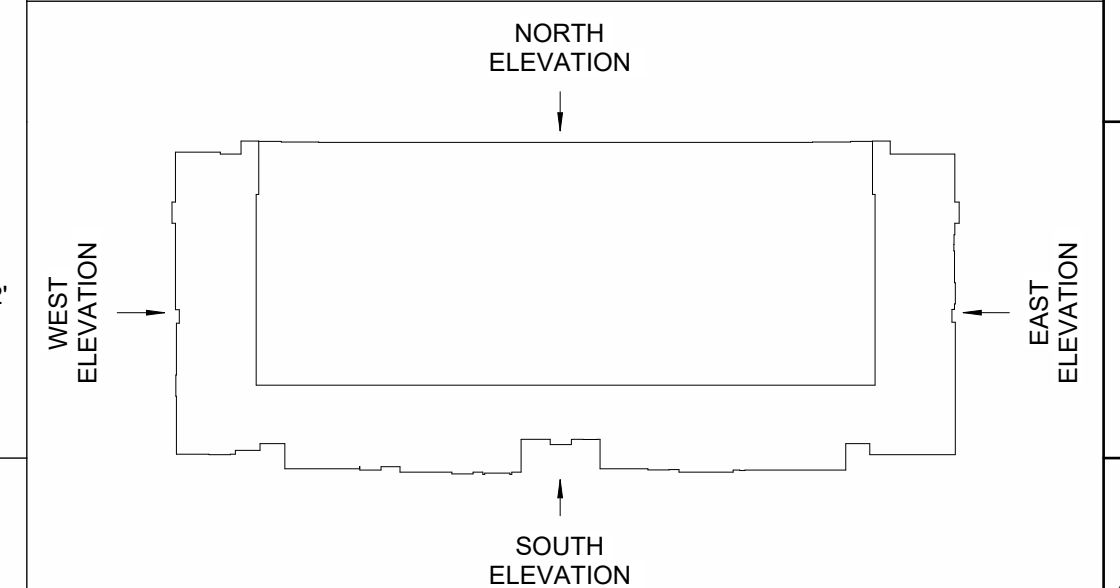
2 1300 - WEST ELEVATION

SCALE: 1/16" = 1'-0"



PEDESTRIAN WAY/ KING STREET FACADE FENESTRATION: 60.3%

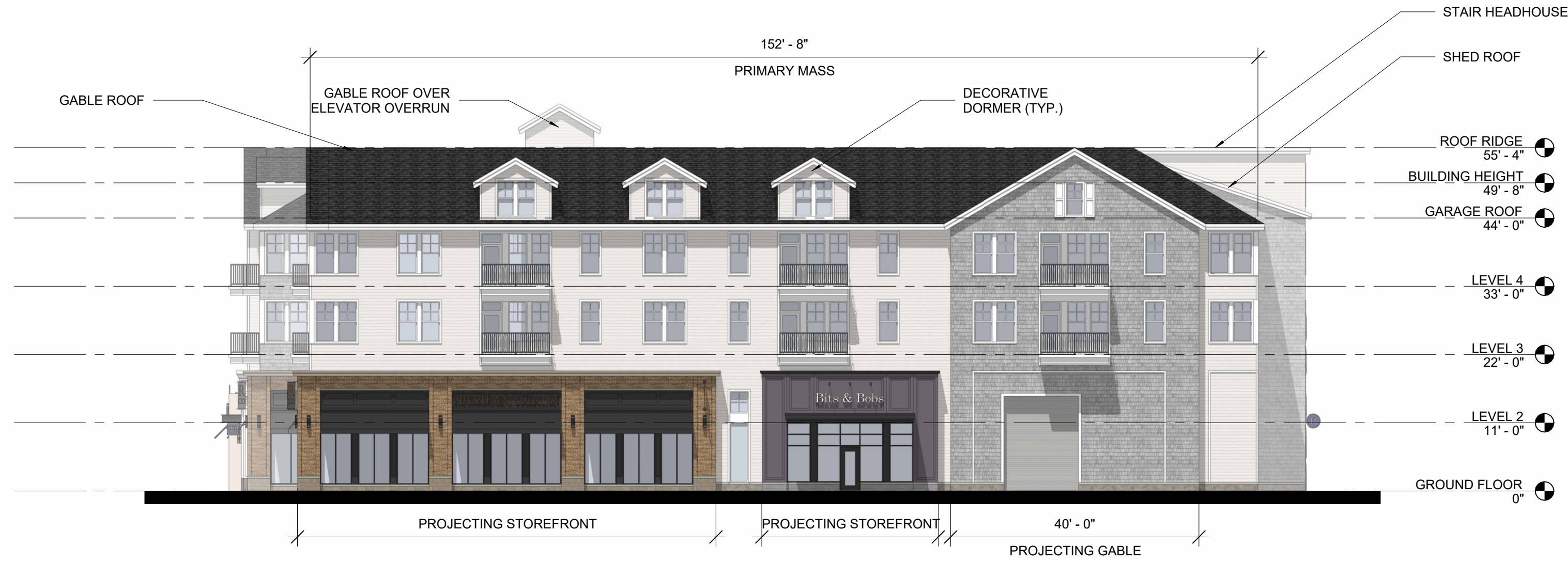
GENERAL NOTES:
REFER TO PLANS FOR BUILDING COMPONENT DIMENSIONS.



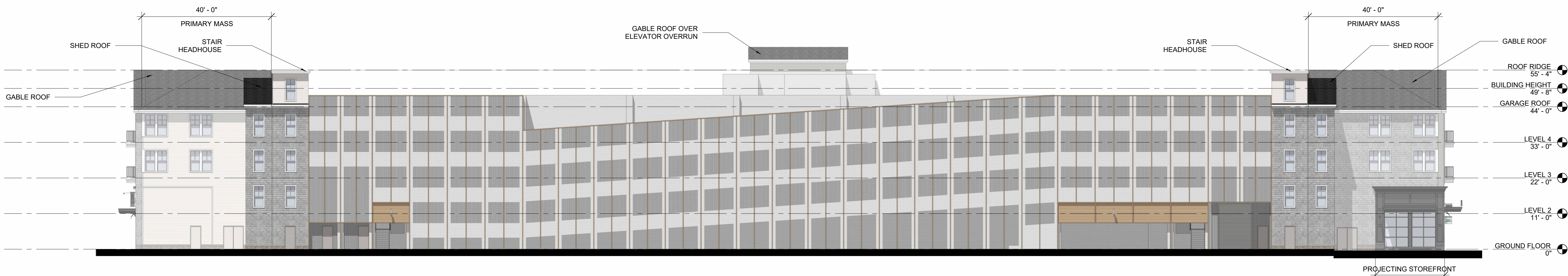
0' 8' 16' 32'
SCALE: 1" = 16'

1 1300 - SOUTH ELEVATION

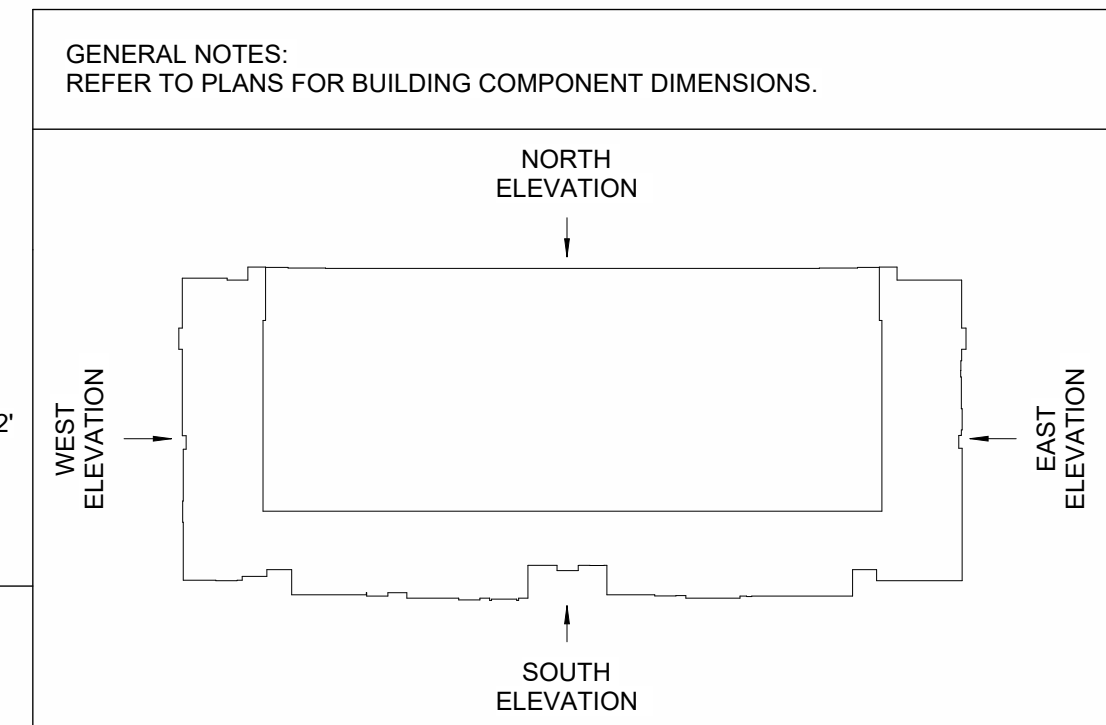
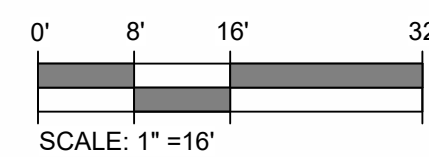
SCALE: 1/16" = 1'-0"

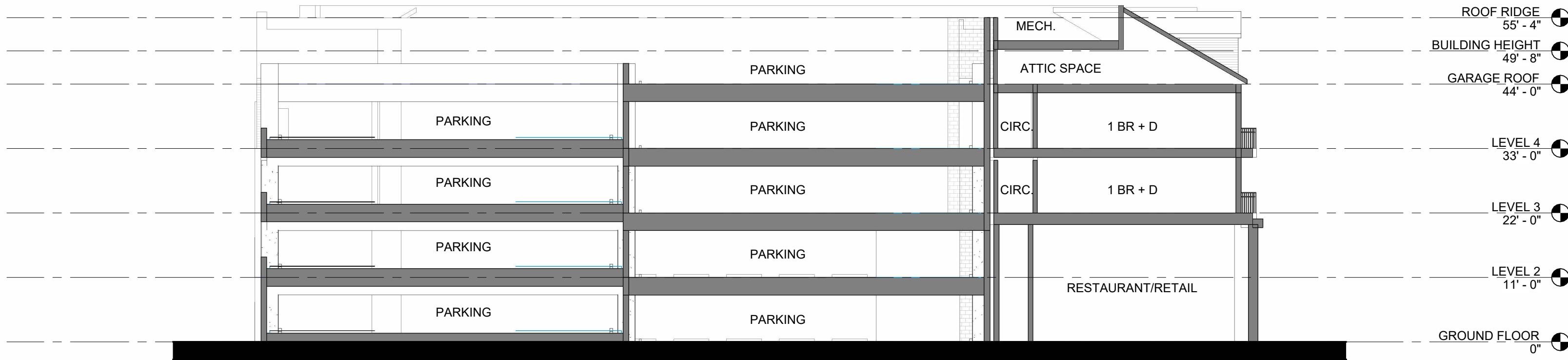


2 1300 - EAST ELEVATION
SCALE: 1/16" = 1'-0"

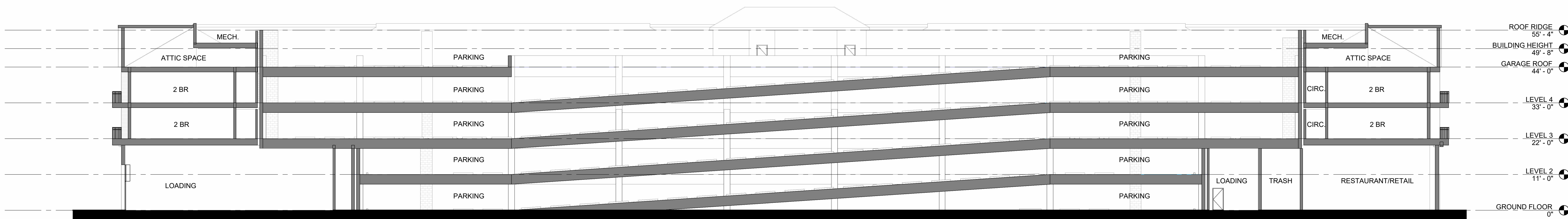


1 1300 - NORTH ELEVATION
SCALE: 1/16" = 1'-0"

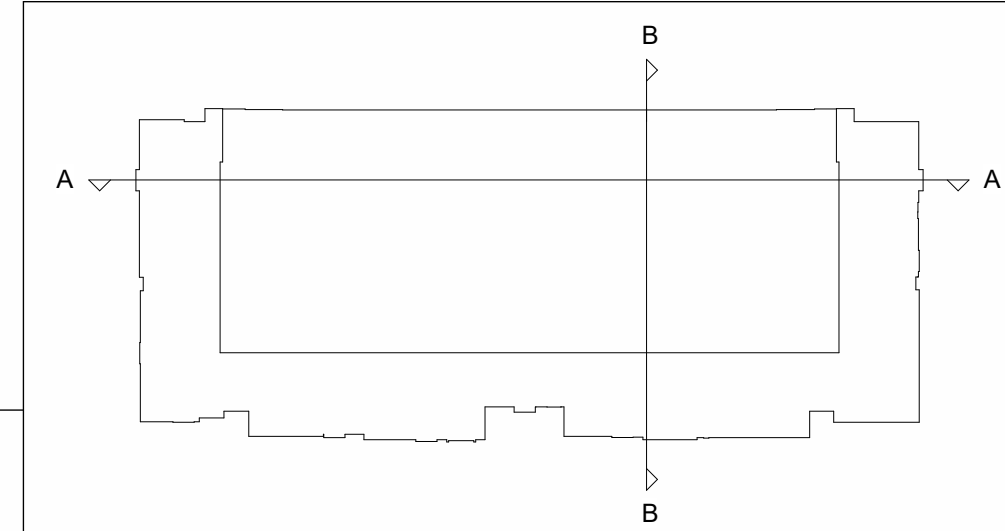
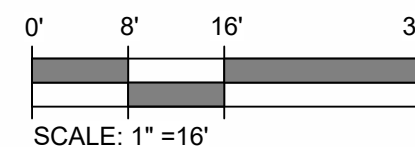




2 1300 - SECTION B
SCALE: 1/16" = 1'-0"

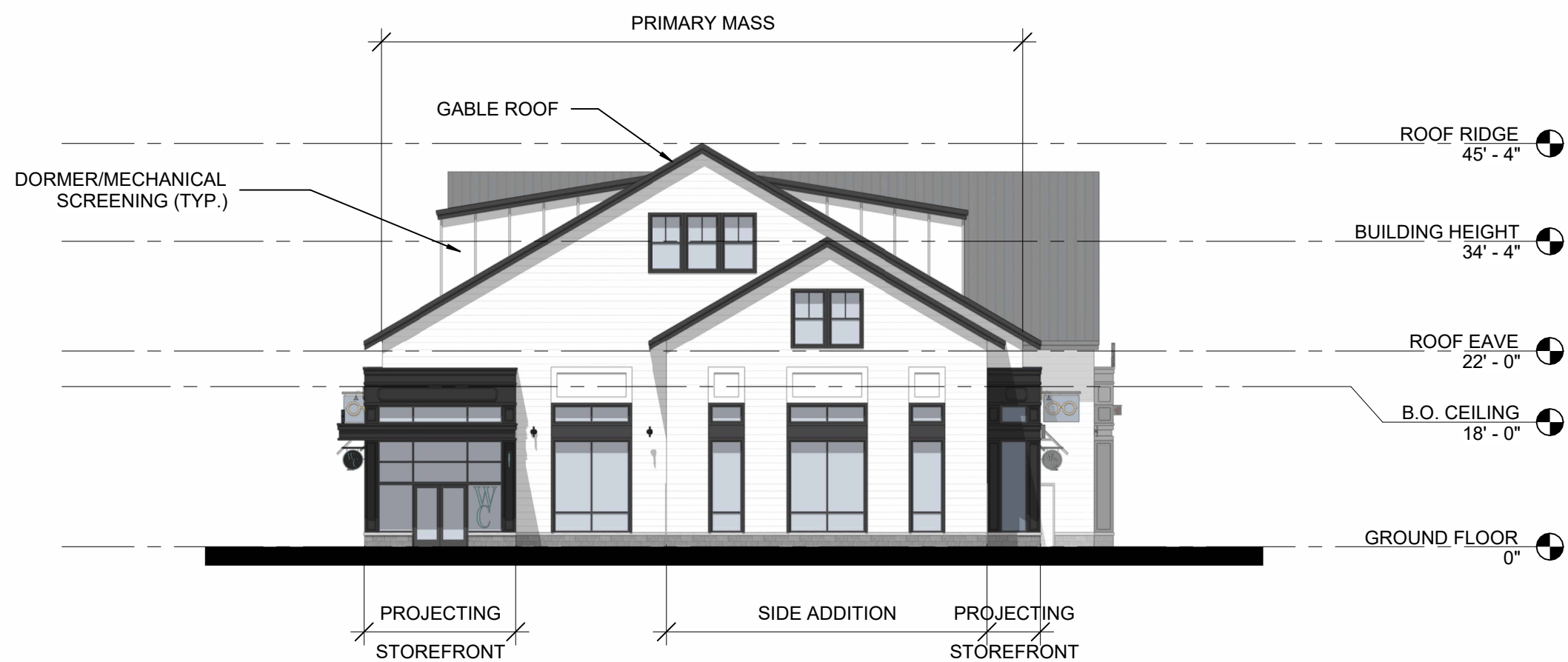


1 1300 - SECTION A
SCALE: 1/16" = 1'-0"



2 1400 - ROOF PLAN CONCEPT

1 1400 - GROUND FLOOR CONCEPT



4 1400 - WEST ELEVATION
SCALE: 1/16" = 1'-0"

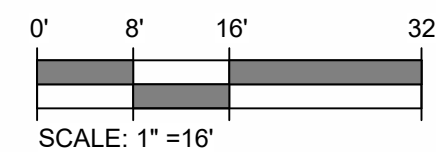
3 1400 - SOUTH ELEVATION
SCALE: 1/16" = 1'-0"



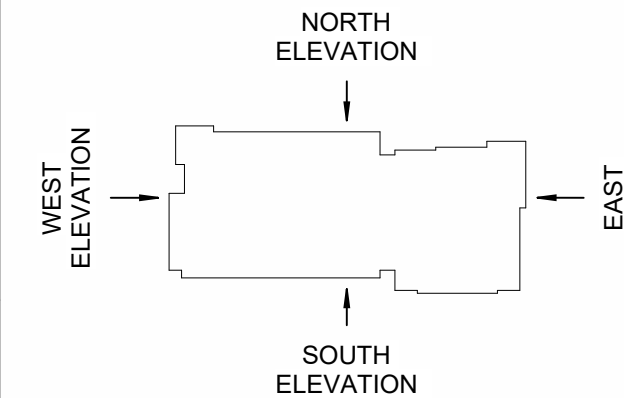
2 1400 - EAST ELEVATION
SCALE: 1/16" = 1'-0"

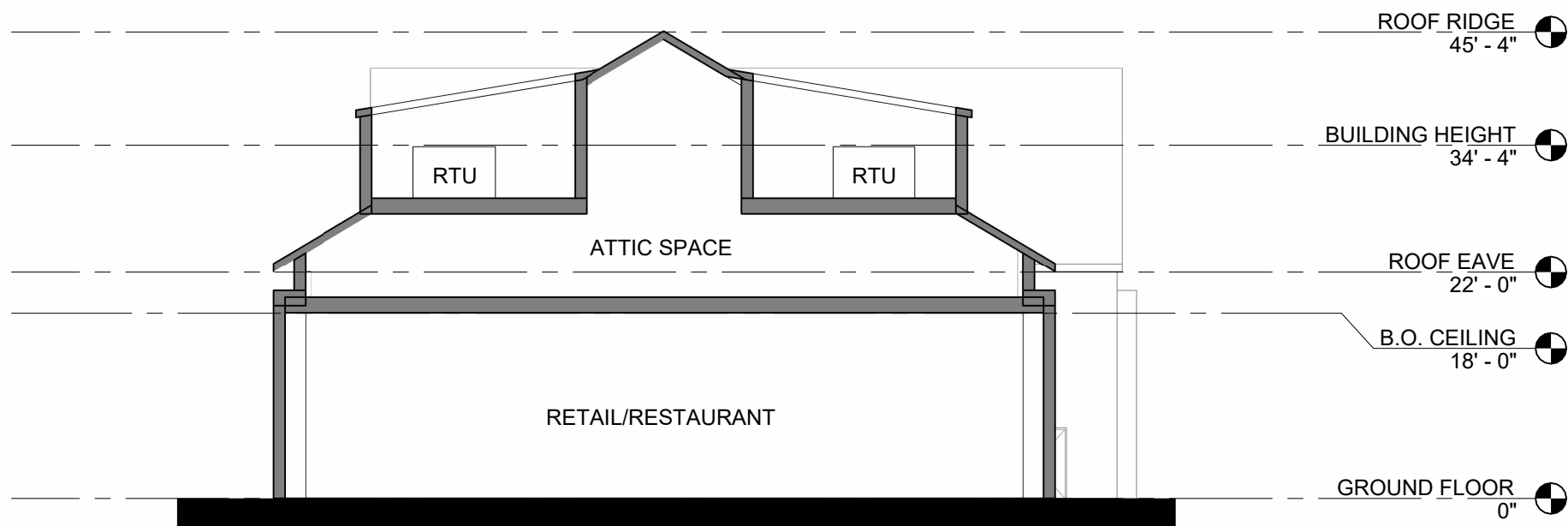


1 1400 - NORTH ELEVATION
SCALE: 1/16" = 1'-0"

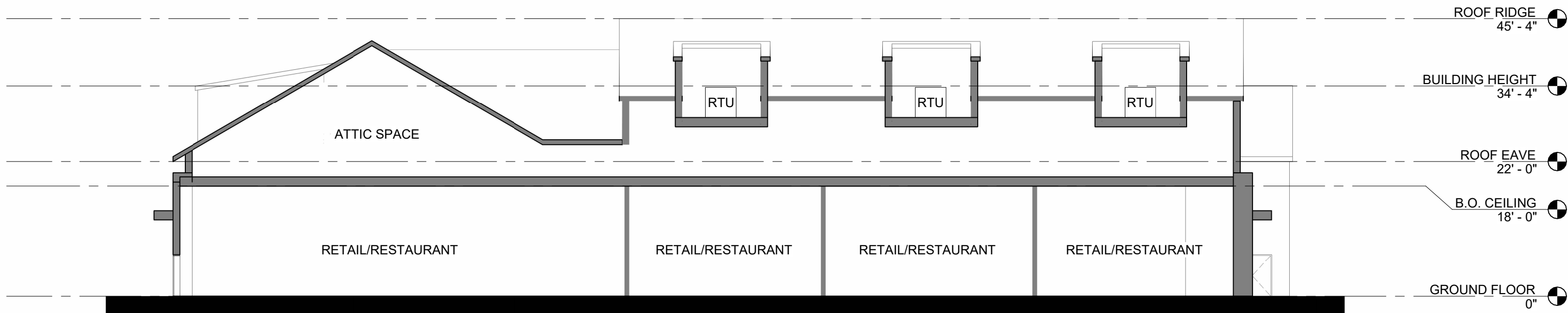


GENERAL NOTES:
REFER TO PLANS FOR BUILDING COMPONENT
DIMENSIONS.

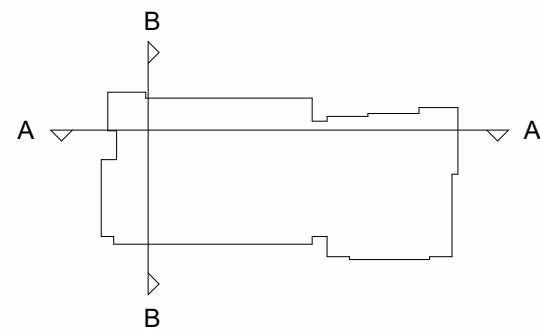
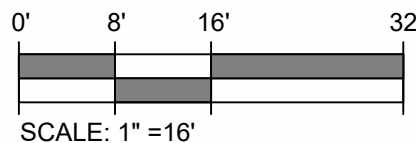


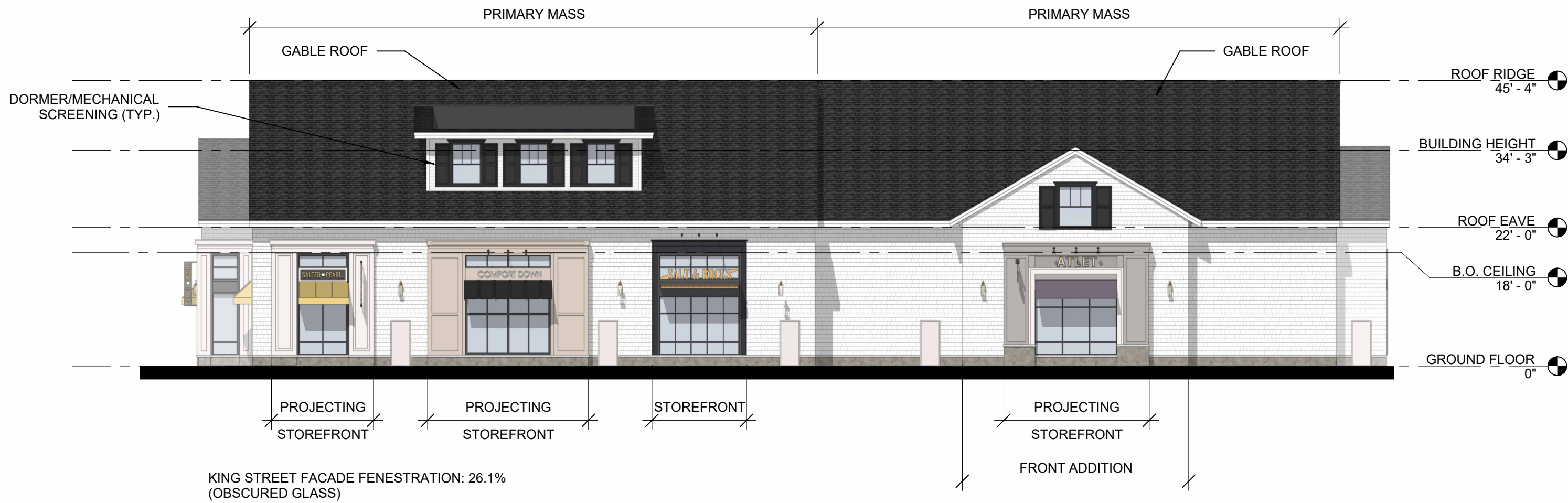


2 1400 - SECTION B
SCALE: 1/16" = 1'-0"



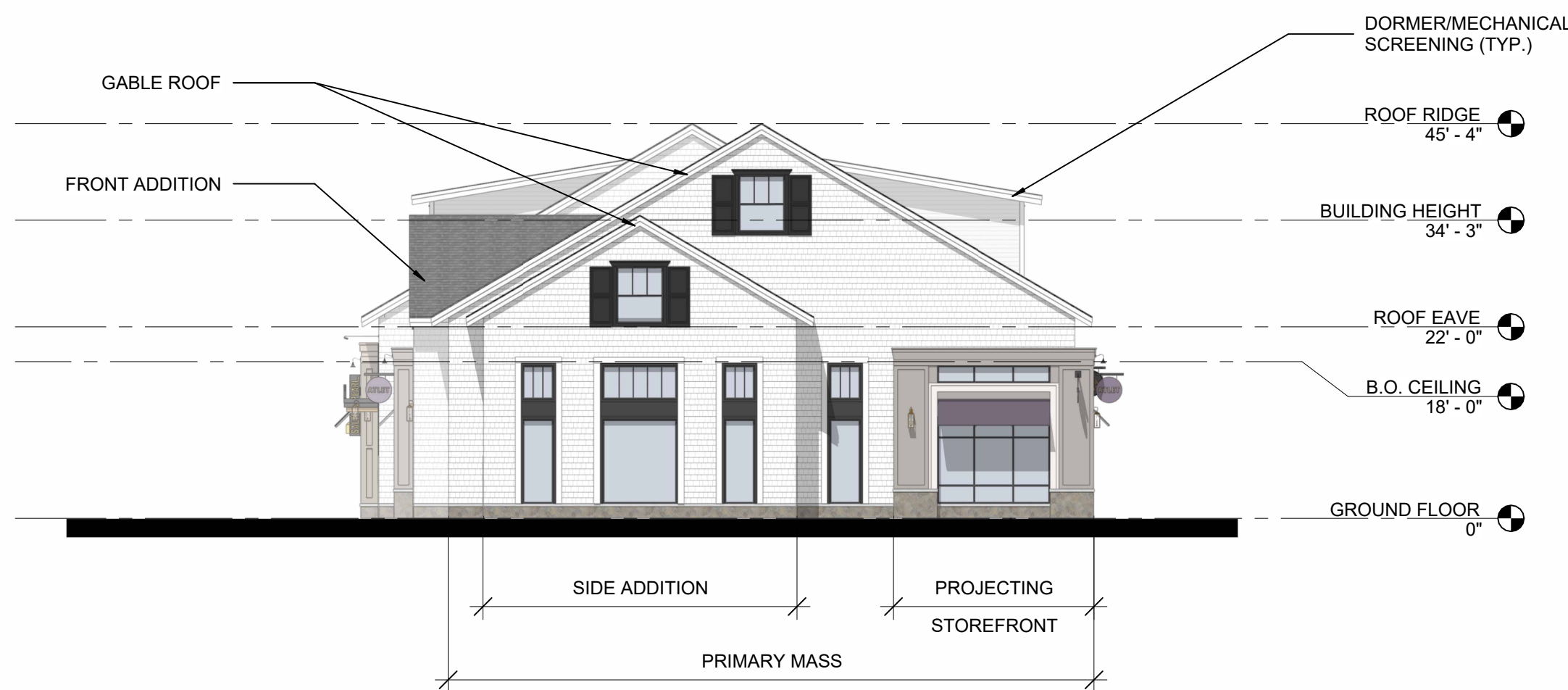
1 1400 - SECTION A
SCALE: 1/16" = 1'-0"



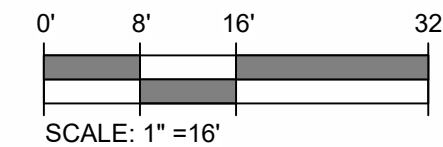
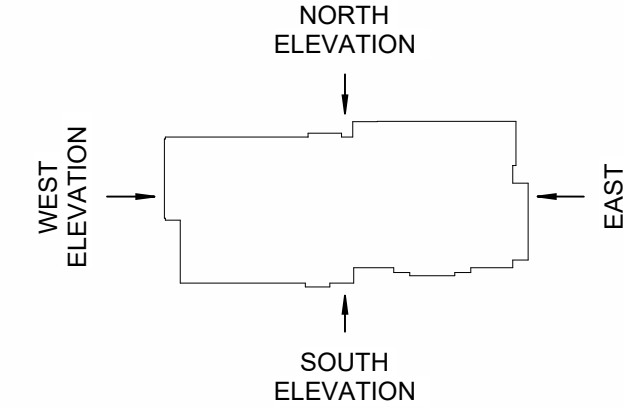


4 1500 - WEST ELEVATION
SCALE: 1/16" = 1'-0"

3 1500 - SOUTH ELEVATION
SCALE: 1/16" = 1'-0"

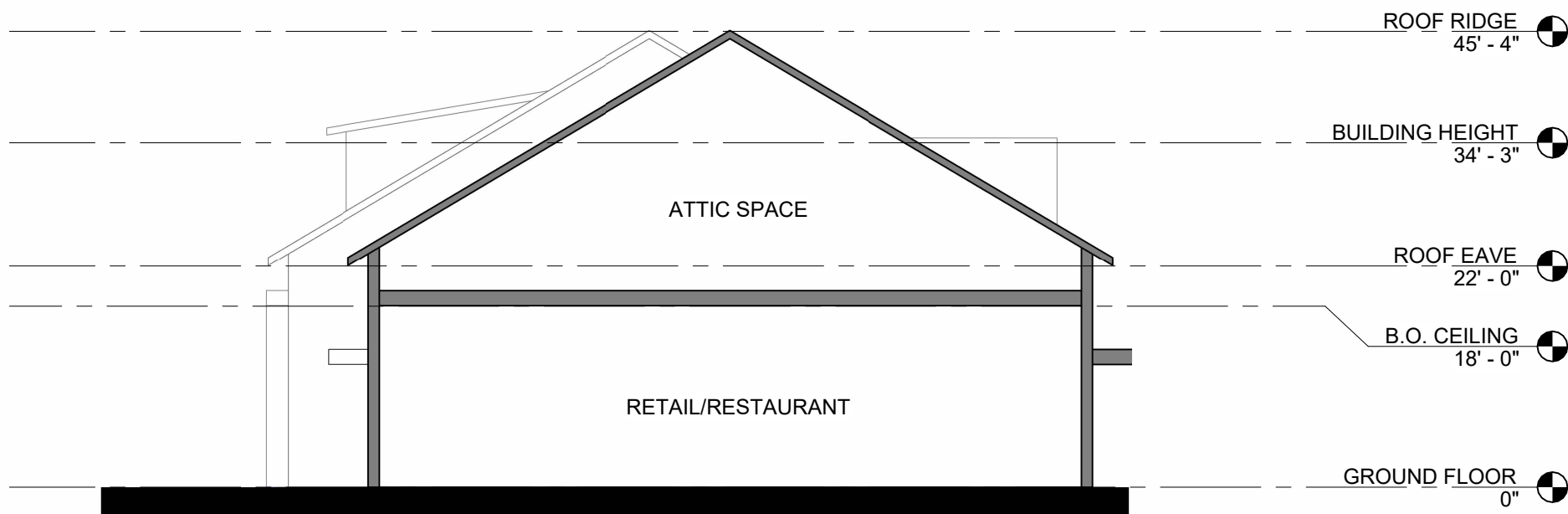


GENERAL NOTES:
REFER TO PLANS FOR BUILDING COMPONENT
DIMENSIONS.



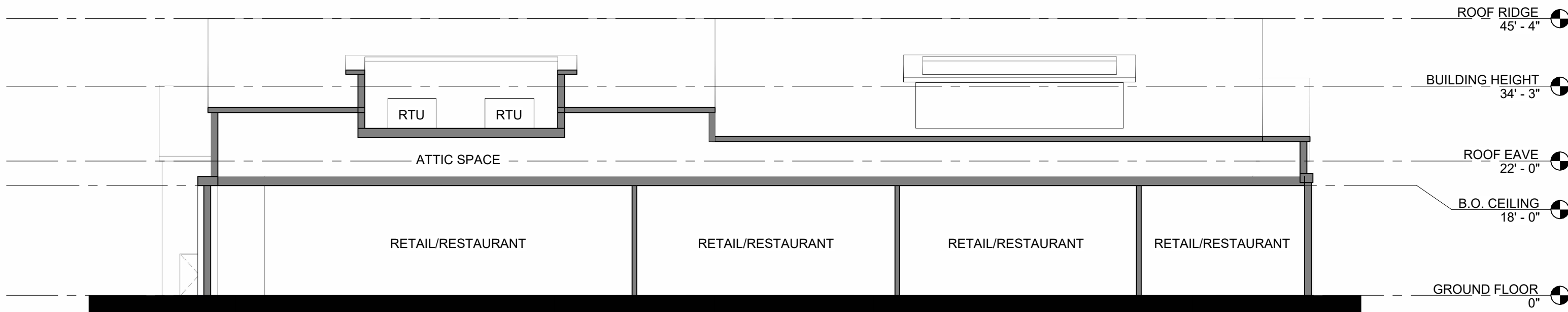
2 1500 - EAST ELEVATION
SCALE: 1/16" = 1'-0"

1 1500 - NORTH ELEVATION
SCALE: 1/16" = 1'-0"



2 1500 - SECTION B

SCALE: 1/16" = 1'-0"



1 1500 - SECTION A

SCALE: 1/16" = 1'-0"

