

Site Plans

King Street Commons - Master Plan

550 King Street

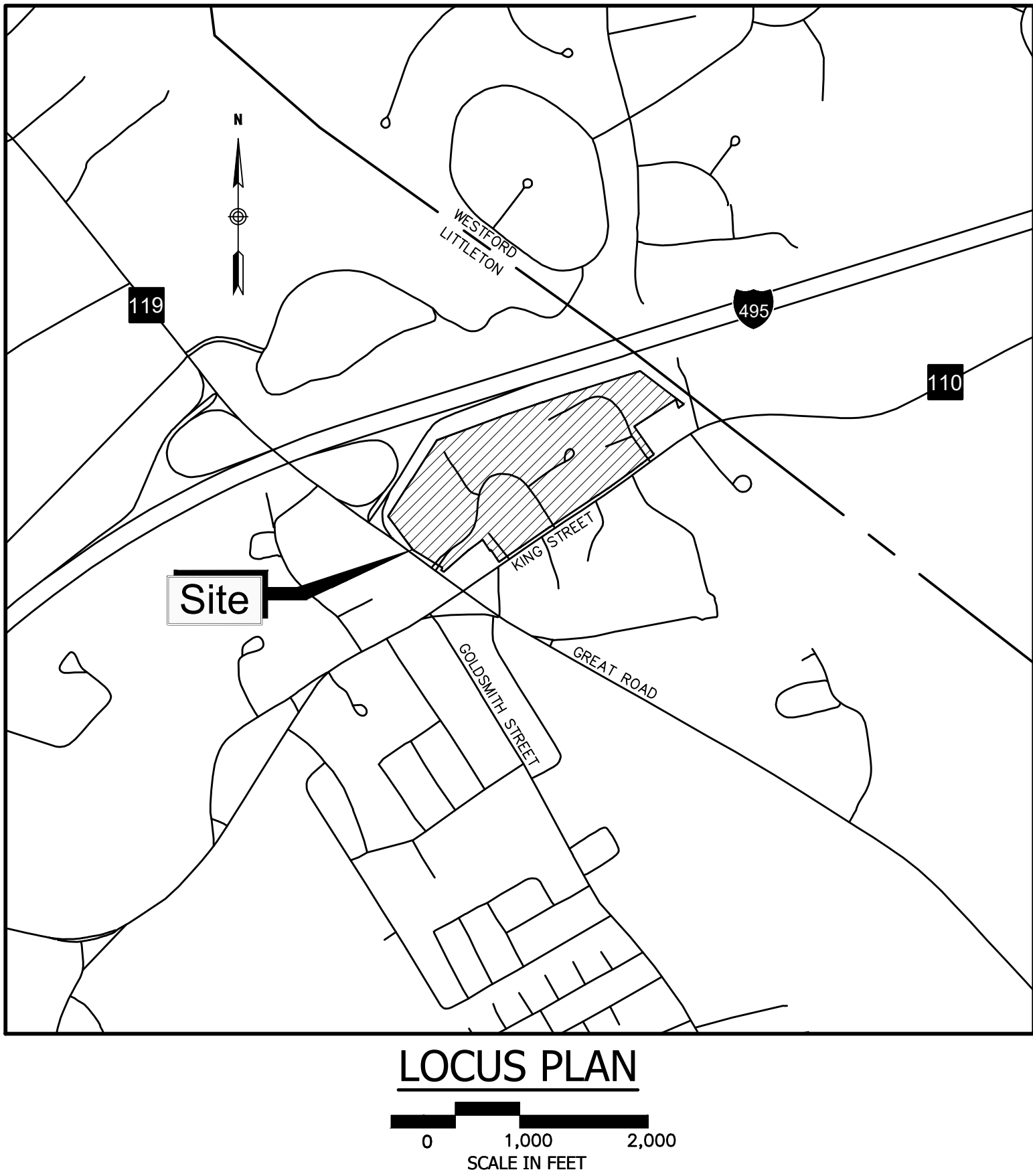
Littleton, Massachusetts

Site Plans Index

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Reference Plans Index

No.	Drawing Title	Latest Issue
1	ALTA/ASCM Land Title Survey; prepared by Coneco	August 21, 2015
2	Site Master Plans; prepared by PCA	March 8, 2022
3	Architectural Renderings; prepared by Tangram	March 22, 2022



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DESIGNED BY	CPR
DRAWN BY	MWP
CHECKED BY	RJF
DATE	3/22/2022
SCALE	AS NOTED

PREPARED FOR

550 King Street, LLC
290 Merrimack Street
Lawrence, MA 01843

REVISIONS

ISSUED FOR

Permitting

PROJECT TITLE

King Street Commons -
Master Plan

PROJECT LOCATION

550 King Street,
Littleton, MA

DRAWING TITLE

Title & Index Sheet

	PROJECT NO.	T1180
	TEC CAD FILE	T1180_COV
	DRAWING NO.	C-1
	SHEET 1 OF 12	

GENERAL NOTES

1. CONTRACTOR SHALL NOTIFY DIG-SAFE (1-888-344-7233) AND THE LOCAL MUNICIPAL WATER & SEWER DEPT. AT LEAST 72 HOURS BEFORE EXCAVATING.
2. CONTRACTOR SHALL BE RESPONSIBLE FOR SITE SECURITY AND JOB SAFETY. CONSTRUCTION ACTIVITIES SHALL BE IN ACCORDANCE WITH OSHA STANDARDS AND LOCAL REQUIREMENTS. A 6-FOOT TEMPORARY CHAINLINK FENCE SHALL BE PROVIDED AROUND ALL CONSTRUCTION ACTIVITIES. CONTRACTOR SHALL LEAVE NO UNSECURED OPEN EXCAVATIONS.
3. ACCESSIBLE ROUTES, PARKING SPACES, RAMPS, SIDEWALKS AND WALKWAYS SHALL BE CONSTRUCTED IN CONFORMANCE WITH THE FEDERAL AMERICANS WITH DISABILITIES ACT/ARCHITECTURAL ACCESS BOARD (AAB), AND WITH STATE AND LOCAL LAWS AND REGULATIONS (WHICHEVER ARE MORE STRINGENT).
4. WITHIN THE LIMITS OF THE BUILDING FOOTPRINT, THE SITE CONTRACTOR SHALL PERFORM EARTHWORK OPERATIONS REQUIRED UP TO SUBGRADE ELEVATIONS.
5. WORK WITHIN THE LOCAL RIGHT-OF-WAY SHALL CONFORM TO LOCAL MUNICIPAL STANDARDS. WORK WITHIN STATE RIGHT-OF-WAY SHALL CONFORM TO THE LATEST EDITION OF THE STATE HIGHWAY DEPARTMENT STANDARD SPECIFICATION FOR HIGHWAYS AND BRIDGES.
6. UPON AWARD OF CONTRACT, CONTRACTOR SHALL MAKE NECESSARY CONSTRUCTION NOTIFICATIONS AND APPLY FOR AND OBTAIN NECESSARY PERMITS, PAY FEES, AND POST BONDS ASSOCIATED WITH THE WORK INDICATED ON THE DRAWINGS, IN THE SPECIFICATIONS, AND IN THE CONTRACT DOCUMENTS. DO NOT CLOSE OR OBSTRUCT ROADWAYS, SIDEWALK, AND FIRE HYDRANTS, WITHOUT APPROPRIATE PERMITS.
7. TRAFFIC SIGNAGE AND PAVEMENT MARKINGS SHALL CONFORM TO THE CURRENT EDITION OF THE MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES.
8. AREAS OUTSIDE THE LIMITS OF PROPOSED WORK DISTURBED BY THE CONTRACTOR SHALL BE RESTORED TO THEIR ORIGINAL CONDITION AT NO ADDITIONAL COST TO THE OWNER.
9. IN THE EVENT THAT SUSPECTED CONTAMINATED SOIL, GROUNDWATER, AND OTHER MEDIA ARE ENCOUNTERED DURING EXCAVATION AND CONSTRUCTION ACTIVITIES BASED ON VISUAL, OLFACTORY, OR OTHER EVIDENCE, THE CONTRACTOR SHALL STOP WORK IN THE VICINITY OF THE SUSPECT MATERIAL TO AVOID FURTHER SPREADING OF THE MATERIAL, AND SHALL NOTIFY THE OWNER IMMEDIATELY SO THAT THE APPROPRIATE TESTING AND SUBSEQUENT ACTION CAN BE TAKEN.
10. CONTRACTOR SHALL PREVENT DUST, SEDIMENT, AND DEBRIS FROM EXITING THE SITE AND SHALL BE RESPONSIBLE FOR CLEANUP, REPAIRS AND CORRECTIVE ACTION IF SUCH OCCURS.
11. CONTRACTOR SHALL CONTROL STORMWATER RUNOFF DURING CONSTRUCTION TO PREVENT ADVERSE IMPACTS TO OFF SITE AREAS, AND SHALL BE RESPONSIBLE TO REPAIR RESULTING DAMAGES, IF ANY, AT NO COST TO OWNER.

GRADING, DRAINAGE AND UTILITY NOTES

1. THE LOCATIONS, SIZES, AND TYPES OF EXISTING UNDERGROUND UTILITIES ARE SHOWN AS AN APPROXIMATE REPRESENTATION ONLY. THE OWNER OR ITS REPRESENTATIVE(S) HAVE NOT INDEPENDENTLY VERIFIED THIS INFORMATION AS SHOWN ON THE PLANS. THE UTILITY INFORMATION SHOWN DOES NOT GUARANTEE THE ACTUAL EXISTENCE, SERVICEABILITY, OR OTHER DATA CONCERNING THE UTILITIES, NOR DOES IT GUARANTEE AGAINST THE POSSIBILITY THAT ADDITIONAL UTILITIES MAY BE PRESENT THAT ARE NOT SHOWN ON THE PLANS. PRIOR TO ORDERING MATERIALS AND BEGINNING CONSTRUCTION THE CONTRACTOR SHALL VERIFY AND DETERMINE THE EXACT LOCATION, SIZES, AND ELEVATION OF EXISTING UTILITIES.
2. WHERE AN EXISTING UTILITY IS FOUND TO CONFLICT WITH THE PROPOSED WORK, OR EXISTING CONDITIONS DIFFER FROM THOSE SHOWN SUCH THAT THE WORK CANNOT BE COMPLETED AS INTENDED, THE LOCATION, ELEVATION, AND SIZE OF THE UTILITY SHALL BE ACCURATELY DETERMINED WITHOUT DELAY BY THE CONTRACTOR, AND THE INFORMATION FURNISHED IN WRITING TO THE OWNER'S REPRESENTATIVE FOR THE RESOLUTION OF THE CONFLICT. FAILURE TO PROVIDE OR PERFORM THE ABOVE PRIOR TO PERFORMING ANY WORK SHALL NOT BE GROUNDS FOR EXTRA PAYMENTS TO THE CONTRACTOR.
3. AT ALL LOCATIONS WHERE EXISTING CURBING OR PAVEMENT ABUTS NEW CONSTRUCTION, THE EDGE OF THE EXISTING CURB OR PAVEMENT SHALL BE SAW CUT TO A CLEAN, SMOOTH EDGE. BLEND NEW PAVEMENT, CURBS, AND EARTHWORK SMOOTHLY INTO EXISTING BY MATCHING LINES, GRADES, AND JOINTS.
4. THE CONTRACTOR SHALL MAKE ALL ARRANGEMENTS FOR THE ALTERATION AND ADJUSTMENT OF GAS, ELECTRIC, TELEPHONE AND ANY OTHER PRIVATE UTILITIES BY THE UTILITY COMPANIES, AS REQUIRED.
5. ALL UTILITY COVERS, GRATES, ETC. SHALL BE ADJUSTED TO BE FLUSH WITH THE PAVEMENT FINISH GRADE UNLESS OTHERWISE NOTED.
6. INSTALL ALL UTILITIES (INCLUDING CONCRETE PADS) PER UTILITY COMPANY AND TOWN OF LITTLETON UTILITY DIVISION.
7. EXISTING TREES AND SHRUBS OUTSIDE THE LIMITS OF GRADING SHALL BE REMOVED ONLY UPON PRIOR APPROVAL OF THE OWNER.
8. ALL SANITARY SEWER PIPE SHALL BE SDR-35 PVC UNLESS OTHERWISE NOTED.
9. WATER LINE SHALL BE CLASS 52 CEMENT LINED DUCTILE IRON.
10. INSULATE SANITARY PIPES WHERE INVERT DEPTH IS LESS THAN FIVE (5) FEET BELOW FINISHED GRADE.
11. CONTRACTOR SHALL PROTECT ALL UNDERGROUND DRAINAGE, SEWER AND UTILITY FACILITIES FROM EXCESSIVE VEHICULAR LOADS DURING CONSTRUCTION. ANY DAMAGE TO THESE FACILITIES RESULTING FROM CONSTRUCTION LOADS WILL BE RESTORED TO ORIGINAL CONDITION (AT NO ADDITIONAL COST TO THE OWNER) BY THE CONTRACTOR.
12. ALL WATER AND SEWER UTILITY WORK SHALL CONFORM TO LOCAL UTILITY DIVISION SPECIFICATIONS, DETAILS, RULES AND REGULATIONS AND HAVE FIVE (5) FEET OF MINIMUM COVER. SEWER LINES ARE TO HAVE A MINIMUM COVER OF (6) FEET IN PAVED AREAS AND (4) FEET IN UNPAVED AREAS. GAS, ELECTRIC, AND TELEPHONE LOCATIONS AND ROUTING ARE SUBJECT TO REVIEW AND APPROVAL BY THE APPROPRIATE UTILITY COMPANIES.
13. FIRE ALARM CONNECTION LOCATIONS AND ROUTING ARE SUBJECT TO REVIEW AND APPROVAL BY THE FIRE DEPARTMENT.
14. THE CONTRACTOR SHALL REMOVE ALL EROSION CONTROL BARRIERS AFTER REVEGETATION OF DISTURBED AREAS AND AFTER APPROVAL BY THE LOCAL APPROVING AUTHORITY.
15. EXCAVATION REQUIRED IN THE PROXIMITY OF EXISTING UTILITY LINES SHALL BE DONE BY HAND. CONTRACTOR SHALL REPAIR ANY DAMAGE TO EXISTING UTILITY LINES OR STRUCTURES INCURRED DURING CONSTRUCTION OPERATIONS AT NO COST TO THE OWNER.
16. STOCKPILED TOPSOIL SHALL BE PLACED NEATLY IN AN AREA APPROVED BY THE OWNER/REPRESENTATIVE.
17. THE CONTRACTOR SHALL SCHEDULE THEIR WORK TO ALLOW THE FINISHED SUBGRADE ELEVATIONS TO DRAIN PROPERLY WITHOUT PUDDLING. SPECIFICALLY, ALLOW WATER TO ESCAPE WHERE PROPOSED CURB MAY RETAIN RUNOFF PRIOR TO APPLICATION OF THE FINISH SUBGRADE AND/OR SURFACE PAVING.
18. UNLESS OTHERWISE INDICATED, ABANDONED EXISTING UTILITY LINES SHALL BE CAPPED AND ABANDONED IN PLACE UNLESS THEY CONFLICT WITH PROPOSED IMPROVEMENTS, WHERE THEY SHALL THEN BE REMOVED. CAP REMAINING PORTIONS WHERE PARTIALLY REMOVED.
19. ALL WATER SPECS/MATERIALS SHALL BE DESIGNED TO MEET TOWN OF LITTLETON REQUIREMENTS AND WILL BE COORDINATED WITH THE ENGINEERING DEPARTMENT AND DPW.
20. MINIMUM MANHOLE DIAMETER IS 4'. CONTRACTOR SHALL VERIFY, THROUGH SHOP DRAWING SUBMITTALS TO THE ENGINEER, ACTUAL SIZES NEEDED TO ACCOMMODATE SPECIFIED PIPES.
21. LIGHTING CONDUIT IS SHOWN SCHEMATICALLY AND FINAL DESIGN SHALL BE DESIGNED BY LIGHTING CONTRACTOR.
22. IRRIGATION CONDUIT IS SHOWN SCHEMATICALLY AND FINAL DESIGN SHALL BE DESIGNED BY THE LANDSCAPE CONTRACTOR.

GENERAL SYMBOLS

EXISTING	PROPOSED	
		CATCH BASIN
		DRAIN MANHOLE
		SEWER MANHOLE
		ELECTRIC MANHOLE
		TELEPHONE MANHOLE
		MANHOLE
		HANDHOLE
		BOLLARD
		WATER GATE
		FIRE HYDRANT
		GAS GATE
		STREET SIGN
		LIGHT POLE
		WALL MOUNTED LIGHT
		UTILITY POLE
		GUY POLE
		GUY WIRE
		MONITORING WELL
		TEST PIT (W/ I.D.)
		EDGE OF PAVEMENT
		MONOLITHIC CONCRETE CURB
		EXTRUDED CONCRETE CURB
		GUARD RAIL
		CHAINLINK FENCE
		DRAINAGE LINE
		SEWER LINE
		WATER LINE
		GAS LINE
		UNDERGROUND ELECTRIC/TELEPHONE LINE
		OVERHEAD WIRE
		STONE WALL
		TREE LINE
		ENTRANCE/EXIT DOOR
		CITY LAYOUT
		PROPERTY LINE

PAVEMENT MARKINGS AND SIGNING SYMBOLS

EXISTING	PROPOSED	
		CROSSWALK, 12" WHITE LINE (WIDTH NOTED)
		STOP LINE, 12" WHITE LINE 4' BEHIND CW (TYP.)
		SOLID WHITE LINE-4"
		SOLID YELLOW LINE-4"
		DOUBLE YELLOW CENTER LINE- 2-4" LINES
		ADA-ACCESSIBLE PARKING SPACE

ABBREVIATIONS

GENERAL	UTILITIES
ABAN ABANDON	ACOMP ASPHALT COATED CORRUGATED
AC ACRES	BC METAL PIPE
ACR ACCESSIBLE CURB RAMP	CB BOTTOM OF CHANNEL
AD AREA DRAIN	CAP CATCH BASIN
ADJ ADJUST	CIP CORRUGATED ALUMINUM PIPE
APPROX APPROXIMATE	CIT CAST IRON PIPE
BLDG BUILDING	CLDI CHANGE IN TYPE
BO BY OTHERS	COND CEMENT LINED DUCTILE IRON
BOS BOTTOM OF SLOPE	CO CONDUIT
BOT BOTTOM OF TRENCH	CO CLEAN OUT
CC CONCRETE CURB	DCB DOUBLE CATCH BASIN
CCB CAPE COD BERM	DIP DUCTILE IRON PIPE
CEM CEMENT	DMH DRAINAGE MANHOLE
CLF CHAIN LINK FENCE	ETC ELECTRIC, TELEPHONE, & CABLE
CO CLEAN OUT	F&G FRAME AND GRATE
COMM COMMUNITY	F&C FRAME AND COVER
CONC CONCRETE	FES FLARED END SECTION
DIA DIAMETER	GV GAS VALVE
ELEV ELEVATION	GI GUTTER INLET
EXIST EXISTING	HDPE HIGH DENSITY POLYETHYLENE PIPE
FND FOUNDATION	HYD HYDRANT
GE GRANITE EDGING	INV INVERT ELEVATION
GFA GROSS FLOOR AREA	PERF PERFORATED
HMA HOT MIX ASPHALT	PVC POLYVINYL CHLORIDE PIPE
LA LANDSCAPE AREA	PWW PAVED WATER WAY
LF LINEAR FEET	RCP REINFORCED CONCRETE PIPE
MAX MAXIMUM	SMH (CLASS III) SEWER MANHOLE
MCC MONOLITHIC CONCRETE CURB	TEL TELEPHONE
MIN MINIMUM	TSV TAPPING SLEEVE AND VALVE
NTS NOT TO SCALE	UP UTILITY POLE
PCC PRECAST CONCRETE CURB	VCP VITRIFIED CLAY PIPE
PROP PROPOSED	WV WATER VALVE
PVMT PAVEMENT	
R RADIUS	
REM REMOVE	
REMOD REMODEL	
RET RETAIN	
R&R REMOVE AND RESET	
R&S REMOVE AND STACK	
SW SIDEWALK	
TOS TOP OF SLOPE	
TOT TOP OF TRENCH	
TYP TYPICAL	
UON UNLESS OTHERWISE NOTED	
VCG VERTICAL GRANITE CURB	

USGS BENCHMARKING INFORMATION

DESIGNATION:	F 2 1934
TOWN/SEQUENCE:	399-0160
HORIZ ORDER:	99
DATUM/YEAR:	83
NGVD29 ELEVATION:	123.36
NORTHING (US FT):	100131
EASTING (US FT):	1103049
MONUMENTATION:	BOX CULVERT
DESCRIPTION:	STANDARD USGS AND STATE SURVEY DISK
	STAMPED F 2 1934, SET ON TOP OF
	SOUTHWEST CORNER OF ABUTMENT (2.7 MILES
	NORTH OF MA/NH STATE LINE ON ROUTE 28)



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CHECKED BY	RJF
DATE	3/22/2022
SCALE	N.T.S.

PREPARED FOR

550 King Street, LLC
290 Merrimack Street
Lawrence, MA 01843

REVISIONS

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Permitting

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Littleton, MA

DRAWING TITLE

Legend &
General Notes



PROJECT NO.
T1180

TEC CAD FILE
T1180_LEG

DRAWING NO.

C-2

SHEET 2 OF 12



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Demolition & Erosion
Control Plan



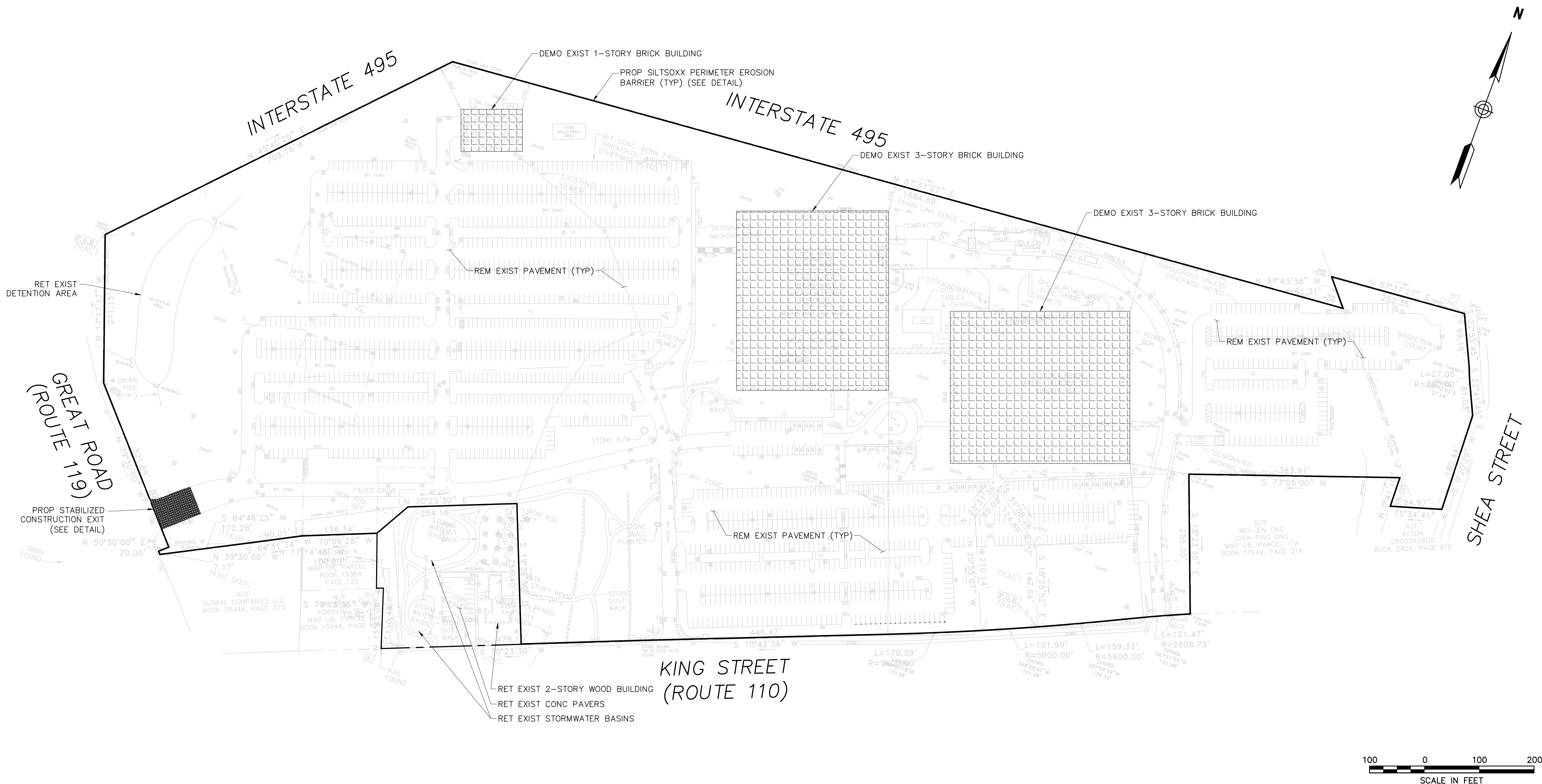
PROJECT NO.
T1180

TEC CAD FILE
T1180_DEMO&ER

DRAWING NO.

C-3

SHEET 3 OF 12



SITE DEMOLITION NOTES:

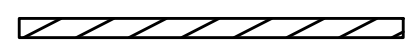
- ALL UTILITIES SHOWN ON THIS PLAN ARE APPROXIMATE ONLY. THE CONTRACTOR SHALL VERIFY THE LOCATIONS AND ELEVATIONS OF EACH UTILITY PRIOR TO REMOVING OR RELOCATING. CONTRACTOR SHALL NOTIFY DIG-SAFE (1-888-344-7233) AND THE LOCAL MUNICIPAL WATER & SEWER DEPT. AT LEAST 72 HOURS BEFORE EXCAVATING.
- THE CONTRACTOR SHALL DISCONNECT ALL UTILITIES FROM THE BUILDING PRIOR TO DEMOLITION.
- THE CONTRACTOR IS TO REMOVE AND TO DISPOSE OF EXISTING MANMADE SURFACE FEATURES WITHIN THE LIMITS OF WORK INCLUDING BUILDINGS, STRUCTURES, PAVEMENTS, SLABS, CURBING, FENCES, UTILITY POLES, SIGNS, ETC. UNLESS INDICATED OTHERWISE ON THE DRAWINGS. REMOVE AND DISPOSE OF EXISTING UTILITIES, FOUNDATIONS, AND UNSUITABLE MATERIAL WITHIN THE PROPOSED BUILDING FOOTPRINT, TEN FEET BEYOND AND BENEATH PROPOSED EXTERIOR COLUMNS, AND CONFLICTING WITH ANY PROPOSED SITE WORK, PER DRAWINGS AND SPECIFICATIONS.
- EXISTING UTILITIES SHALL BE TERMINATED, UNLESS OTHERWISE NOTED, IN CONFORMANCE WITH LOCAL, STATE, AND INDIVIDUAL UTILITY COMPANIES' STANDARD SPECIFICATIONS AND DETAILS. THE CONTRACTOR SHALL COORDINATE UTILITY SERVICE DISCONNECTS WITH THE UTILITY REPRESENTATIVES.
- THE CONTRACTOR SHALL DISPOSE OF DEMOLITION DEBRIS IN ACCORDANCE WITH APPLICABLE FEDERAL, STATE, AND LOCAL REGULATIONS, ORDINANCES, AND STATUTES.
- ALL EROSION CONTROL DEVICES ARE TO BE INSTALLED AND APPROVED PRIOR TO DEMOLITION.
- CONTRACTOR SHALL BE RESPONSIBLE FOR SITE SECURITY AND JOB SAFETY. CONSTRUCTION ACTIVITIES SHALL BE IN ACCORDANCE WITH OSHA STANDARDS AND LOCAL REQUIREMENTS. A 6-FOOT TEMPORARY CHAIN LINK FENCE SHALL BE PROVIDED AROUND ALL CONSTRUCTION ACTIVITIES. CONTRACTOR SHALL LEAVE NO UNSECURED OPEN EXCAVATIONS.
- ALL EXISTING DRAINAGE STRUCTURES SHALL REMAIN IN PLACE AND FUNCTIONAL UNTIL THE PROPOSED DRAINAGE SYSTEM IS OPERATIONAL, UNLESS OTHERWISE NOTED BY THE ENGINEER.
- THE CONTRACTOR SHALL NOTIFY THE OWNER AT LEAST 72 HOURS PRIOR TO BEGINNING ANY DEMOLITION.
- IN THE EVENT THAT SUSPECTED CONTAMINATED SOIL, GROUNDWATER, AND OTHER MEDIA ARE ENCOUNTERED DURING EXCAVATION AND CONSTRUCTION ACTIVITIES BASED ON VISUAL, OLFACTORY, OR OTHER EVIDENCE, THE CONTRACTOR SHALL STOP WORK IN THE VICINITY OF THE SUSPECT MATERIAL TO AVOID FURTHER SPREADING OF THE MATERIAL, AND SHALL NOTIFY THE OWNER IMMEDIATELY SO THAT THE APPROPRIATE TESTING AND SUBSEQUENT ACTION CAN BE TAKEN.

EROSION CONTROL NOTES:

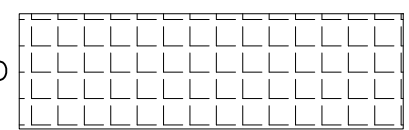
- DEVELOPMENT SHALL BE ORIENTED TO THE SITE SO THAT CUTTING AND STRIPPING OF VEGETATION AND GRADING ARE MINIMIZED.
- APPROPRIATE EROSION AND SEDIMENT CONTROL MEASURES SHALL BE INSTALLED PRIOR TO SOIL DISTURBANCE. MEASURES SHALL BE TAKEN TO CONTROL EROSION WITHIN THE PROJECT AREA.
- RUNOFF SHALL BE CONTROLLED AND CONVEYED INTO STORM DRAINS AND OTHER OUTLETS SO IT WILL NOT ERODE THE LAND OR CAUSE OFFSITE DAMAGE. SEDIMENT IN RUNOFF SHALL BE TRAPPED BY USING STAKED HAY BALES, SILT FENCING, SEDIMENTATION TRAPS, OR OTHER APPROVED EROSION CONTROL DEVICES.
- SEDIMENT BASINS SHALL BE CONSTRUCTED WHERE NECESSARY TO DETAIN RUNOFF AND TO TRAP SEDIMENT DURING CONSTRUCTION.
- SEDIMENT SHALL BE REMOVED ONCE THE VOLUME REACHES $\frac{1}{4}$ TO $\frac{1}{2}$ THE HEIGHT OF THE SILT FENCE OR HAY BALE.
- OFFSITE RUNOFF SHALL BE DIVERTED FROM HIGHLY ERODIBLE SOILS AND STEEP SLOPES TO STABLE AREAS.
- EROSION AND SEDIMENT CONTROLS SHALL BE COORDINATED WITH THE SEQUENCE OF GRADING, DEVELOPMENT AND CONSTRUCTION OPERATIONS. CONTROL MEASURES SHALL BE IN EFFECT PRIOR TO COMMENCEMENT OF EACH INCREMENT/PHASE OF THE PROCESS.
- SOIL AND OTHER MATERIALS SHALL NOT BE STOCKPILED OR REDISTRIBUTED, EITHER TEMPORARILY OR PERMANENTLY, IN LOCATIONS OR IN SUCH A MANNER AS WOULD CAUSE SUFFOCATION OF TREE ROOT SYSTEMS.
- GRADING SHALL BE KEPT TO A MINIMUM. TREE REMOVAL SHALL BE MINIMIZED.
- A TRACKING PAD SHALL BE CONSTRUCTED AT ALL ENTRANCE/EXIT POINTS OF THE SITE TO REDUCE THE AMOUNT OF SOIL CARRIED ONTO ROADWAYS AND OFF THE SITE. NHDES STABILIZED CONSTRUCTION EXIT TO BE USED.
- DUST SHALL BE CONTROLLED AT THE SITE.
- ALL GRADED AREAS BEYOND THE STREET RIGHT-OF-WAY SHALL BE COVERED WITH FOUR (4) INCHES OF TOPSOIL AND PLANTED WITH A NATIVE SPECIE OF VEGETATIVE COVER, SUFFICIENT TO PREVENT EROSION.
- PERMANENT SEEDING SHOULD BE UNDERTAKEN IN THE SPRING FROM MARCH THROUGH MAY, AND IN LATE SUMMER AND EARLY FALL FROM AUGUST TO OCTOBER 15. DURING PEAK SUMMER MONTHS AND IN THE FALL AFTER OCTOBER 15, WHEN SEEDING IS FOUND TO BE IMPRACTICAL, AN APPROPRIATE TEMPORARY MULCH SHALL BE APPLIED. PERMANENT SEEDING MAY BE UNDERTAKEN DURING THE SUMMER IF PLANS PROVIDE FOR ADEQUATE MULCHING AND WATERING.
- PERMANENT VEGETATION AND EROSION CONTROL STRUCTURES, AS NECESSARY, SHALL BE INSTALLED PREFERABLY IMMEDIATELY AFTER CONSTRUCTION IS COMPLETED, BUT OTHERWISE NO LATER THAN THE FIRST FULL SPRING SEASON IMMEDIATELY THEREAFTER. THEY SHALL COMPLY WITH THE EROSION AND SEDIMENTATION VEGETATIVE PRACTICES RECOMMENDED BY THE U.S. SOIL CONSERVATION SERVICE.
- NATIVE SPECIES SHALL BE USED FOR REVEGETATION.
- ALL SLOPES STEEPER THAN 3:1 (H:V, 33.3%), AS WELL AS PERIMETER DIKES, SEDIMENT BASINS OR TRAPS, AND EMBANKMENTS SHALL, UPON COMPLETION, BE IMMEDIATELY STABILIZED WITH SOD, SEED AND ANCHORED STRAW MULCH, OR OTHER APPROVED STABILIZATION MEASURES. AREAS OUTSIDE OF THE PERIMETER SEDIMENT CONTROL SYSTEM SHALL NOT BE DISTURBED.
- TEMPORARY SEDIMENT TRAPPING DEVICES SHALL NOT BE REMOVED UNTIL PERMANENT STABILIZATION IS ESTABLISHED IN ALL CONTRIBUTORY DRAINAGE AREAS. SIMILARLY, STABILIZATION SHALL BE ESTABLISHED PRIOR TO CONVERTING SEDIMENT TRAPS/BASINS INTO PERMANENT (POST-CONSTRUCTION) STORMWATER MANAGEMENT FACILITIES. ALL FACILITIES USED AS TEMPORARY MEASURES SHALL BE CLEANED PRIOR TO BEING PUT INTO FINAL OPERATIONS.

LEGEND:

SILT/SOXX PERIMETER EROSION BARRIER



EXISTING STRUCTURES TO BE DEMOLISHED





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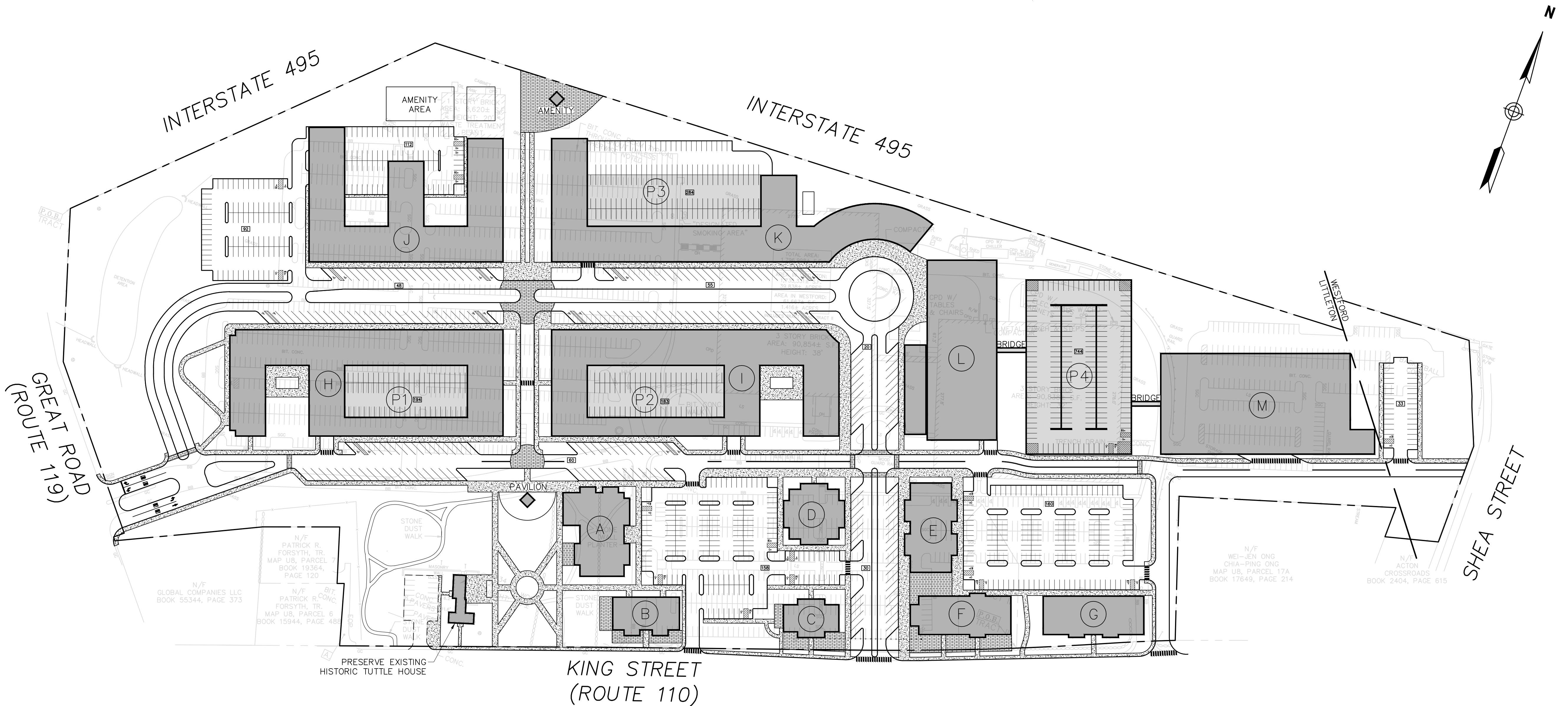
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T1180

TEC CAD FILE
T1180_SITE

DRAWING NO.

C-4

SHEET 4 OF 12



BUILDING PROGRAM	
BUILDING	USE
(A)	47,100 SF OFFICE (2-STORY W/ BASEMENT)
(B)	15,600 SF RETAIL/COMMERCIAL (2-STORY)
(C)	12,000 SF RETAIL/COMMERCIAL (2-STORY)
(D)	20,200 SF RETAIL/COMMERCIAL (2-STORY)
(E)	1ST FLOOR: 13,600 SF RETAIL/COMMERCIAL 2ND & 3RD FLOOR: 16 RESIDENTIAL UNITS
(F)	1ST FLOOR: 12,450 SF RETAIL/COMMERCIAL 2ND & 3RD FLOOR: 14 RESIDENTIAL UNITS
(G)	36 RESIDENTIAL UNITS (3-STORY)
(H)	140 RESIDENTIAL UNITS (5-STORY)
(I)	1ST FLOOR: 12,050 SF RETAIL/COMMERCIAL 1ST-5TH FLOOR: 150 RESIDENTIAL UNITS
(J)	130 RESIDENTIAL UNITS (4-STORY)
(K)	1ST FLOOR: 12,667 SF RETAIL/COMMERCIAL 2ND-5TH FLOOR: 120 RESIDENTIAL UNITS
(L)	1ST FLOOR: 12,350 SF RETAIL/COMMERCIAL, 33,150 SF OFFICE 2ND-4TH FLOOR: 120,000 SF OFFICE
(P1)	PARKING STRUCTURE (2-STORY)
(P2)	PARKING STRUCTURE (2-STORY)
(P3)	PARKING STRUCTURE (2-STORY)
(P4)	PARKING STRUCTURE (4-STORY)
(M)	122,840 SF GMP/MANUFACTURING (2-STORY)

ZONING TABLE		
ZONING DISTRICT	KING STREET COMMON	
PROPOSED USE	MIXED-USE	
PROPOSED USE ALLOWABLE BY	BY RIGHT/SPECIAL PERMIT*	
DIMENSIONAL REQUIREMENTS	REQUIRED	PROVIDED
PRIMARY FRONT SETBACK	10 FT (MIN), 20 FT (MAX)	10 FT (MIN), 20 FT (MAX)
SECONDARY FRONT SETBACK	10 FT (MIN), 20 FT (MAX)	10 FT (MIN), 20 FT (MAX)
SIDE SETBACK	15 FT (MIN)	95 FT
REAR SETBACK	15 FT (MIN)	15 FT
PRIMARY PARKING SETBACK	20 FT	52 FT
SECONDARY PARKING SETBACK	20 FT	22 FT
LOT COVERAGE	80% (MAX)	65%
BUILDING COVERAGE	50% (MAX)	31%
FACADE BUILD OUT	60% (MIN)	39%**
BUILDING HEIGHT	6 STORIES/75 FT (MAX)	5 STORIES/70 FT

* WAIVER FROM 173-221.J.A., AS SPECIFICALLY ALLOWED BY SECTION 173-233.H.
** WAIVER FROM FORM BASED CODE, AS SPECIFICALLY ALLOWED BY SECTION 173-233.H.

PARKING TABLE		
REQUIRED PARKING	RETAIL/COMMERCIAL: 110,917 SF X 3 SP/1,000 SF = 332 SPACES	
	OFFICE: 200,250 SF X 3 SP/1,000 SF = 600 SPACES	
	RESIDENTIAL: 656 UNITS X 1.25 SP/UNIT = 820 SPACES	
	GMP/MANUFACTURING: 122,840 SF (200 EMPLOYEES) X 1.25 SP/EMPLOYEE = 250 SPACES	
PROPOSED PARKING	TOTAL REQUIRED PARKING = 2,002 SPACES	
	STREET PARKING: 213 SPACES	
	ON-GRADE PARKING: 570 SPACES	
	STRUCTURED PARKING: P1 = 194 SPACES P2 = 183 SPACES P3 = 284 SPACES P4 = 744 SPACES TOTAL = 1,405 SPACES	
PARKING REQUIREMENTS	TOTAL PROPOSED PARKING = 2,188 SPACES	
	REQUIRED	PROVIDED
	HANDICAP ACCESSIBLE SPACES	83
	85	
PARKING REQUIREMENTS	REQUIRED	PROVIDED
	HANDICAP ACCESSIBLE SPACES	83
	85	
	AISLE WIDTH	24 FT
PARKING REQUIREMENTS	REQUIRED	PROVIDED
	AISLE WIDTH	24 FT
	24 FT	
	STALL WIDTH	9 FT
PARKING REQUIREMENTS	REQUIRED	PROVIDED
	STALL WIDTH	9 FT
	18 FT	
	LENGTH OF SPACE	18 FT



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DRAWN BY MWP
CHECKED BY RJF
DATE 3/22/2022
SCALE 1"=100'

PREPARED FOR
550 King Street, LLC
290 Merrimack Street
Lawrence, MA 01843

REVISIONS

ISSUED FOR
Permitting

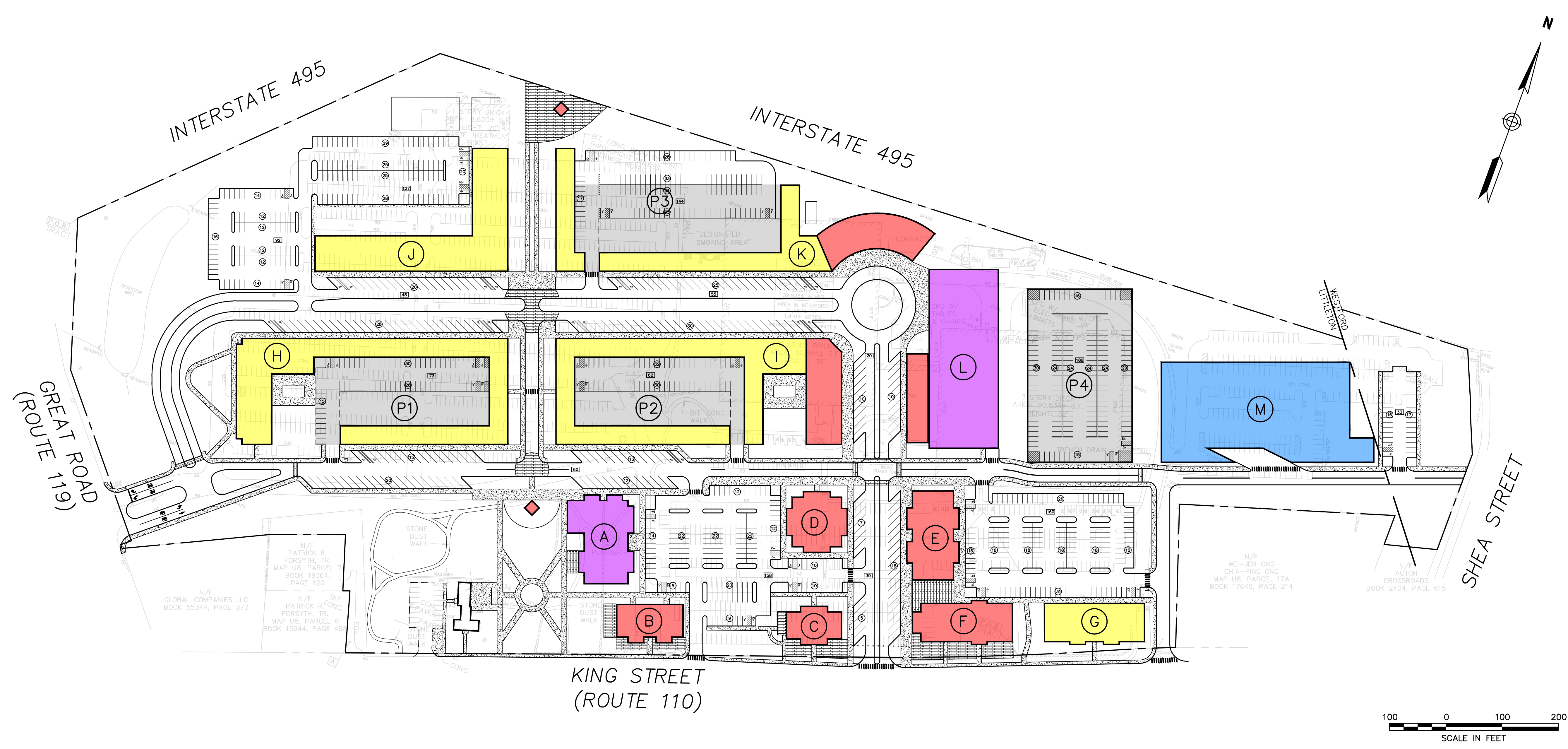
PROJECT TITLE
King Street Commons - Master Plan

PROJECT LOCATION
**550 King Street,
Littleton, MA**

DRAWING TITLE
Level 1 Plan



PROJECT NO.
T1180
TEC CAD FILE
T1180_LEVEL 1
DRAWING NO.
C-5
SHEET 5 OF 12



LEVEL 1 KEY	
USE	
RESIDENTIAL	
RETAIL/COMMERCIAL	
GMP/MANUFACTURING	
OFFICE	
STRUCTURED PARKING	

PARKING TABLE	
PROPOSED LEVEL 1 PARKING	STREET PARKING: 213 SPACES
	ON-GRADE PARKING: 570 SPACES
	STRUCTURED PARKING:
	P1 = 144 SPACES P2 = 73 SPACES P3 = 62 SPACES P4 = 186 SPACES
	TOTAL = 465 SPACES
TOTAL LEVEL 1 PARKING = 1,248 SPACES	



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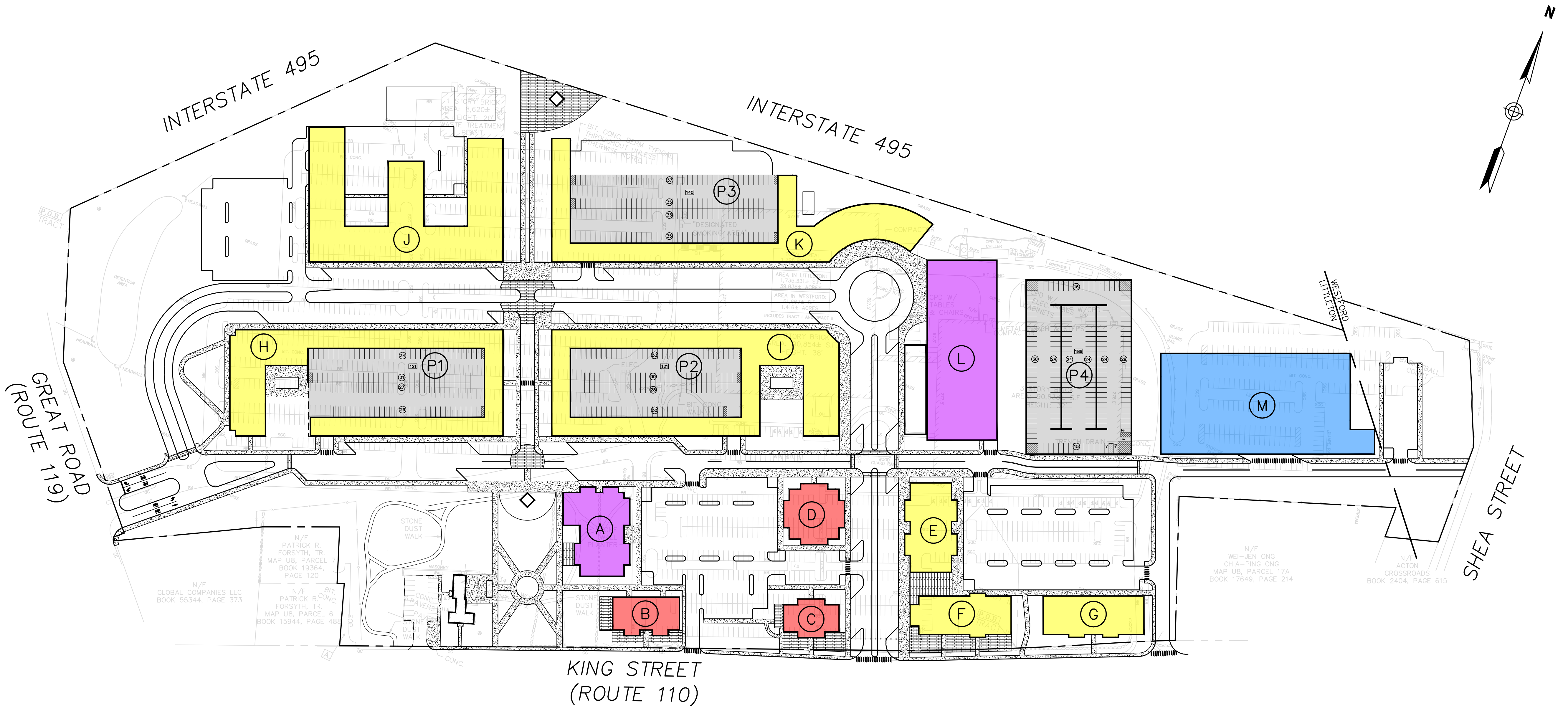
PROJECT TITLE
**King Street Commons -
Master Plan**

PROJECT LOCATION
**550 King Street,
Littleton, MA**

DRAWING TITLE
Level 2 Plan

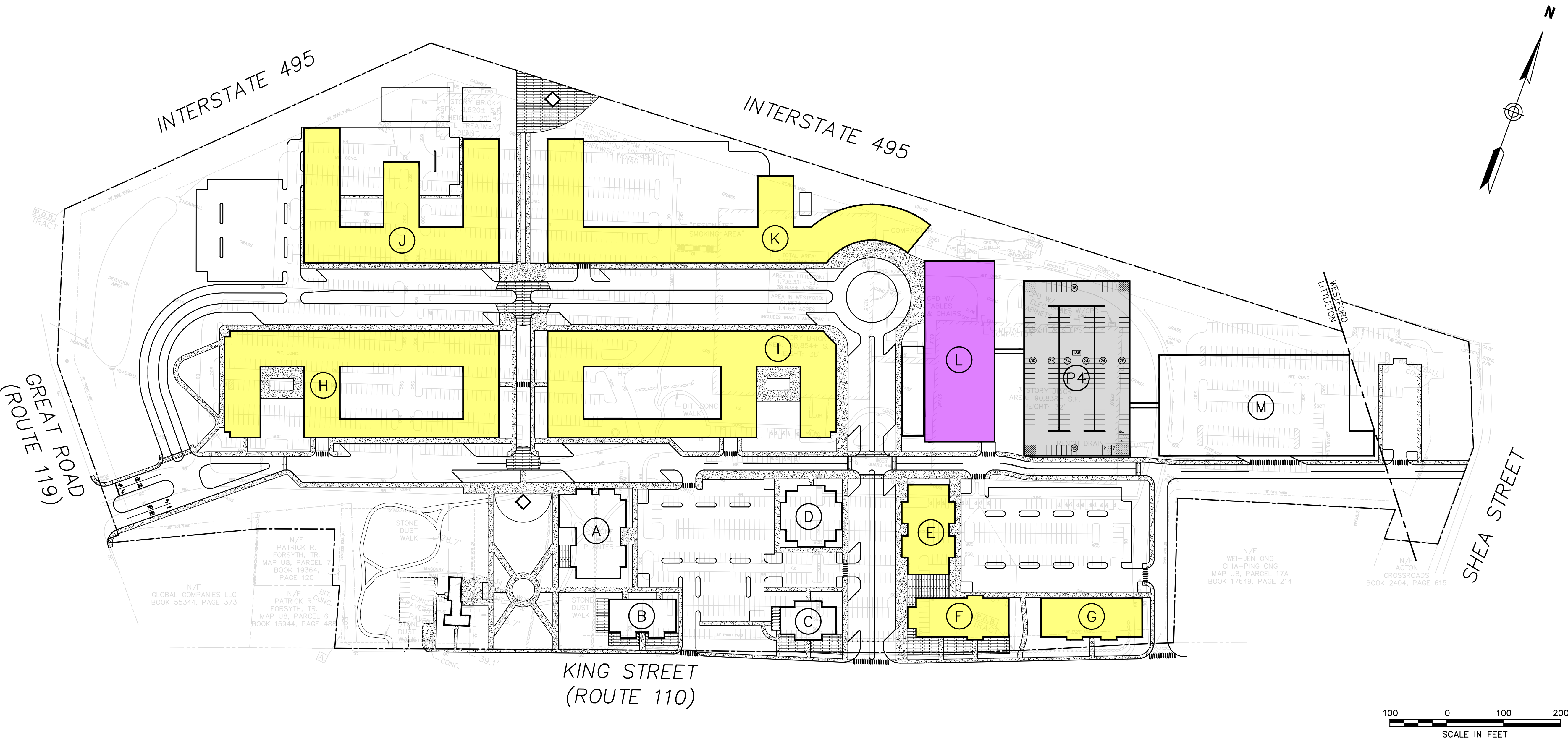


PROJECT NO.
T1180
TEC CAD FILE
T1180_LEVEL 2
DRAWING NO.
C-6
SHEET 6 OF 12



LEVEL 2 KEY	
USE	
RESIDENTIAL	
RETAIL/COMMERCIAL	
GMP/MANUFACTURING	
OFFICE	
STRUCTURED PARKING	

PARKING TABLE	
PROPOSED LEVEL 2 PARKING	STRUCTURED PARKING: P1 = 121 SPACES P2 = 121 SPACES P3 = 140 SPACES P4 = 186 SPACES
	TOTAL LEVEL 2 PARKING = 568 SPACES



LEVEL 3 KEY	
USE	
RESIDENTIAL	
OFFICE	
STRUCTURED PARKING	

PARKING TABLE	
PROPOSED LEVEL 3 PARKING	STRUCTURED PARKING: P4 = 186 SPACES
	TOTAL LEVEL 3 PARKING = 186 SPACES



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PROJECT TITLE
**King Street Commons -
Master Plan**

PROJECT LOCATION
**550 King Street,
Littleton, MA**

DRAWING TITLE
Level 3 Plan



PROJECT NO.
T1180
TEC CAD FILE
T1180_LEVEL 3
DRAWING NO.
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SHEET 7 OF 12



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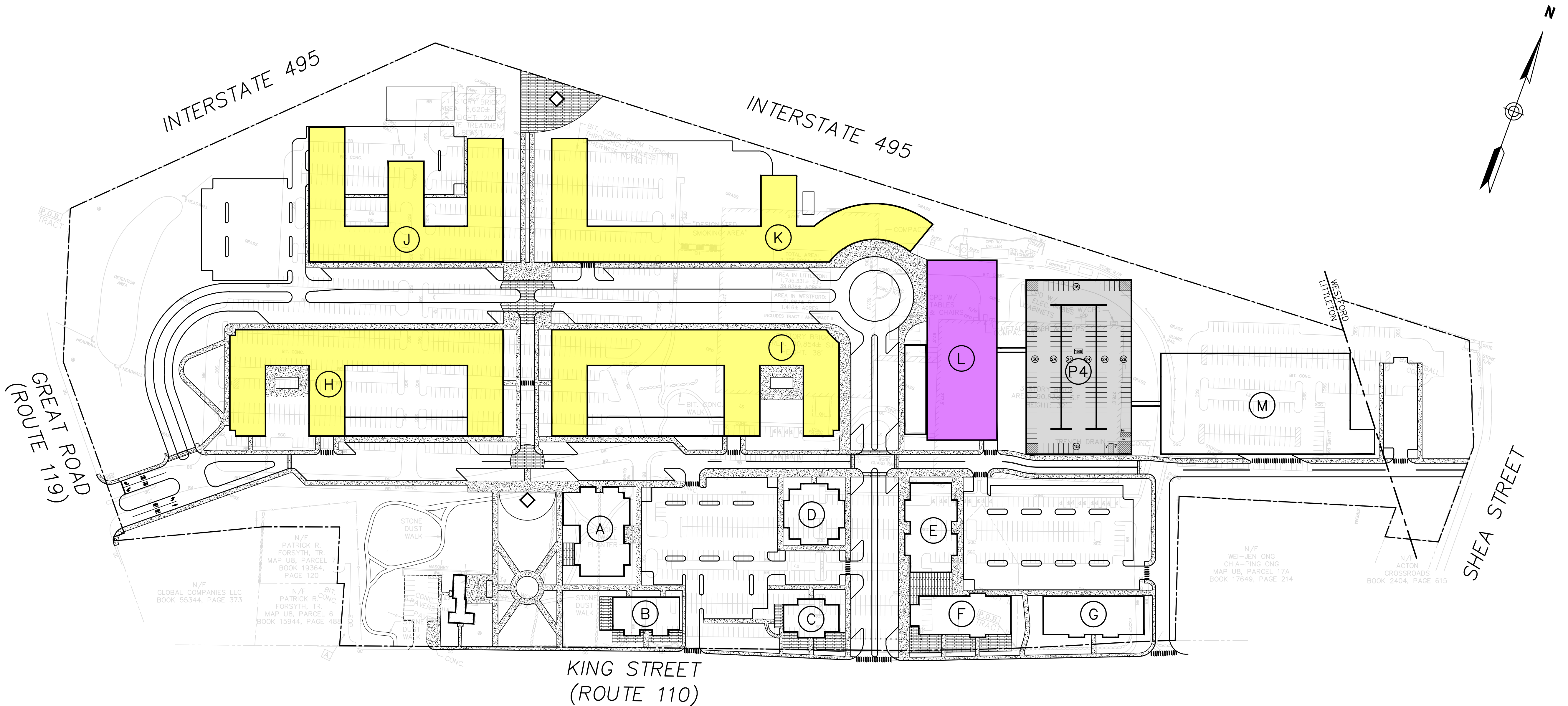
PROJECT TITLE
**King Street Commons -
Master Plan**

PROJECT LOCATION
**550 King Street,
Littleton, MA**

DRAWING TITLE
Level 4 Plan



PROJECT NO.
T1180
TEC CAD FILE
T1180_LEVEL 4
DRAWING NO.
C-8
SHEET 8 OF 12



LEVEL 4 KEY	
USE	
RESIDENTIAL	
OFFICE	
STRUCTURED PARKING	

PARKING TABLE	
PROPOSED LEVEL 4 PARKING	STRUCTURED PARKING: P4 = 186 SPACES TOTAL LEVEL 4 PARKING = 186 SPACES



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SCALE	1"=100'

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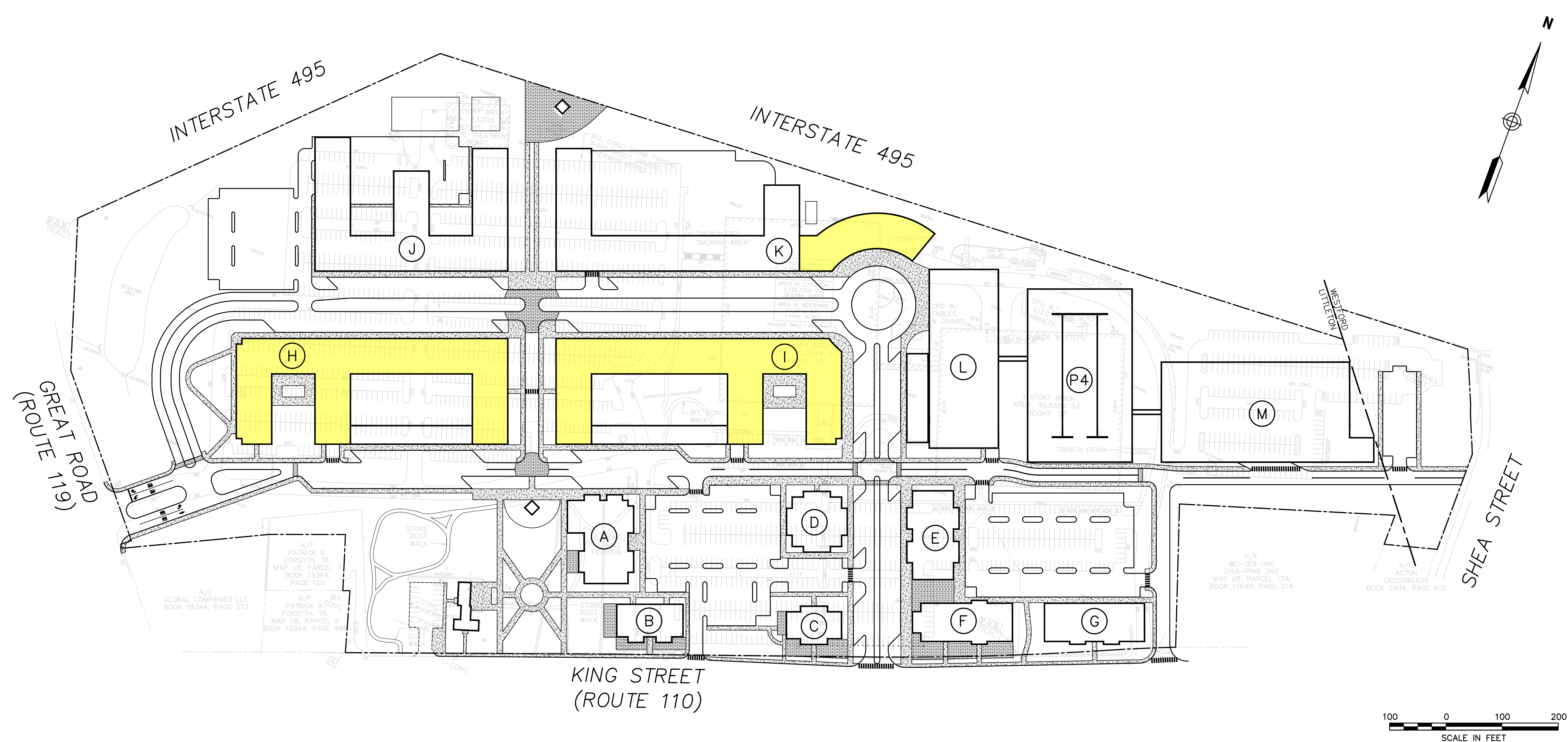
PROJECT TITLE
**King Street Commons -
Master Plan**

PROJECT LOCATION
**550 King Street,
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DRAWING TITLE
Level 5 Plan



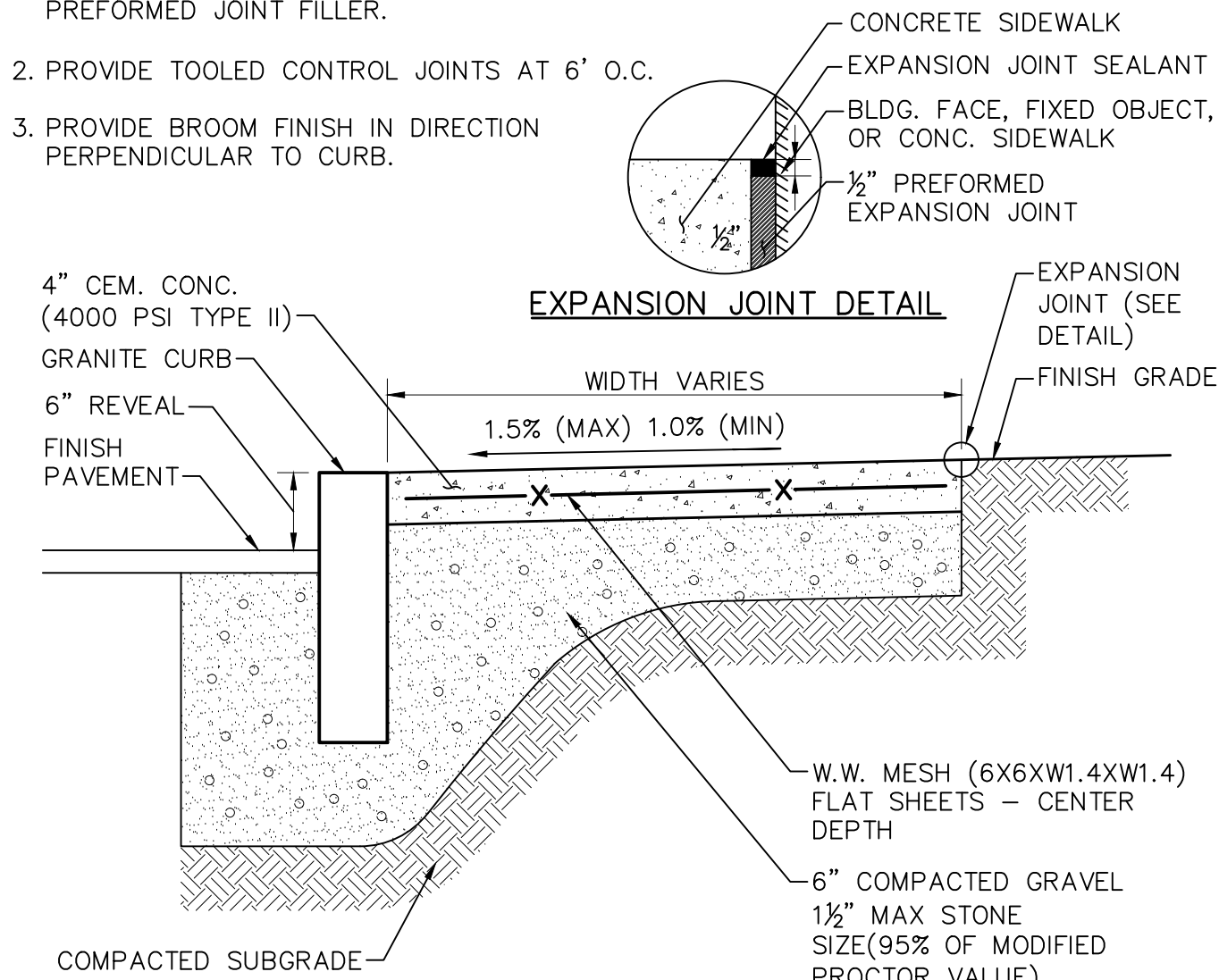
PROJECT NO.
T1180
TEC CAD FILE
T1180_LEVEL 5
DRAWING NO.
C-9
SHEET OF 12



LEVEL 5 KEY	
USE	
RESIDENTIAL	

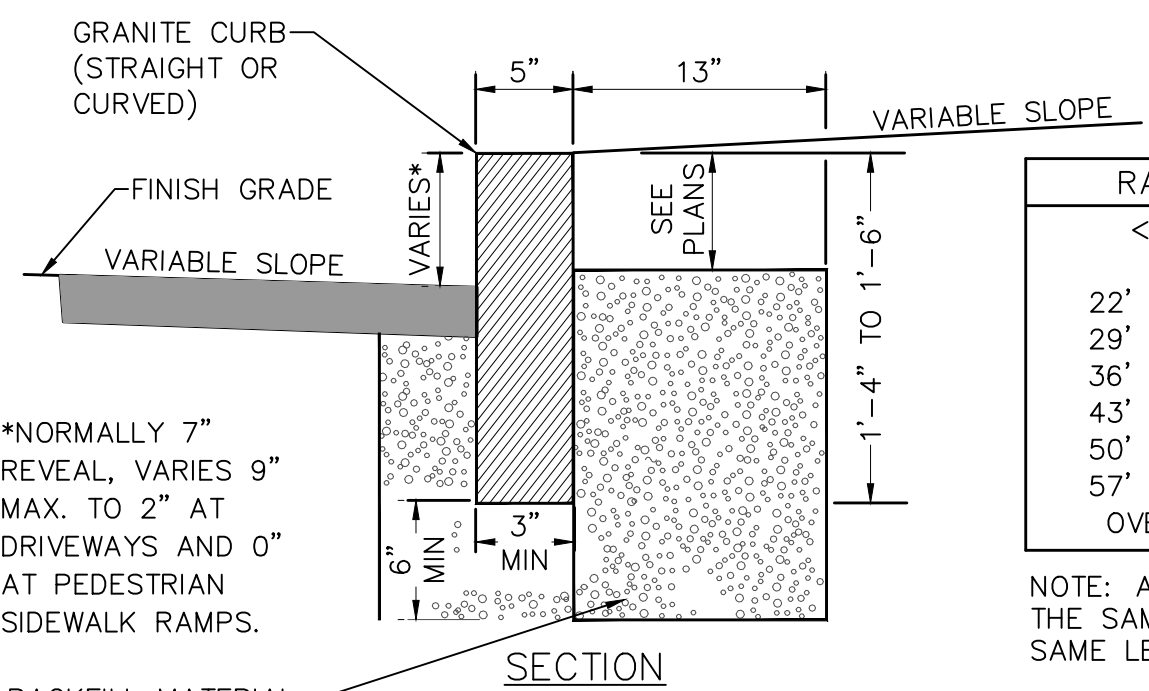
NOTES:

1. PROVIDE EXPANSION JOINTS AT 30' O.C. WITH PREFORMED JOINT FILLER.
2. PROVIDE TOOLED CONTROL JOINTS AT 6' O.C.
3. PROVIDE BROOM FINISH IN DIRECTION PERPENDICULAR TO CURB.



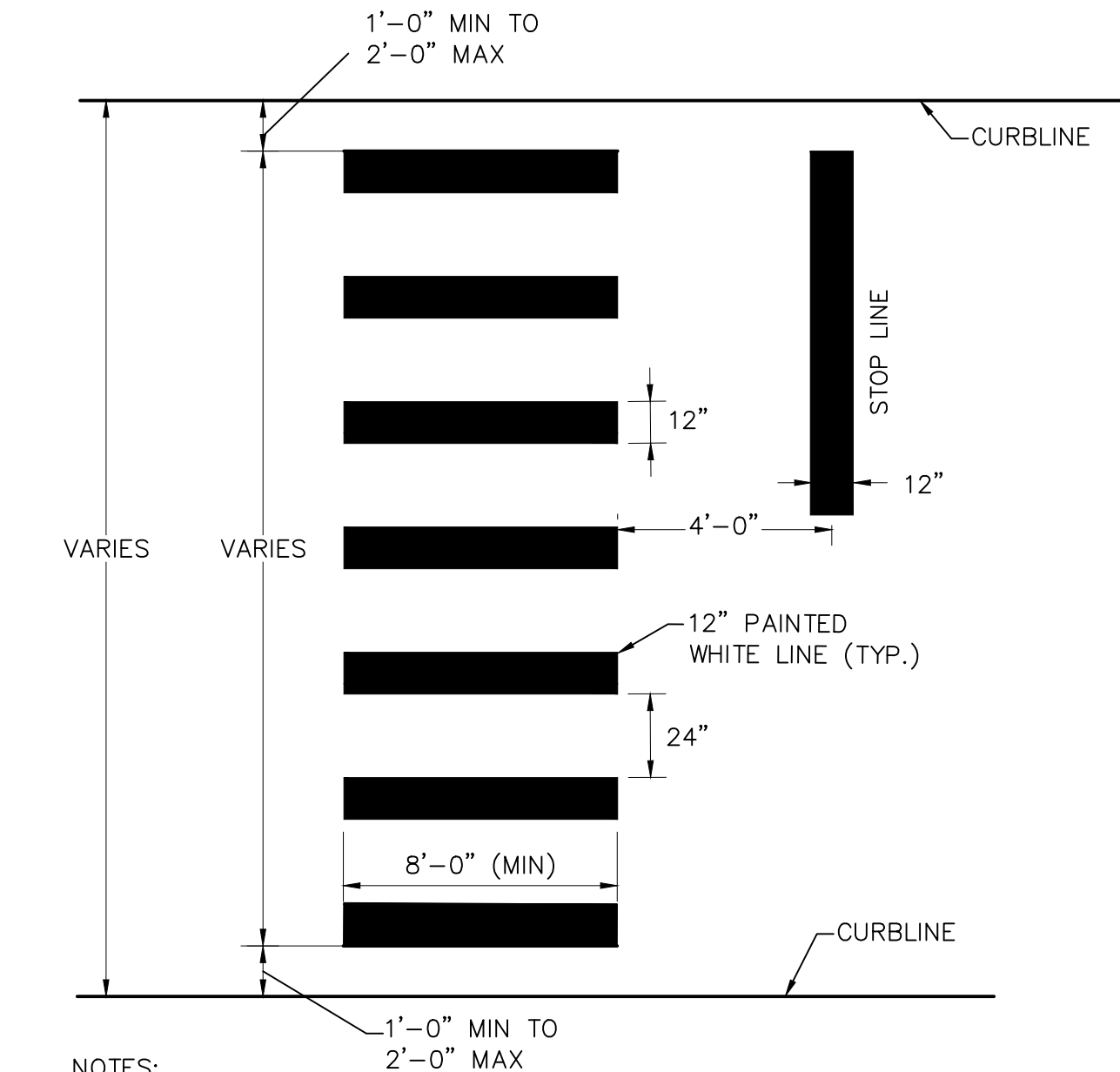
CONCRETE SIDEWALK

N.T.S.



VERTICAL GRANITE CURB

N.T.S.

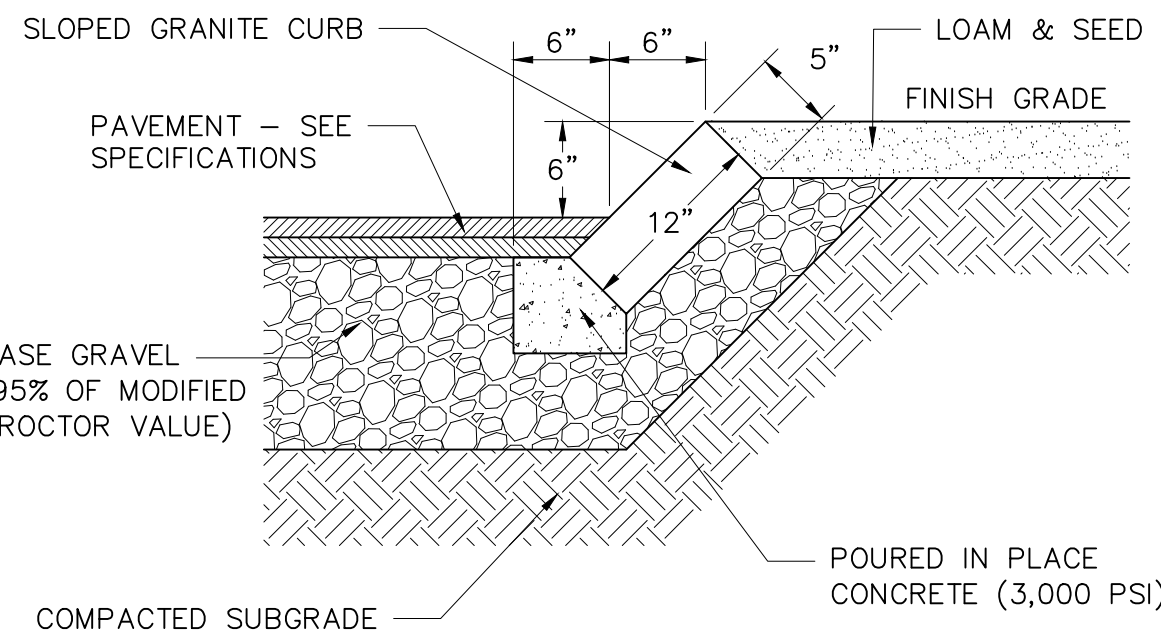


NOTES:

1. ALL 12" PAINTED LINES SHALL BE APPLIED IN ONE APPLICATION, NO COMBINATION OF LINES (TWO - 6" LINES) WILL BE ACCEPTED.
2. LAYOUT OF CROSSWALKS SHALL BE APPROVED THE ENGINEER PRIOR TO APPLICATION OF PAINT.
3. ALL CROSSWALKS INSTALLED SHALL CONFORM TO THE RELEVANT PROVISIONS OF THE MASSACHUSETTS HIGHWAY DEPARTMENT "STANDARD SPECIFICATION FOR HIGHWAY AND BRIDGES" DATED 1988.
4. THE PAVEMENT MARKINGS FOR CROSSWALKS WITHIN THE PUBLIC WAY MAY VARY AND SHALL BE APPROVED BY THE CITY ENGINEER PRIOR TO THE APPLICATION OF PAINT.

CROSSWALK PAVEMENT MARKING

N.T.S.

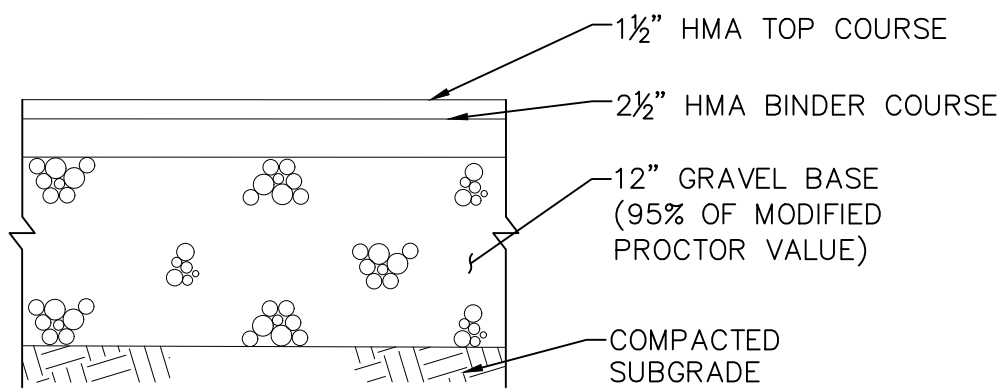


SLOPE GRANITE CURB DETAIL (SGC)

N.T.S.

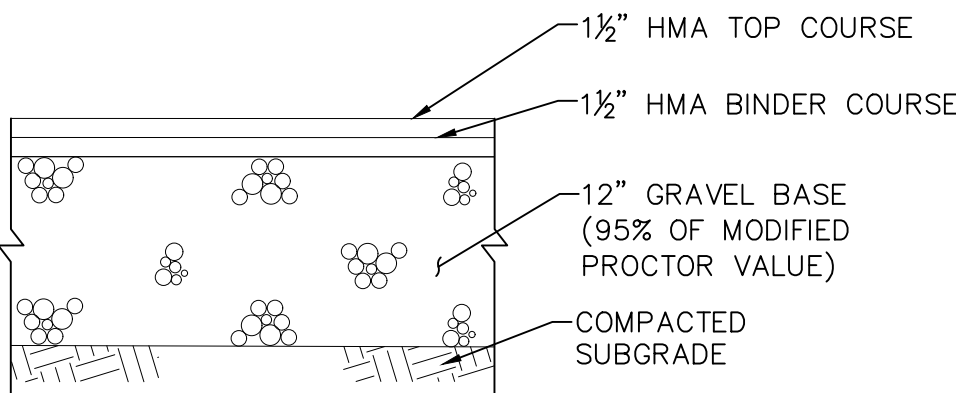
NOTE:

1. PAYMENT FOR CEMENT CONCRETE WILL BE INCLUDED IN THE PRICE PER LINEAL FOOT OF GRANITE CURB.



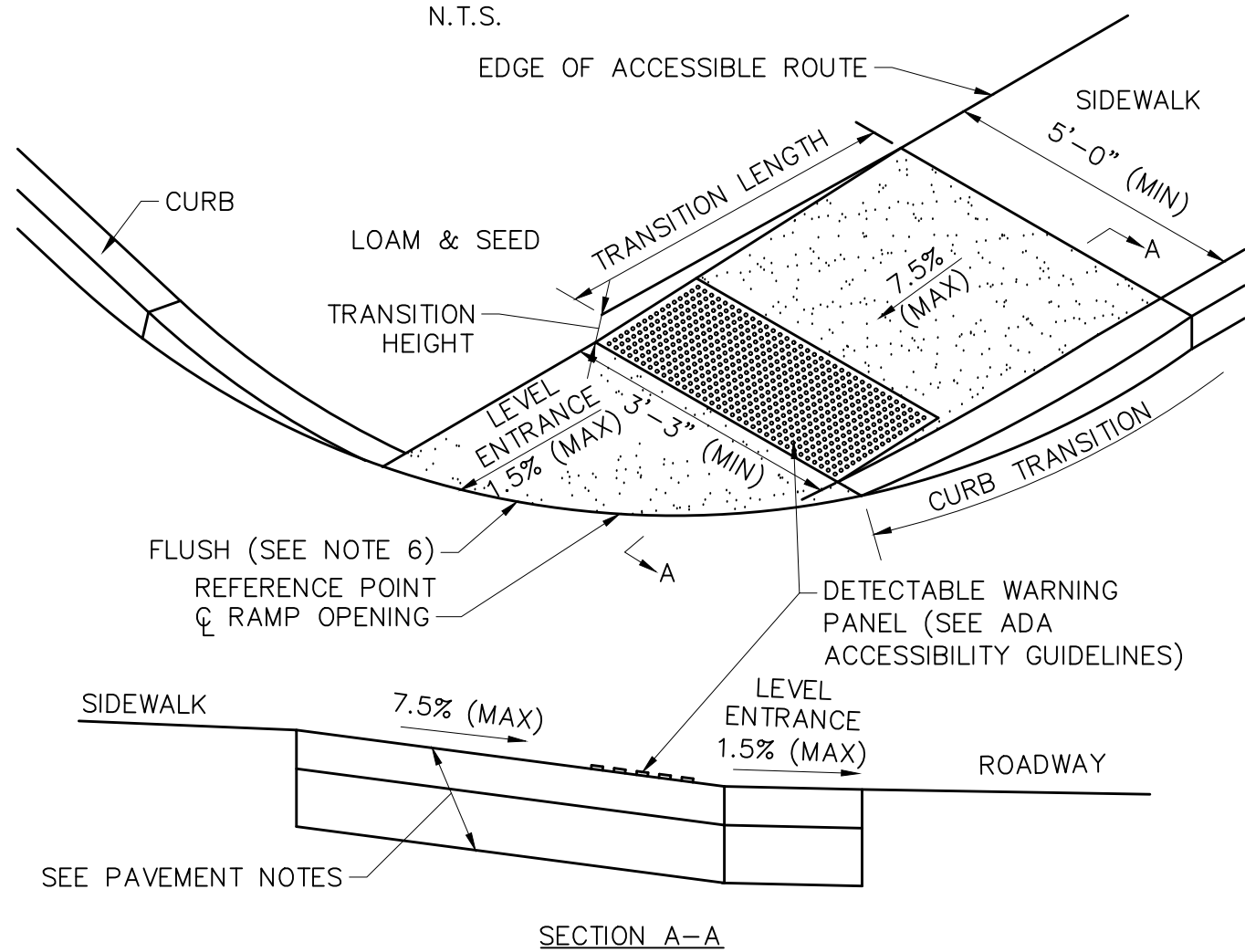
HEAVY DUTY PAVEMENT

N.T.S.



STANDARD DUTY PAVEMENT

N.T.S.

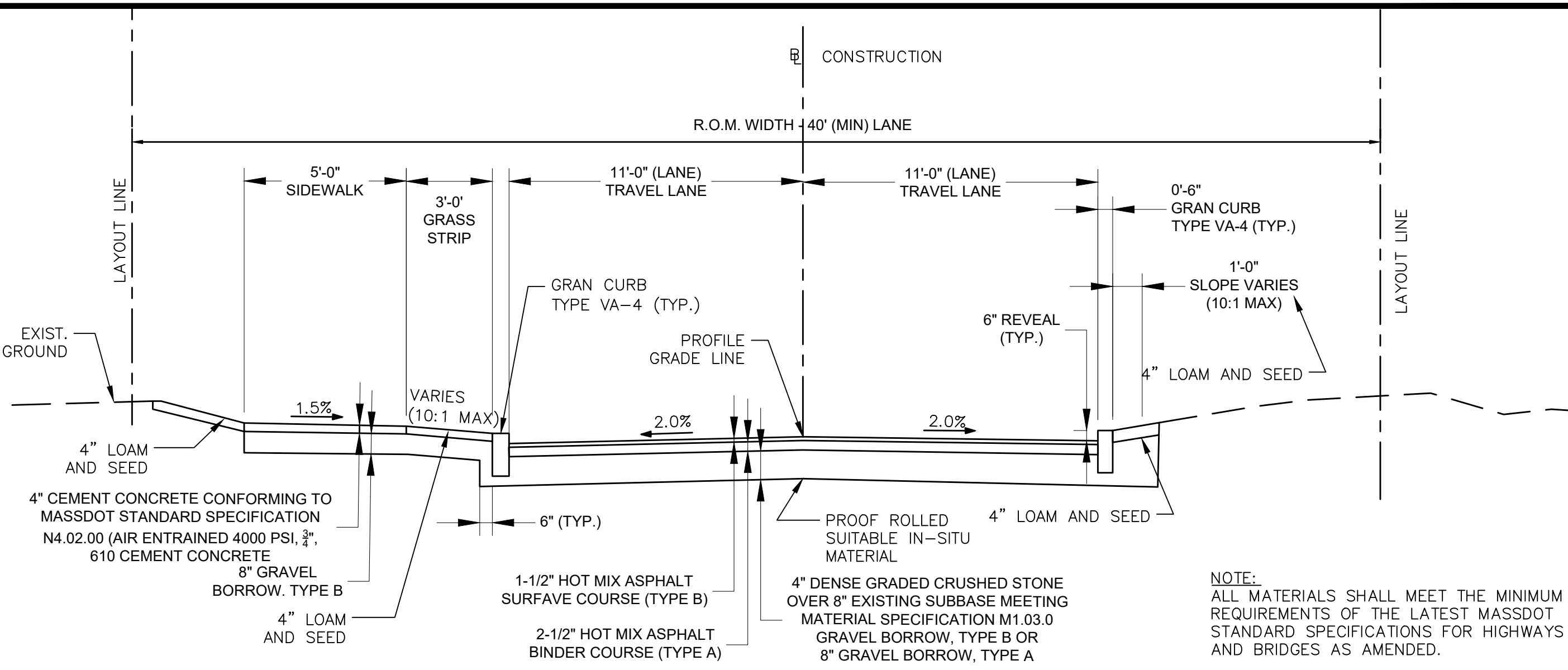


NOTES:

1. MAXIMUM ALLOWABLE SLOPE OF ACCESSIBLE ROUTE EXCLUDING CURB RAMPS SHALL BE DESIGNED TO 4.5% ±0.5% (7.5% ±0.5% FOR CURB RAMPS)
2. A MINIMUM OF 3'-3" CLEAR SHALL BE MAINTAINED AT ANY PERMANENT OBSTACLE IN ACCESSIBLE ROUTE (I.E., HYDRANTS, UTILITY POLES, TREE WELLS, SIGNS, ETC.).
3. CURB TREATMENT VARIES, SEE PLANS FOR CURB TYPE.
4. RAMP, CURB AND ADJACENT PAVEMENTS SHALL BE GRADED TO PREVENT PONDING.
5. WHERE ACCESSIBLE ROUTES ARE LESS THAN 5' IN WIDTH (EXCLUDING CURBING) A 5'x5' PASSING AREA SHALL BE PROVIDED AT INTERVALS NOT TO EXCEED 200 FT.
6. ELIMINATE CURBING AT RAMP WHERE IT ABUTS ROADWAY.
7. WHEELCHAIR RAMP SLOPES AND CROSS SLOPES SHALL HAVE A CONSTRUCTION TOLERANCE OF ±0.5%.
8. ALL RAMPS SHALL HAVE A BRUSHED FINISH.

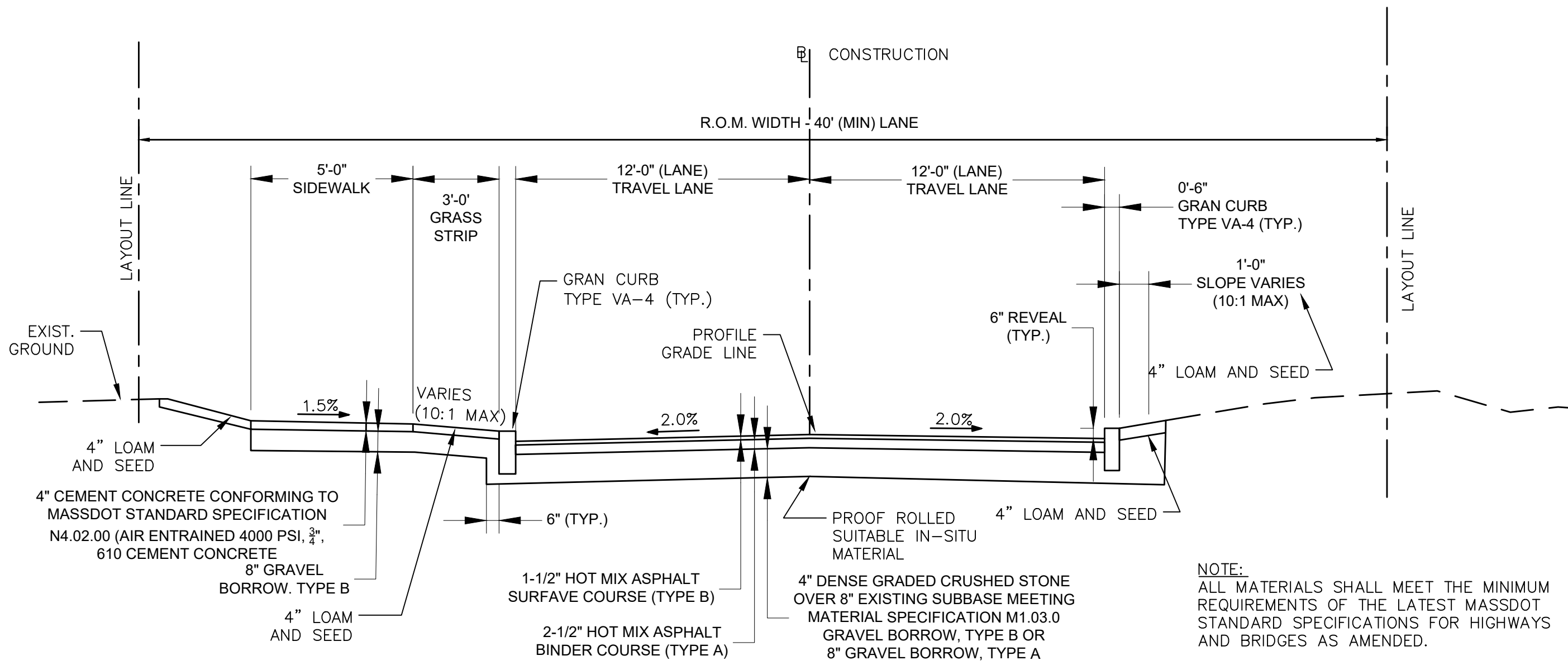
WCR RAMP TYPE 2

N.T.S.



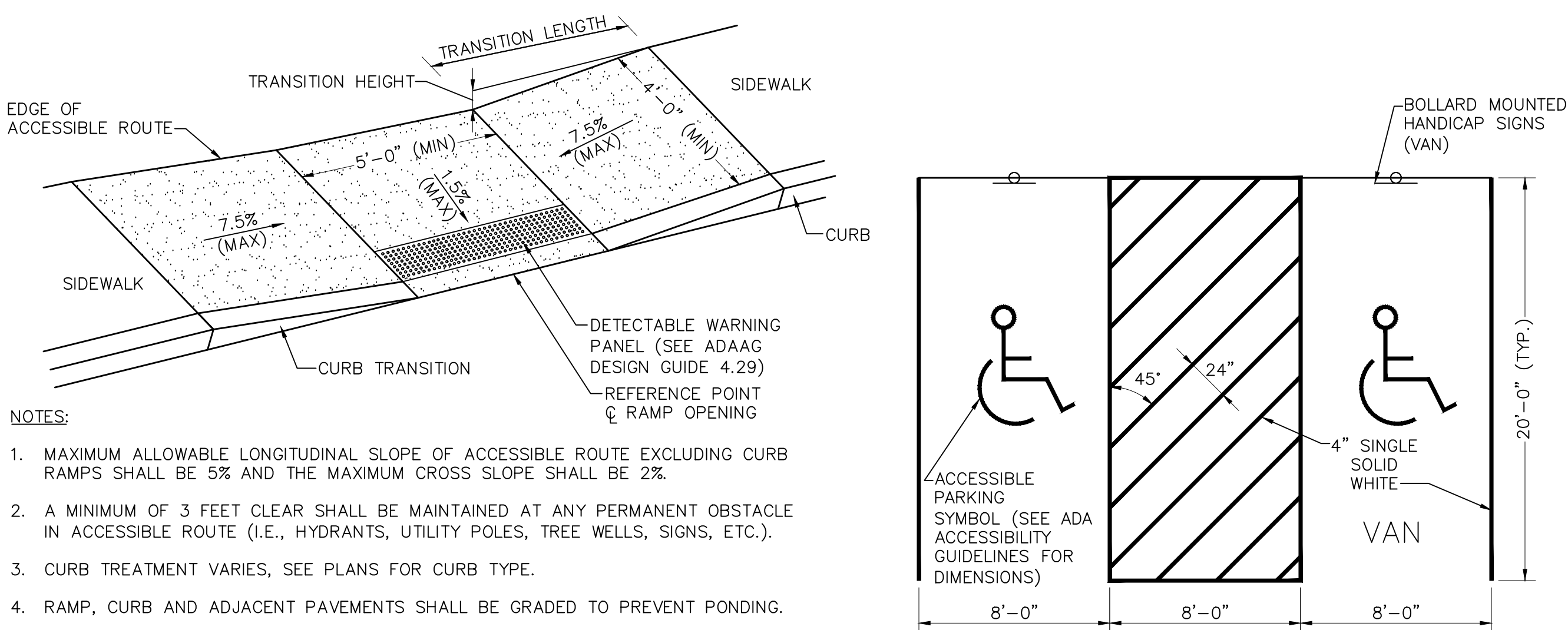
TYPICAL LANE ROAD SECTION

N.T.S.



TYPICAL MINOR ROAD SECTION

N.T.S.

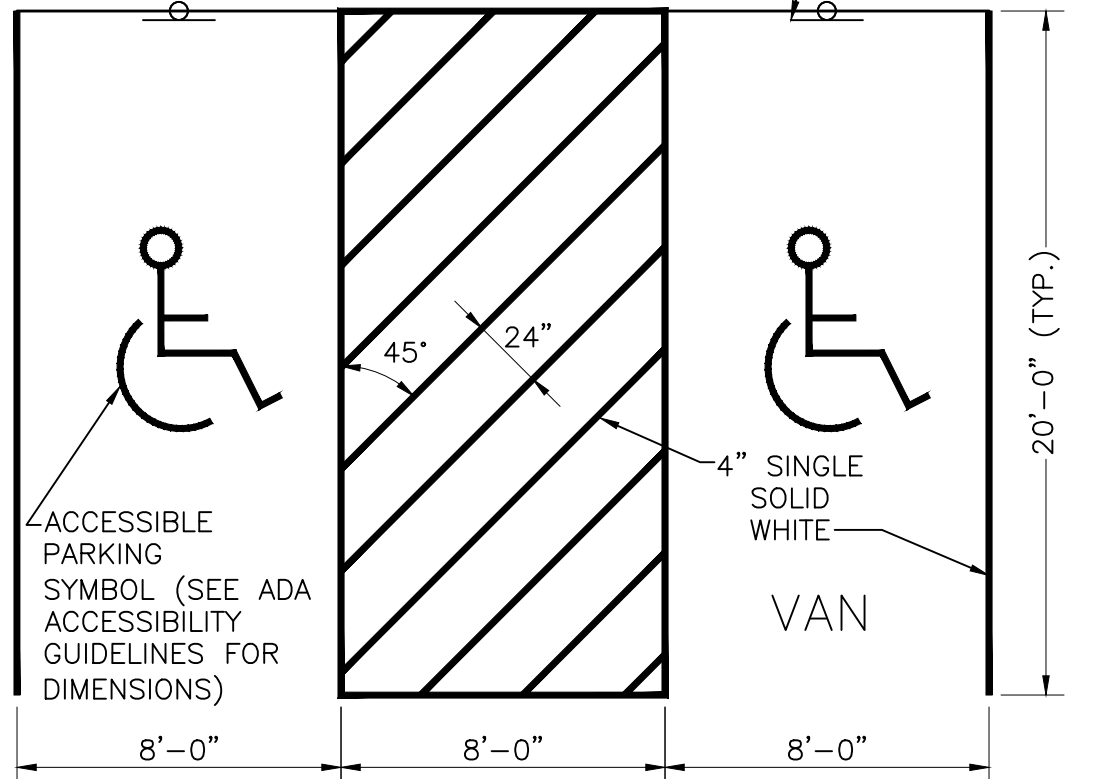


NOTES:

1. MAXIMUM ALLOWABLE LONGITUDINAL SLOPE OF ACCESSIBLE ROUTE EXCLUDING CURB RAMPS SHALL BE 5% AND THE MAXIMUM CROSS SLOPE SHALL BE 2%.
2. A MINIMUM OF 3 FEET CLEAR SHALL BE MAINTAINED AT ANY PERMANENT OBSTACLE IN ACCESSIBLE ROUTE (I.E., HYDRANTS, UTILITY POLES, TREE WELLS, SIGNS, ETC.).
3. CURB TREATMENT VARIES, SEE PLANS FOR CURB TYPE.
4. RAMP, CURB AND ADJACENT PAVEMENTS SHALL BE GRADED TO PREVENT PONDING.
5. WHERE ACCESSIBLE ROUTES ARE LESS THAN 5' IN WIDTH (EXCLUDING CURBING) A 5' x 5' PASSING AREA SHALL BE PROVIDED AT INTERVALS NOT TO EXCEED 200 FEET.
6. ELIMINATE CURBING AT RAMP WHERE IT ABUTS ROADWAY, EXCEPT WHERE VERTICAL CURBING IS INDICATED ON THE DRAWINGS TO BE INSTALLED AND SET FLUSH.

WHEELCHAIR RAMP TYPE A

N.T.S.



ACCESSIBLE PARKING STALL STRIPING

N.T.S.



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DATE	3/22/2022
SCALE	AS NOTED

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290 Merrimack Street
Lawrence, MA 01843

REVISIONS

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Permitting

PROJECT TITLE

King Street Commons -
Master Plan

PROJECT LOCATION

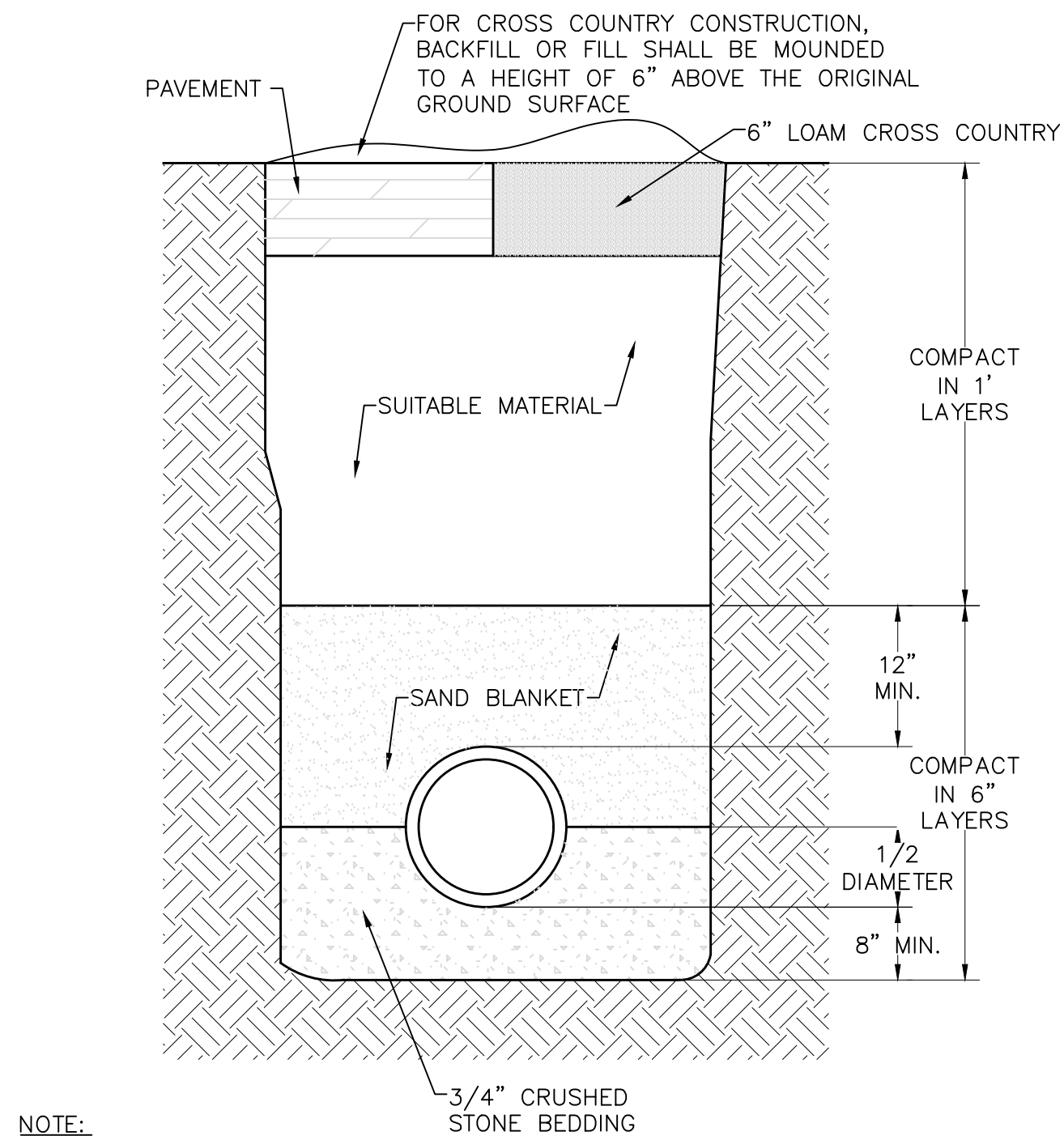
550 King Street,
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Construction Details

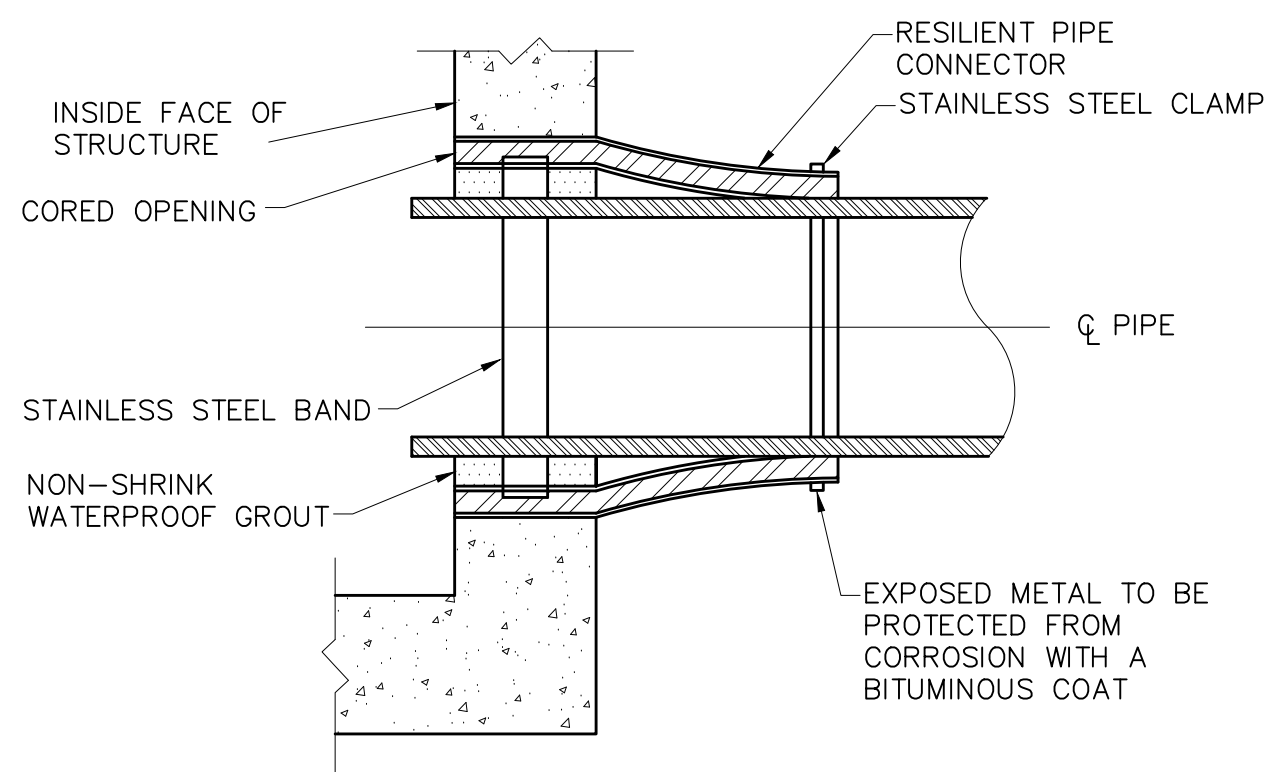
PROJECT NO.	T1180
TEC CAD FILE	T1180_DET
DRAWING NO.	C-10
SHEET	10 OF 12



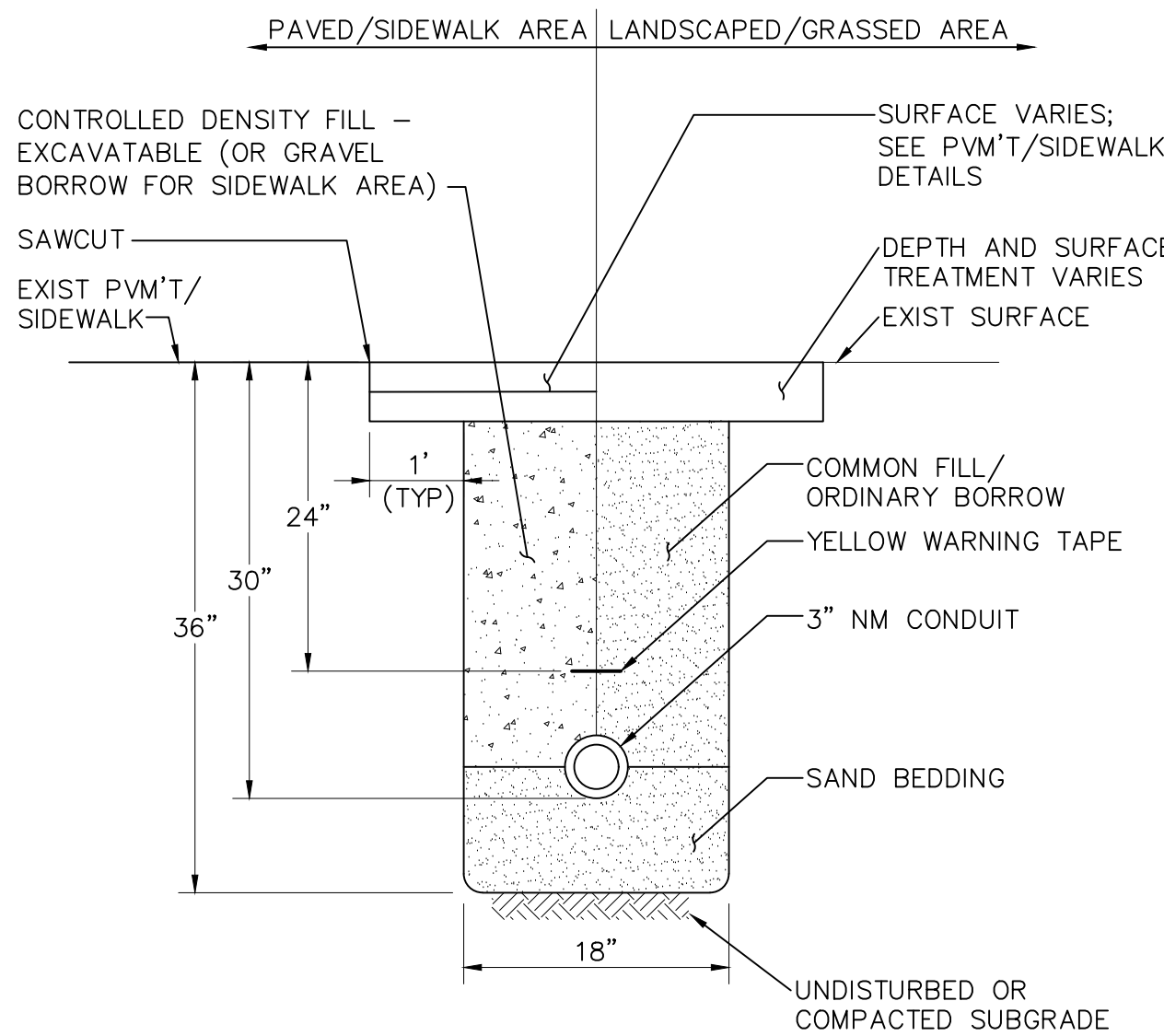
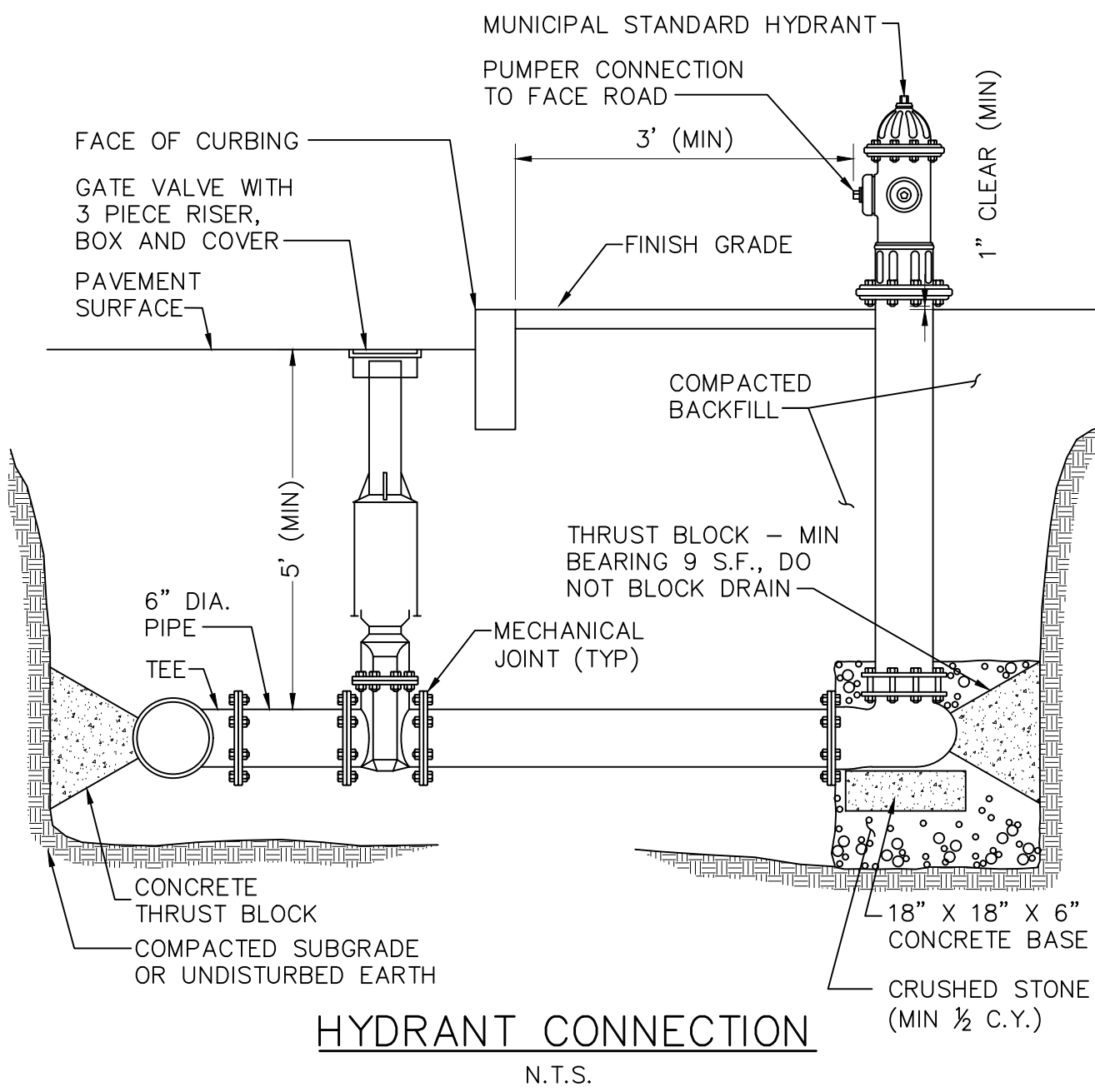


- NOTE:
1. W = MAXIMUM ALLOWABLE TRENCH WIDTH TO A PLANE 12" ABOVE THE PIPE FOR PIPES 15" NOMINAL DIAMETER OR LESS. W SHALL ALSO BE 24" PLUS PIPE DIAMETER

UTILITY TRENCH SECTION
N.T.S.

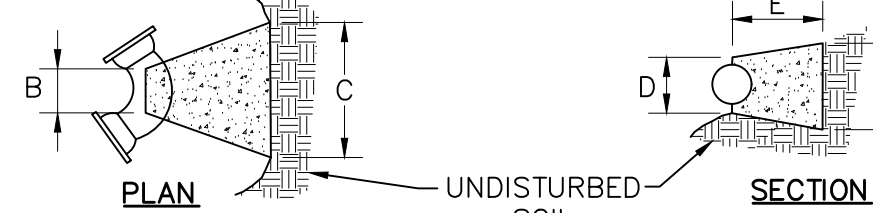


SEWER PIPE CONNECTION
N.T.S.

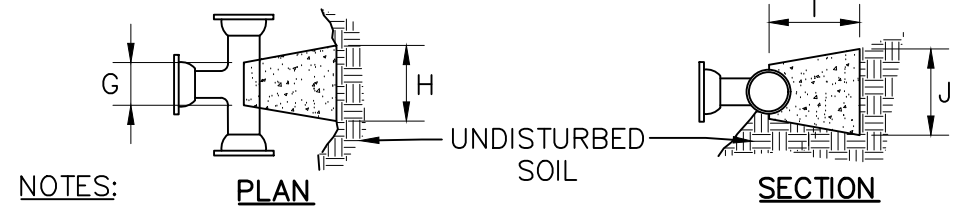


CONDUIT TRENCH DETAIL
N.T.S.

BENDS					BENDS					
	B	C	D	E		B	C	D	E	F
6" 11-1/4"	8" 15"	12" 24"	12" 24"	12" 24"	6" 45"	8" 30"	12" 24"	14"		
6" 22-1/2"	8" 19"	12" 24"	13" 6"	90"	8" 30"	12" 24"	27"			
8" 11-1/4"	8" 20"	12" 24"	12" 8"	45"	8" 30"	12" 24"	24"			
8" 22-1/2"	8" 22"	12" 24"	17" 8"	90"	8" 38"	12" 24"	36"			
12" 11-1/4"	8" 30"	12" 24"	15" 12"	45"	8" 40"	12" 24"	40"			
12" 22-1/2"	8" 35"	12" 24"	25" 12"	90"	8" 60"	12" 24"	52"			

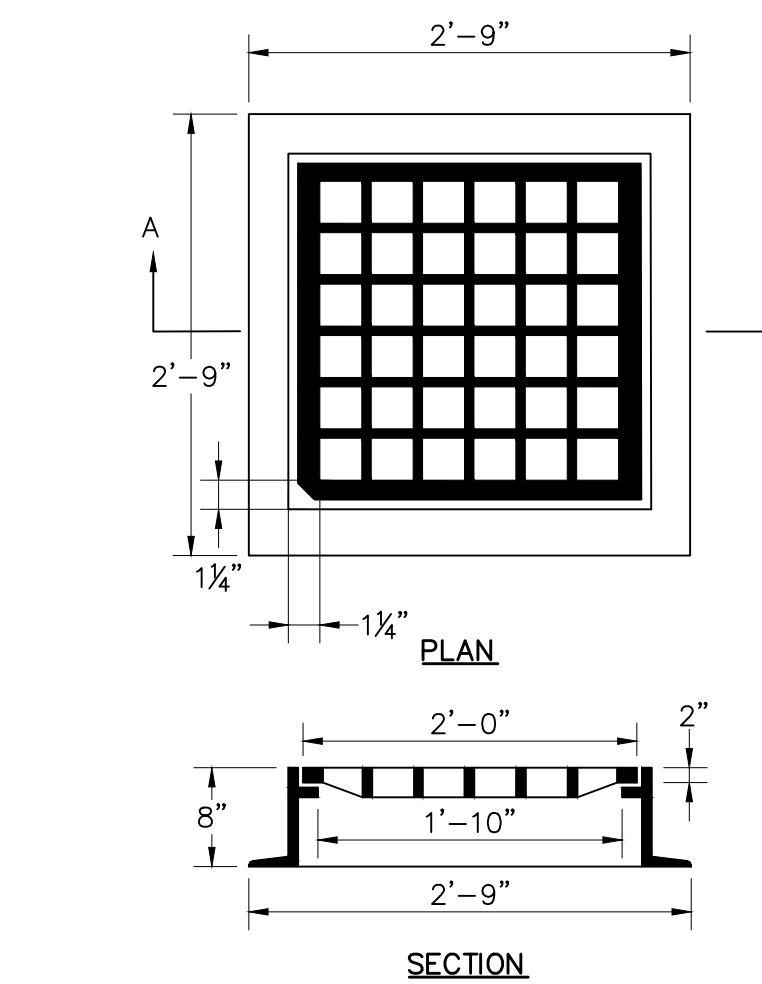


TEES	G	H	I	J	TEES	G	H	I	J
6" X 6" X 6"	12"	24"	24"	18"	12" X 12" X 6"	12"	24"	24"	18"
8" X 8" X 6"	12"	24"	24"	18"	12" X 12" X 8"	12"	24"	24"	24"
8" X 8" X 8"	12"	24"	24"	24"	12" X 12" X 12"	12"	36"	24"	36"

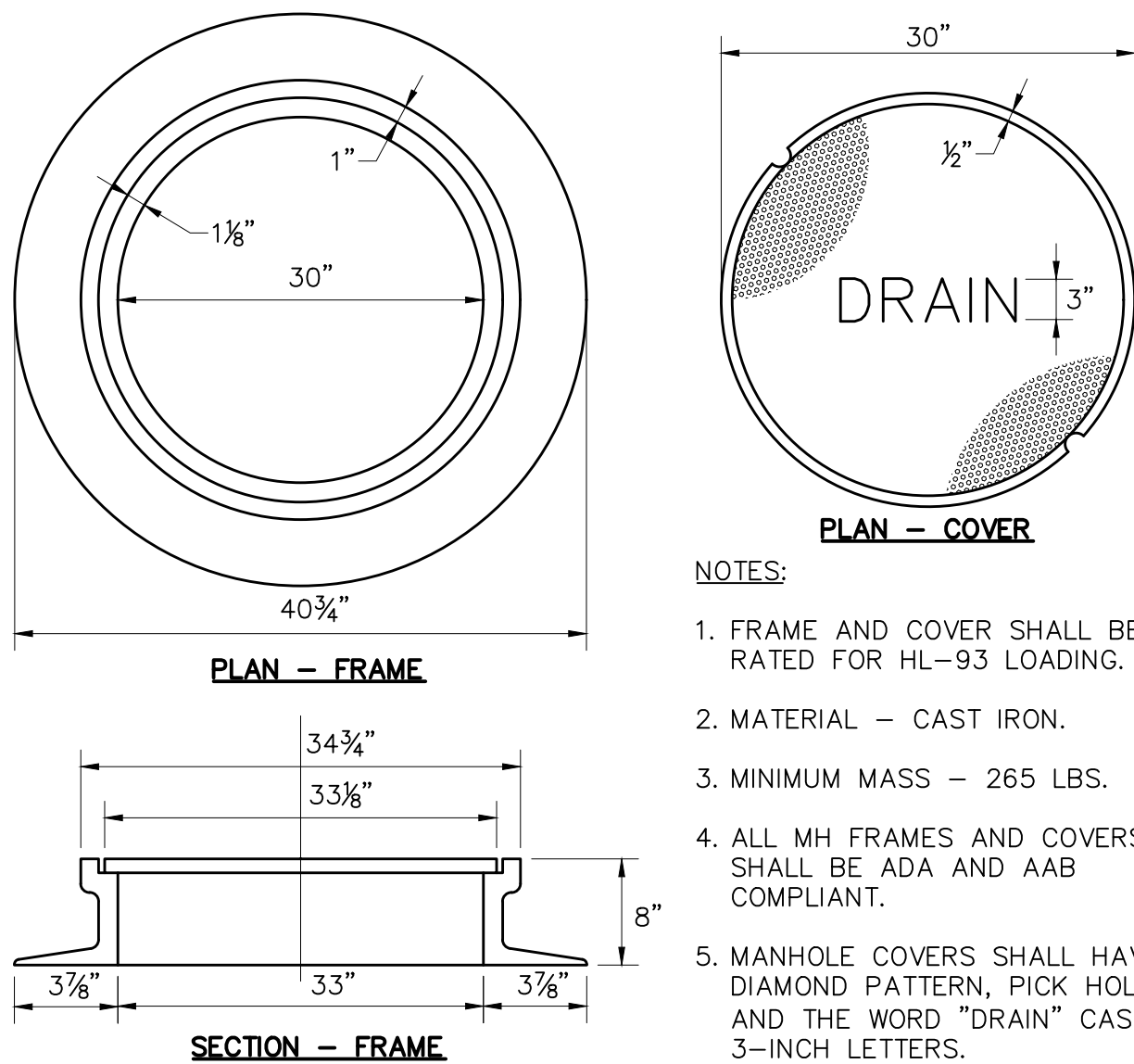


- NOTES:
1. PROVIDE BLOCKS FOR TAPPING SLEEVES, DEAD ENDS, GATE VALVES AND VERTICAL BENDS, SAME SIZE AS REQ. FOR TEES. PROVIDE ANCHOR RODS AT VERTICAL BENDS AND GATE VALVES.
 2. CONCRETE SHALL NOT BE PLACED AGAINST PIPE BEYOND FITTING.
 3. CONCRETE SHALL BE 3000 PSI - TYPE 1

CONCRETE THRUST BLOCK
N.T.S.

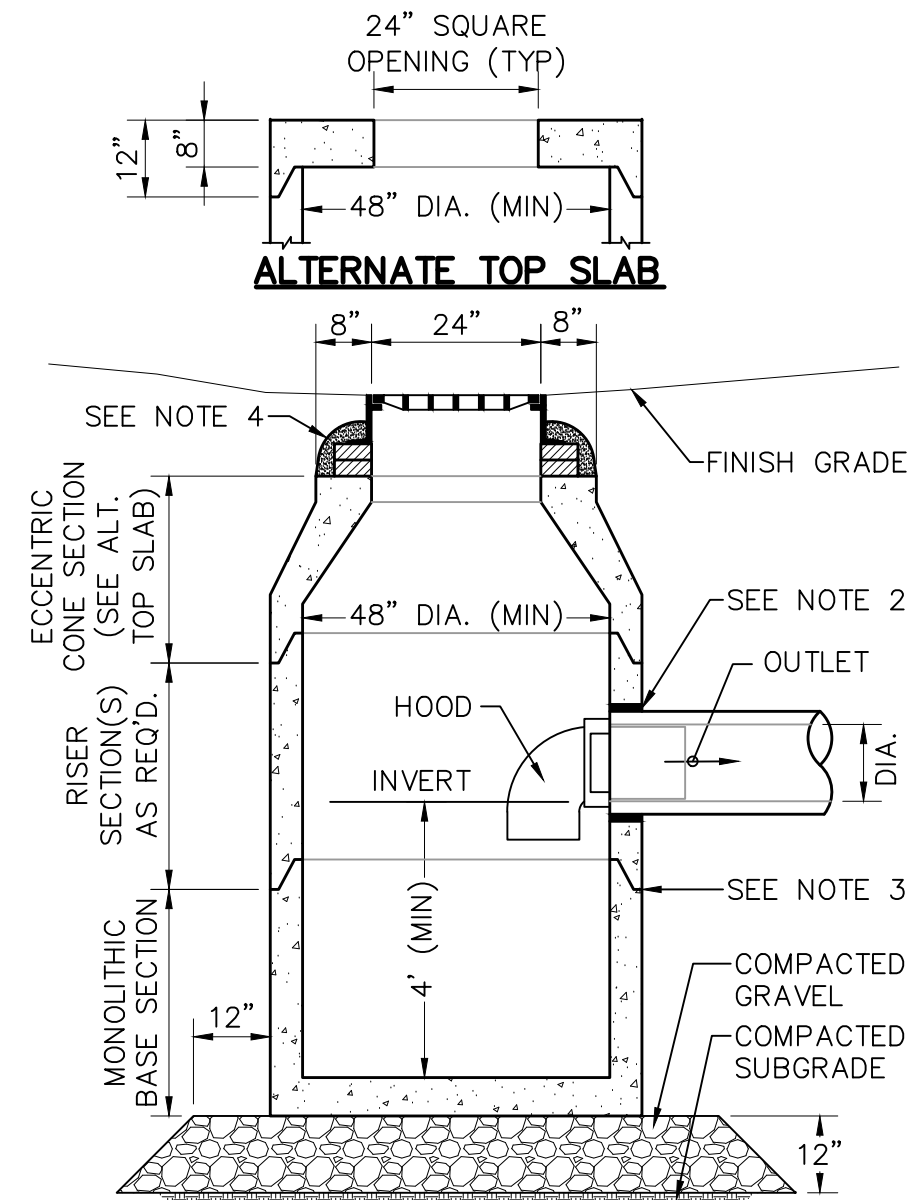


CATCH BASIN FRAME & GRATE
N.T.S.



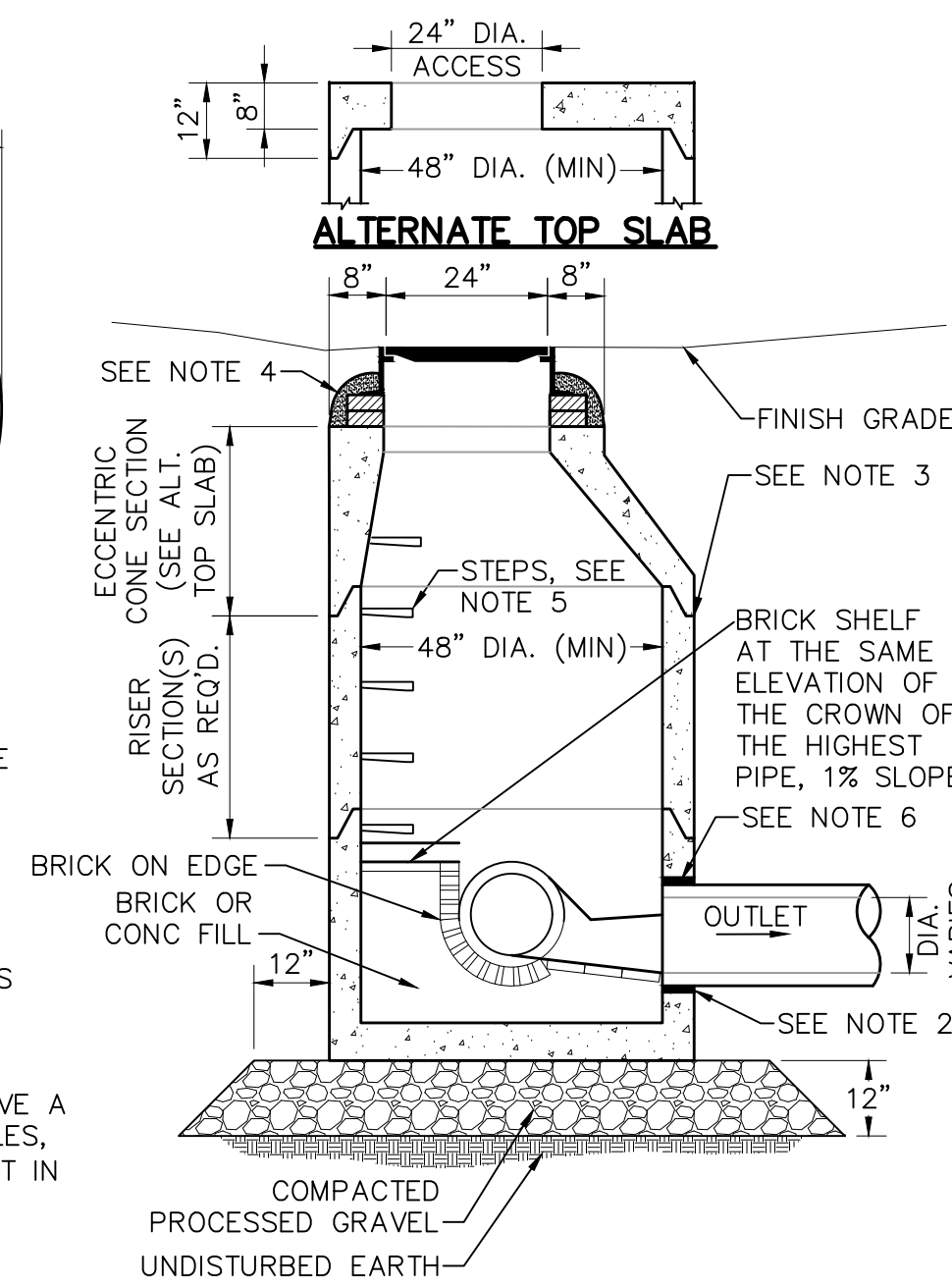
MANHOLE FRAME & COVER
N.T.S.

- NOTES:
1. FRAME AND COVER SHALL BE RATED FOR HL-93 LOADING.
 2. MATERIAL - CAST IRON.
 3. MINIMUM MASS - 265 LBS.
 4. ALL MH FRAMES AND COVERS SHALL BE ADA AND AAB COMPLIANT.
 5. MANHOLE COVERS SHALL HAVE A DIAMOND PATTERN, PICK HOLES, AND THE WORD "DRAIN" CAST IN 3-INCH LETTERS.



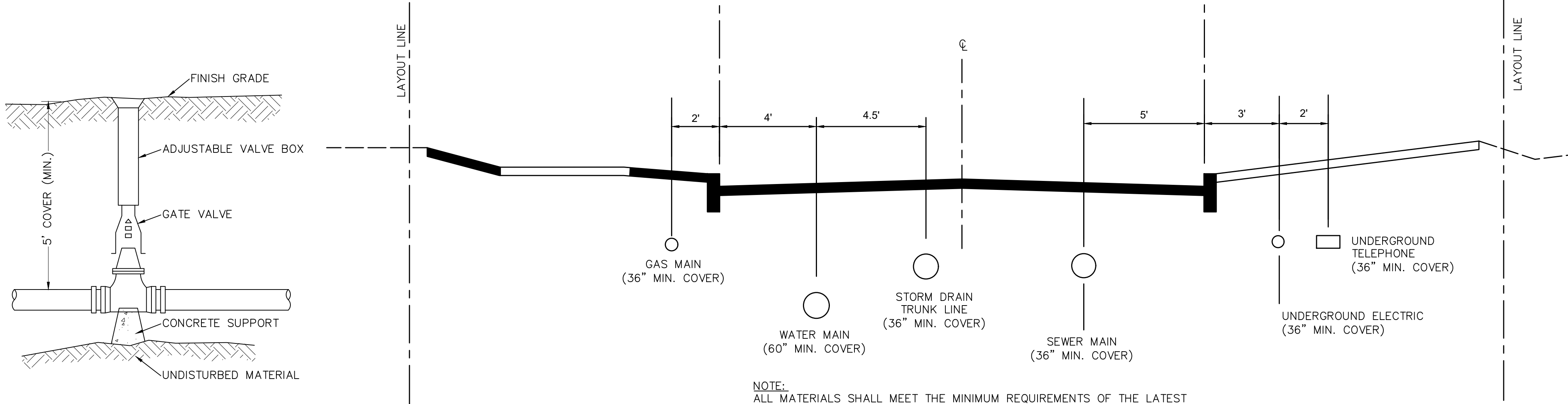
DEEP SUMP CATCH BASIN WITH HOOD
N.T.S.

- NOTES:
1. ALL SECTIONS SHALL BE DESIGNED FOR HS-20 LOADING.
 2. PROVIDE "V" KNOCKOUTS FOR PIPES WITH 2" MAX CLEARANCE TO OUTSIDE OF PIPE. MORTAR ALL PIPE CONNECTIONS.
 3. JOINT SEALANT BETWEEN PRECAST SECTIONS SHALL BE PREFORMED BUTYL RUBBER.
 4. CATCH BASIN FRAME AND GRATE SHALL BE SET IN FULL MORTAR BED. ADJUST TO GRADE WITH CLAY BRICK AND MORTAR. (2 COURSES TYP 5 COURSES MAX)



DRAIN/SEWER MANHOLE
N.T.S.

- NOTES:
1. ALL SECTIONS SHALL BE DESIGNED FOR HS-20 LOADING.
 2. PROVIDE "V" KNOCKOUTS FOR PIPES WITH 2" MAX CLEARANCE TO OUTSIDE OF PIPE. MORTAR ALL PIPE CONNECTIONS.
 3. RUBBER "O"-RING GASKET OR PREFORMED FLEXIBLE JOINT SEALANT PER ASTM C-443 AND FED SPEC SS-S-210A.
 4. DRAIN MANHOLE FRAME AND COVER SHALL BE SET IN FULL MORTAR BED. ADJUST TO GRADE WITH CLAY BRICK AND MORTAR. (2 COURSES TYP 5 COURSES MAX)
 5. ALUMINUM STEPS 6061 T-6 EMBEDDED PORTION COATED WITH BITUMASTIC - 12" OC OR COPOLYMER POLYPROPYLENE (STEEL) STEPS PER ASTM A-815 (FOR SEWER MANHOLES ONLY).
 6. FOR DRAINAGE MANHOLES: HYDRAULIC CEMENT MORTAR, FOR SEWER MANHOLES: KOR-N-SEAL NEOPRENE RUBBER BOOT.
 7. ALL MANHOLES SHALL CONFORM TO TOWN OF SALEM STANDARDS, IN THE EVENT OF A CONFLICT, THE CITY STANDARD DETAILS SHALL GOVERN.



- NOTE:
- ALL MATERIALS SHALL MEET THE MINIMUM REQUIREMENTS OF THE LATEST MASSDOT STANDARD SPECIFICATIONS FOR HIGHWAYS AND BRIDGES AS AMENDED.

TYPICAL ROADWAY UTILITIES SECTION
N.T.S.



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REVISIONS

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PROJECT TITLE

King Street Commons -
Master Plan

PROJECT LOCATION

550 King Street,
Littleton, MA

DRAWING TITLE

Construction Details

PROJECT NO.

T1180

TEC CAD FILE

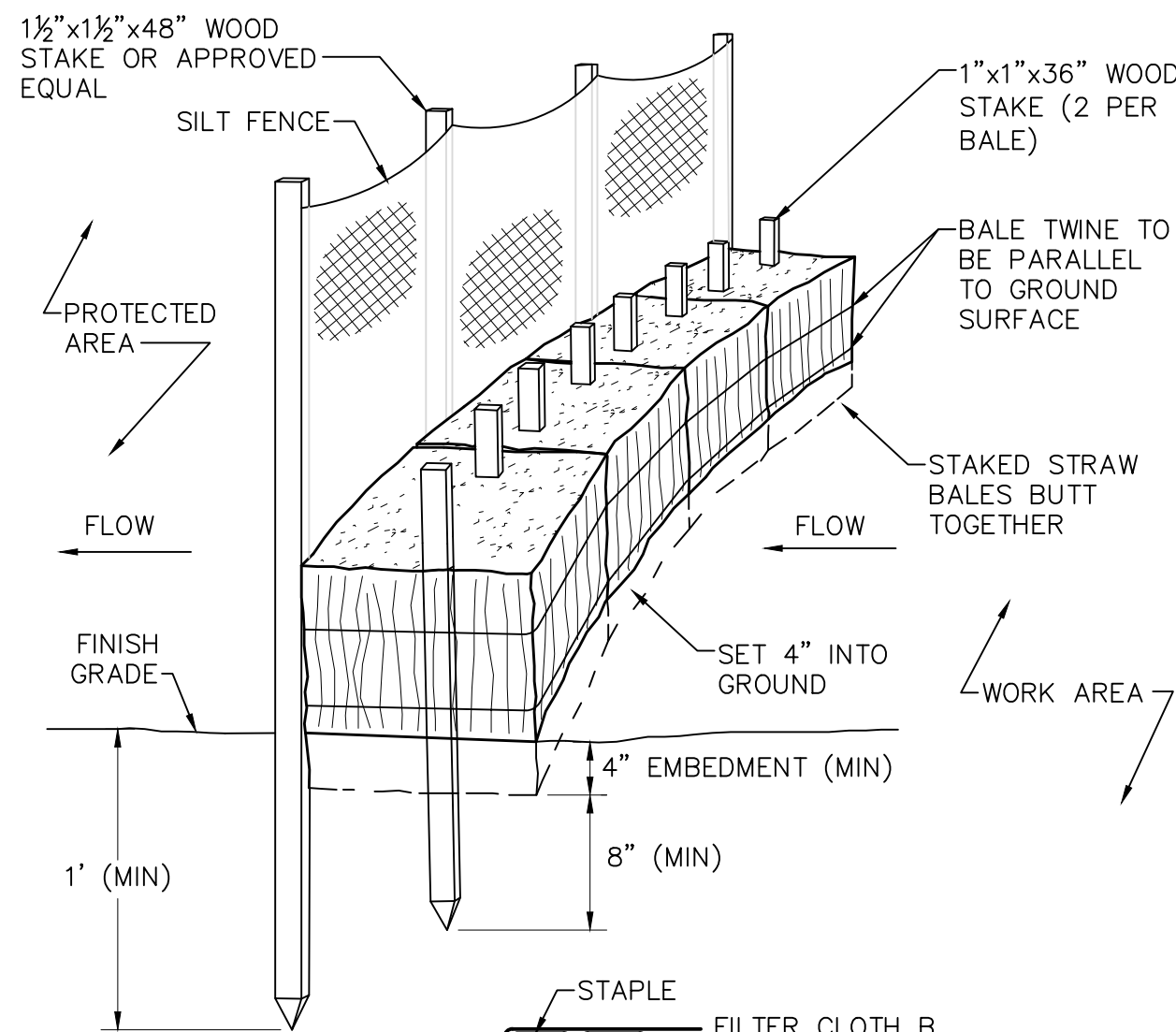
T1180_DET

DRAWING NO.

C-11

SHEET 11 OF 12



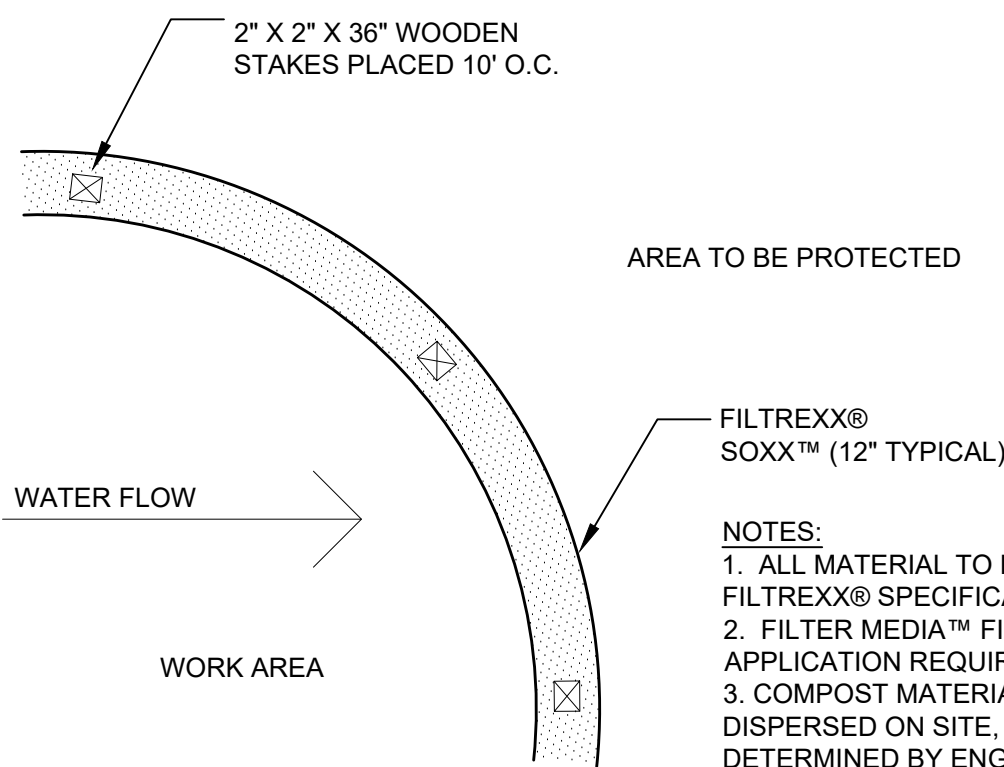
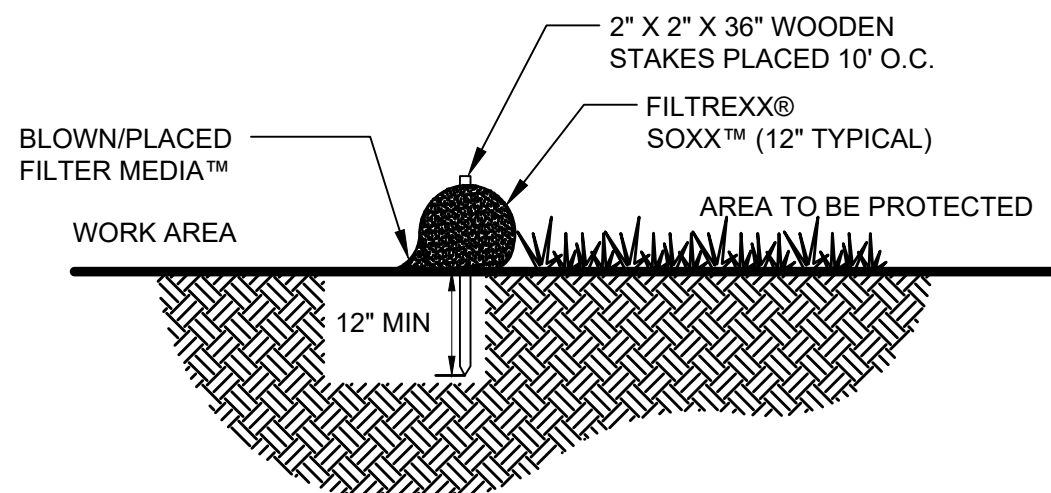


NOTES:

1. FILTER CLOTH SHALL BE FASTENED SECURELY TO POSTS WITH STAPLES. POSTS SHALL BE SPACED 8'-10' ON CENTER.
2. WHEN TWO SECTIONS OF FILTER CLOTH ADJOIN EACH OTHER THEY SHALL BE OVERLAPPED BY SIX INCHES AND FOLDED.
3. ENTRENCH SILT FENCE BUT NOT HAY BALES.
4. INSPECTIONS SHALL BE FREQUENT AND REPAIR OR REPLACEMENT SHALL BE MADE PROMPTLY AS NEEDED, OR WHEN SEDIMENT ACCUMULATES TO HALF THE HEIGHT OF FENCING.

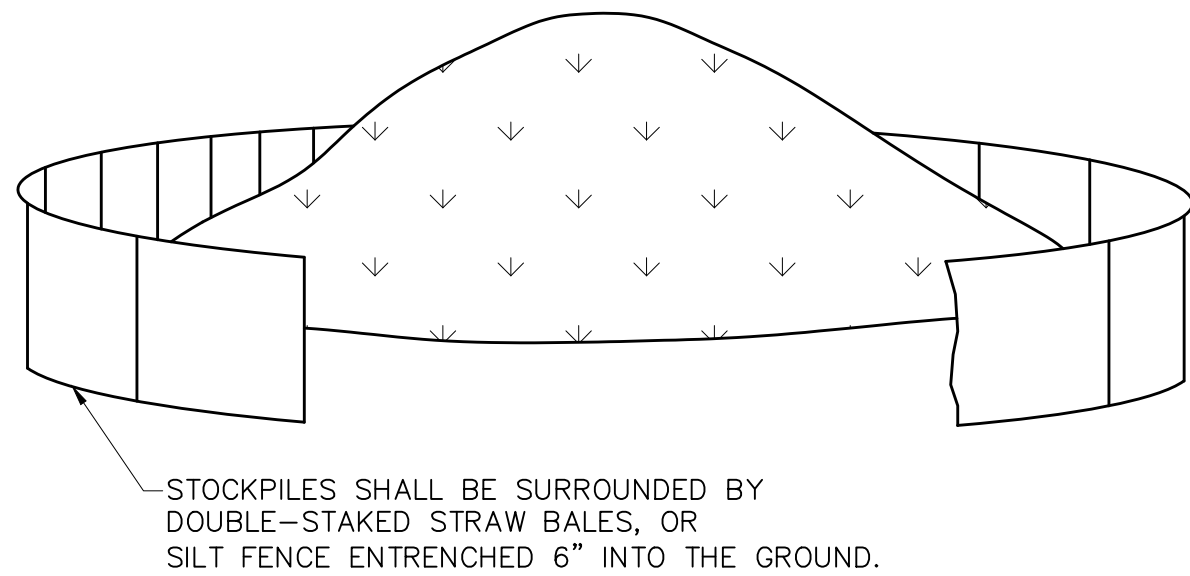
WOOD STAKE JOINT DETAIL

N.T.S.



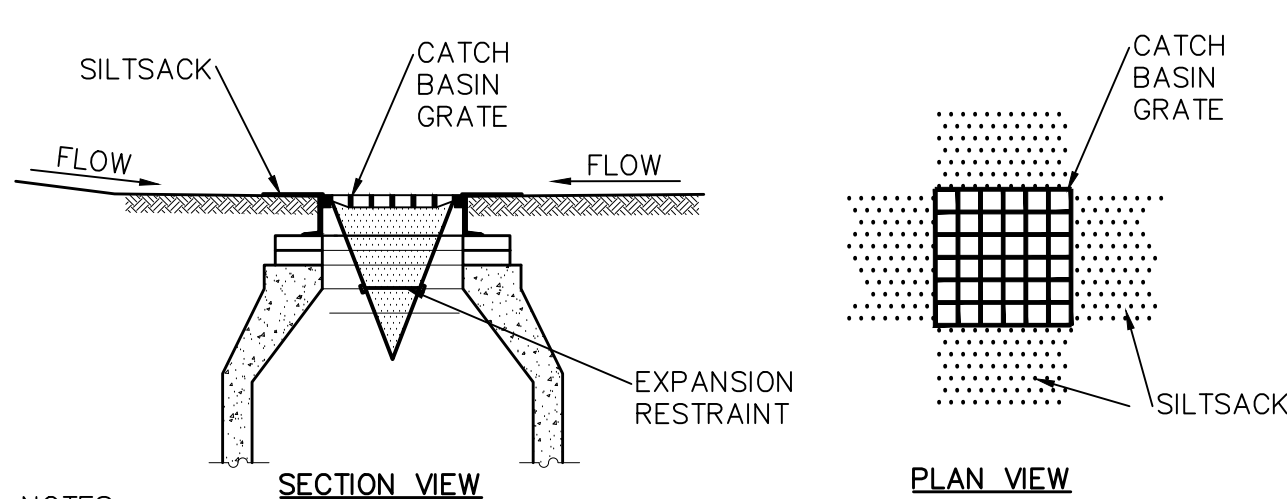
SILTISOXX PERIMETER EROSION BARRIER DETAIL

N.T.S.



SOIL STOCKPILE

N.T.S.

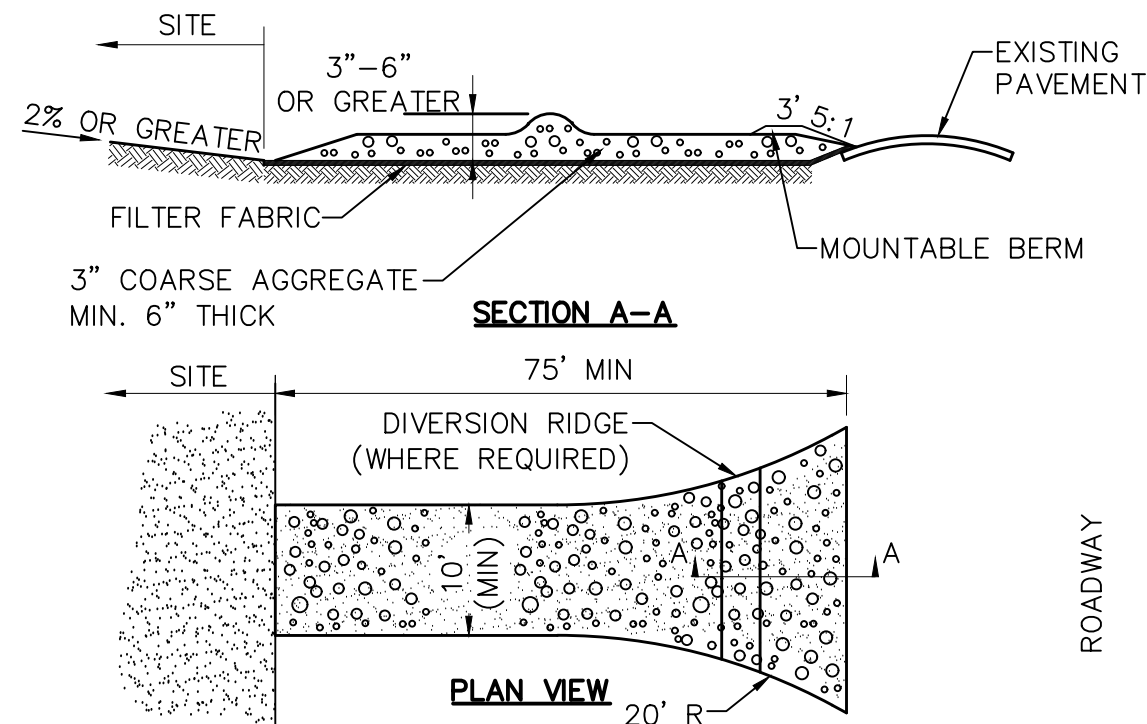


NOTES:

1. INSTALL SILTSACK IN EXISTING CATCH BASINS BEFORE COMMENCING WORK, AND IN NEW CATCH BASINS IMMEDIATELY AFTER INSTALLATION OF STRUCTURE. MAINTAIN UNTIL BINDER COURSE PAVING IS COMPLETE OR A PERMANENT STAND OF GRASS HAS BEEN ESTABLISHED.
2. GRATE TO BE PLACED OVER SILTSACK.
3. SILTSACK SHALL BE INSPECTED PERIODICALLY AND AFTER ALL STORM EVENTS AND CLEANING OR REPLACEMENT SHALL BE PERFORMED PROMPTLY AS NEEDED.

INLET PROTECTION – SILT SACK IN CATCH BASIN

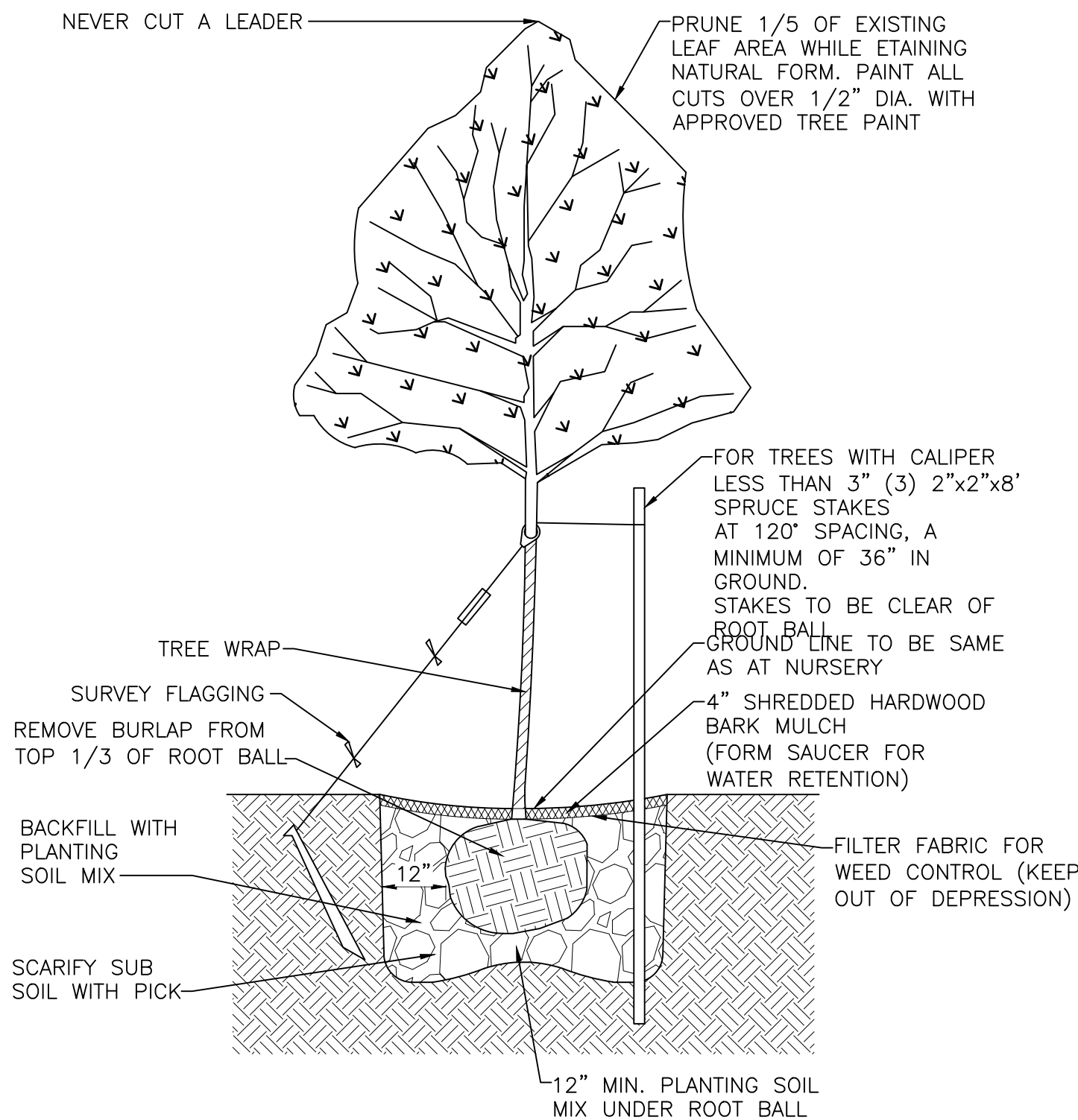
N.T.S.



1. ENTRANCE WIDTH SHALL BE A TWENTY-FIVE (25) FOOT MINIMUM, BUT NOT LESS THAN THE FULL WIDTH AT POINTS WHERE INGRESS OR EGRESS OCCURS.
2. THE ENTRANCE SHALL BE MAINTAINED IN A CONDITION WHICH SHALL PREVENT TRACKING OR FLOWING OF SEDIMENT ONTO PUBLIC RIGHTS-OF-WAY. THIS MAY REQUIRE PERIODIC TOP DRESSING WITH ADDITIONAL STONE AS CONDITIONS DEMAND AND REPAIR OR CLEANOUT OF ANY MEASURES USED TO TRAP SEDIMENT. ALL SEDIMENT SPILLED, DROPPED, WASHED OR TRACKED ONTO PUBLIC RIGHTS-OF-WAY MUST BE REMOVED IMMEDIATELY. BERM SHALL BE PERMITTED. PERIODIC INSPECTION AND MAINTENANCE SHALL BE PROVIDED AS NEEDED.
3. STABILIZED CONSTRUCTION EXIT SHALL BE REMOVED PRIOR TO FINAL FINISH MATERIALS BEING INSTALLED.

STABILIZED CONSTRUCTION EXIT

N.T.S.

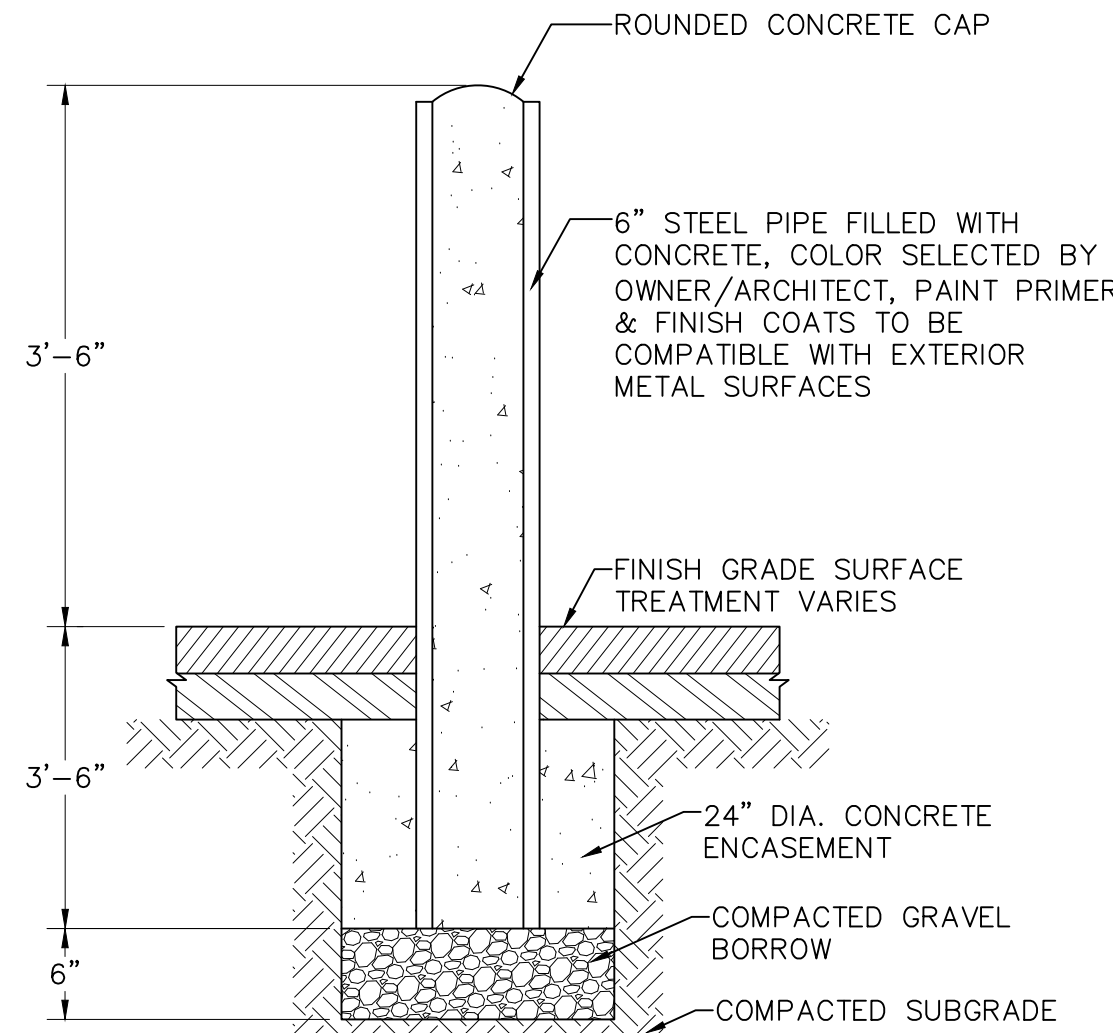


NOTE:

1. DOUBLE PLANTING SOIL MIX DIMENSIONS IN LEDGE

DECIDUOUS TREE PLANTING DETAIL

N.T.S.

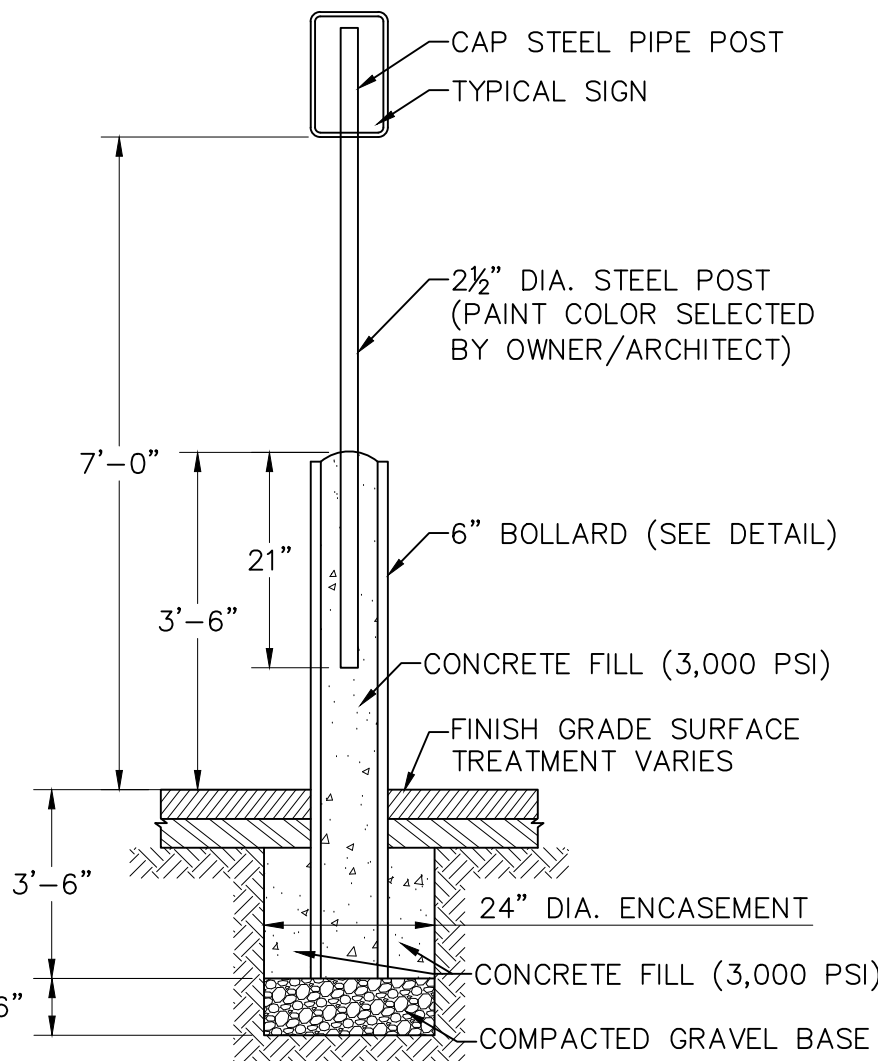


NOTES:

1. BOLLARDS SHALL BE PLACED IN ACCORDANCE WITH THE ADA ACCESSIBILITY GUIDELINES. A MINIMUM CLEAR WIDTH OF 36" SHALL BE PROVIDED TO MAINTAIN AN ACCESSIBLE PATH.
2. BOLLARDS SHALL BE INSTALLED TO PROTECT ALL SERVICE CONNECTIONS, METERS, AND REAR BUILDING CORNERS IN PROPOSED AREAS.

BOLLARD

N.T.S.

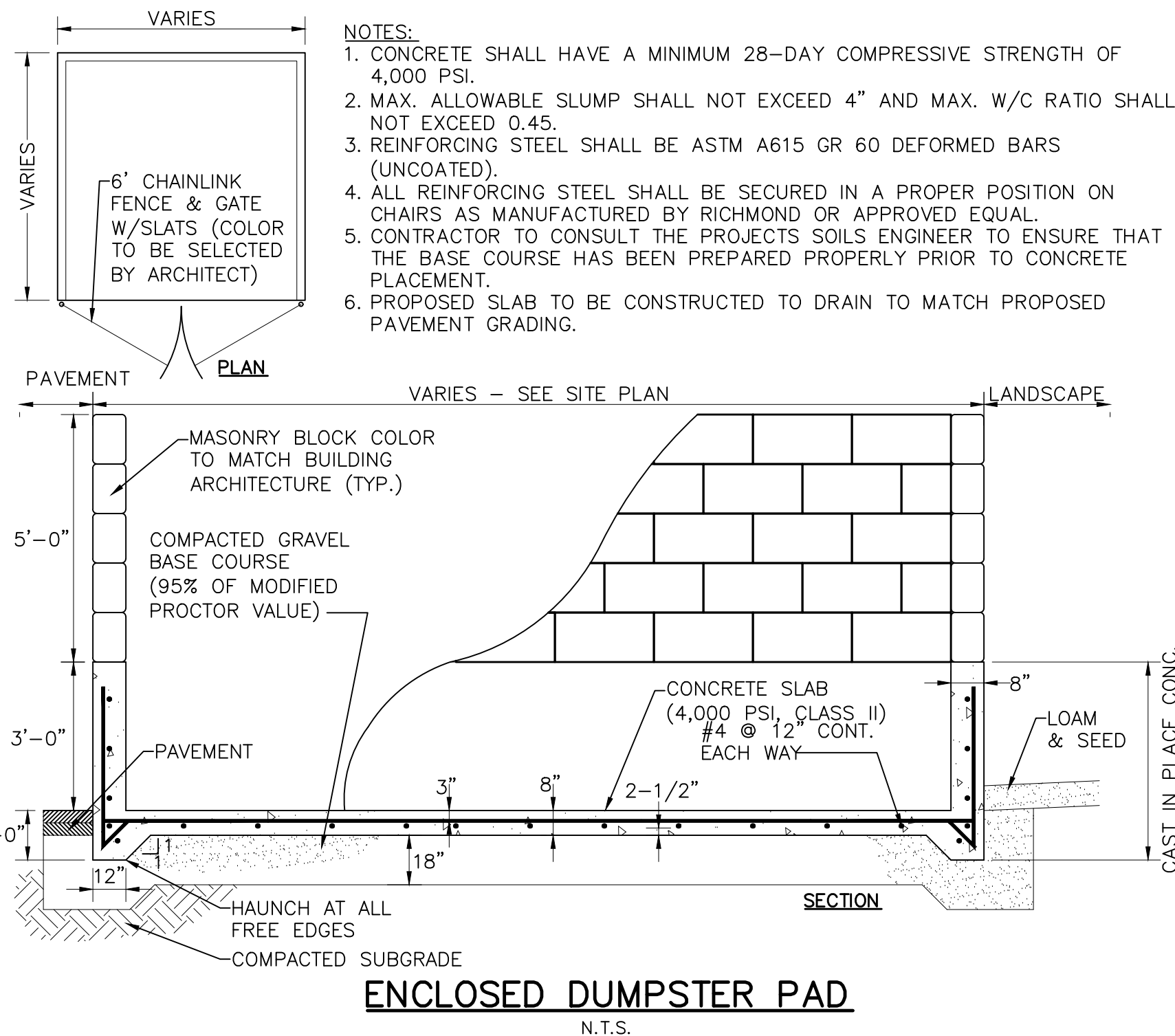


BOLLARD MOUNTED SIGN

N.T.S.

NOTES:

1. CONCRETE SHALL HAVE A MINIMUM 28-DAY COMPRESSIVE STRENGTH OF 4,000 PSI.
2. MAX. ALLOWABLE SLUMP SHALL NOT EXCEED 4" AND MAX. W/C RATIO SHALL NOT EXCEED 0.45.
3. REINFORCING STEEL SHALL BE ASTM A615 GR 60 DEFORMED BARS (UNCOATED).
4. ALL REINFORCING STEEL SHALL BE SECURED IN A PROPER POSITION ON CHAIRS AS MANUFACTURED BY RICHMOND OR APPROVED EQUAL.
5. CONTRACTOR TO CONSULT THE PROJECTS SOILS ENGINEER TO ENSURE THAT THE BASE COURSE HAS BEEN PREPARED PROPERLY PRIOR TO CONCRETE PLACEMENT.
6. PROPOSED SLAB TO BE CONSTRUCTED TO DRAIN TO MATCH PROPOSED PAVEMENT GRADING.



TEC, Inc.
146 Dascomb Road
Andover, MA 01810
978-794-1792

www.TheEngineeringCorp.com

DESIGNED BY	CPR
DRAWN BY	MWP
CHECKED BY	RJF
DATE	3/22/2022
SCALE	AS NOTED

PREPARED FOR

550 King Street, LLC
290 Merrimack Street
Lawrence, MA 01843

REVISIONS

ISSUED FOR

Permitting

PROJECT TITLE

King Street Commons -
Master Plan

PROJECT LOCATION

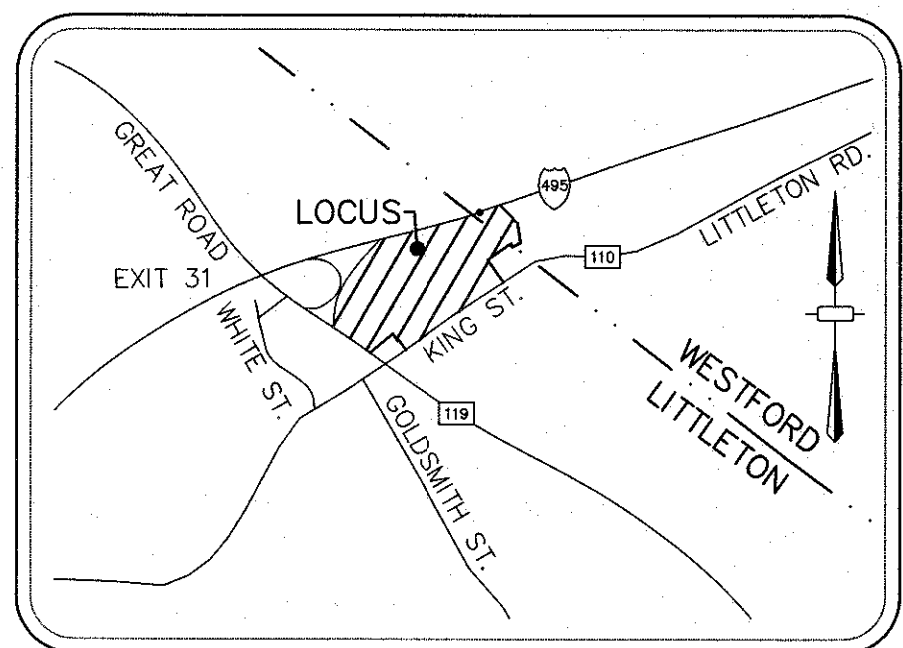
550 King Street,
Littleton, MA

DRAWING TITLE

Construction Details

PROJECT NO.	T1180
TEC CAD FILE	T1180_DET
DRAWING NO.	C-12
SHEET	12 OF 12





Vicinity Map

Miscellaneous Notes

1. THERE WAS NO OBSERVED EVIDENCE OF CEMETERIES OR BURIAL GROUNDS ON THE SUBJECT PROPERTY.
2. THERE WAS NO EVIDENCE OBSERVED AT THE TIME OF SURVEY THAT THE SITE IS OR WAS BEING USED AS A SOLID WASTE DUMP, SUMP OR SANITARY LANDFILL.
3. LOCUS PARCEL IS SHOWN AS LOT 10 ON LITTLETON ASSESSOR'S MAP NO. U-8 AND AS LOT 7 ON WESTFORD ASSESSOR'S MAP NO. 10.
4. THE PROPERTY SHOWN HEREON IS THE SAME AS THAT DESCRIBED IN TITLE COMMITMENT NO. 1002-151153MA1-RTT, PREPARED BY FIRST AMERICAN TITLE INSURANCE COMPANY, DATED JUNE 5, 2015.

Utility Note

THE LOCATION OF ALL UNDERGROUND UTILITIES SHOWN ON THIS PLAN ARE APPROXIMATE ONLY AND ARE BASED UPON A FIELD SURVEY AND A COMPILATION OF AVAILABLE PLANS OF RECORD. NEITHER WARRANTY NOR GUARANTEE OF THE INFORMATION IS PROVIDED. THE CONTRACTOR SHALL VERIFY THE LOCATIONS OF ALL UTILITIES BY CONTACTING THE RESPECTIVE UTILITY COMPANIES AND "DIG-SAFE" (1-888-344-7233) PRIOR TO CONSTRUCTION.

DRAIN — D — WATER — W —
OVERHEAD WIRE — OHW — ELECTRIC — E —
GAS — G —

FLOOD NOTE:
By graphic plotting only, this property is in Zone "X" of the Flood Insurance Rate Map No. 2501700236F, which bears on effective date of July 7, 2015 and is not in a Special Flood Hazard Area.

Schedule "A" Legal Description

TRACT I — 550 KING STREET

All that certain parcel of land in the Town of Littleton and partially in the Town of Westford, County of Middlesex, and Commonwealth of Massachusetts bounded and described as follows:

Beginning at a drill hole in a stone bound at the intersection of the southeasterly line of Interstate Route 495 with the easterly line of Great Road; thence N 45° 40' 20" E for a distance of 708.16 feet to a point; thence N 87° 37' 27" E for a distance of 1684.89 feet to a drill hole in a Massachusetts Highway bound; thence N 37° 43' 38" W for a distance of 61.31 feet to a drill hole in a Massachusetts Highway Bound; thence N 87° 37' 27" E for a distance of 252.35 feet to a point, the last four courses being by Interstate Route 495; thence S 22° 55' 45" E for a distance of 99.16 feet to a point; thence Along a non-tangent curve to the left with a radius of 280.00 feet, an arc length of 27.00 feet, a chord bearing S 20° 10' 03" E, and a chord length of 27.04 feet to a point; thence S 22° 41' 45" E for a distance of 61.03 feet to a point; thence S 00° 20' 28" W for a distance of 180.44 feet to a point, the last four courses being by the westerly line of Shea Street; thence S 75° 34' 41" W by land now or formerly of Acton Crossroads for a distance of 94.97 feet to a point; thence N 00° 41' 10" E for a distance of 55.00 feet to a point; thence S 73° 05' 00" W for a distance of 383.91 feet to a point; thence S 18° 23' 30" E for a distance of 255.00 feet to a point on the northwesterly line of King Street, the last three courses being by land now or formerly of Wei-Jen Ong & Chia-Ping Ong; thence Along said northwesterly line along a curve to the left with a radius of 2808.73 feet, an arc length of 121.47 feet, a chord bearing S 67° 31' 55" W, and a chord length of 121.46 feet to a point; thence Along said northwesterly line along a curve to the right with a radius of 5600.00 feet, an arc length of 159.33 feet, a chord bearing S 67° 06' 29" W, and a chord length of 159.32 feet to a point; thence N 18° 25' 52" W for a distance of 147.64 feet to a point; thence N 51° 08' 26" W for a distance of 124.89 feet to a point; thence S 23° 21' 57" W for a distance of 65.02 feet to a point; thence S 20° 55' 07" E for a distance of 210.13 feet to a point on the northwesterly line of King Street, the last four courses being by land now or formerly of Veterans of Foreign Wars Association; thence Along said northwesterly line along a curve to the right with a radius of 5600.00 feet, an arc length of 170.39 feet, a chord bearing S 69° 50' 18" W, and a chord length of 170.38 feet to a point; thence S 70° 42' 36" W along said northwesterly line for a distance of 446.47 feet to a point; thence S 70° 23' 30" W along said northwesterly line for a distance of 478.15 feet to a point; thence N 15° 43' 06" W for a distance of 110.48 feet to a point; thence S 70° 13' 35" W for a distance of 12.62 feet to a point; thence N 17° 14' 48" W for a distance of 100.00 feet to a point; thence S 70° 09' 28" W for a distance of 136.34 feet to a drill hole in a stone wall, the last four courses being by land now or formerly of Patrick R. Forsyth, Trustee; thence S 64° 31' 34" W for a distance of 90.01 feet to a point; thence S 64° 46' 25" W for a distance of 172.28 feet to a point on the northeasterly line of Great Road, the last two courses being by land now or formerly of Mobil Oil Corporation; thence N 39° 30' 00" W along said northeasterly line for a distance of 7.17 feet to a drill hole in a stone bound; thence N 50° 30' 00" E along the southeasterly line of Great Road for a distance of 20.00 feet to a point; thence N 39° 30' 00" W along the northeasterly line of Great Road for a distance of 321.89 feet to a drill hole in a stone bound; thence N 17° 17' 17" W by the easterly line of Great Road for a distance of 271.15 feet to the point of beginning.

Shown as Lot 1 on the plan entitled "Plan of Land in Littleton and Westford, MA, prepared for AG/ND King, L.L.C.", prepared by Coneco Engineers, Scientists & Land Surveyors, recorded in the Middlesex South Registry of Deeds as Plan No. 538 of 2006 and containing 1,774,160 square feet, more or less, and 40.729 acres, more or less, according to said plan.

TRACT II — 560 KING STREET

A certain parcel of land with the buildings and improvements thereon in the Town of Littleton, Middlesex County, Massachusetts, bounded and described as follows:
Beginning at the southwesterly corner of the herein described parcel at a point on the northerly line of King Street in said Littleton; thence along the northerly line of King Street along a curve to the right with a radius of 5600.00 feet, and an arc length of 101.99 feet; thence N 18° 25' 52" W for a distance of 147.64 feet to a point; thence N 51° 08' 26" W for a distance of 124.89 feet to a point; thence S 23° 31' 36" W for a distance of 65.02 feet to a point; thence S 20° 55' 07" E for a distance of 210.13 feet to the point of beginning, the previous four courses being by land now or formerly of AG/ND King, L.L.C.

The foregoing property is shown as "Parcel A", VETERANS OF FOREIGN WARS ASSOCIATION, Book 10359, Page 124, AREA: 22,838± S.F., ASSESSOR'S MAP U-8, LOT 14, #560 KING STREET on a plan entitled "Plan of Land, 550 & 560 King Street, Littleton, MA, Prepared for AG/ND King, L.L.C.", January 30, 2008, prepared by Coneco Engineers, Scientists & Land Surveyors, and recorded herewith in the Middlesex South District Registry of Deeds as Plan No. 82 of 2008.

Surveyor's Certification

To: LSREFA Turtle (King Street), LLC; Republic Title of Texas, Inc.; JPMORGAN CHASE BANK, NATIONAL ASSOCIATION, WELLS FARGO BANK, NATIONAL ASSOCIATION and COLUMBIA FINANCIAL, INC., their successors and/or assigns (collectively, the "Mortgage Loan Lender") and JPMORGAN CHASE BANK, NATIONAL ASSOCIATION, WELLS FARGO BANK, NATIONAL ASSOCIATION and COLUMBIA FINANCIAL, INC., their successors and/or assigns (collectively, the "Mezzanine Loan Lender"); and First American Title Insurance Company.

This is to certify that this map or plat and the survey on which it is based were made in accordance with the 2011 Minimum Standard Detail Requirements for ALTA/ACSM Land Title Surveys, jointly established and adopted by ALTA and NSPS, and includes Items 1, 2, 3, 4, 6(b), 7(a), 7(b)(1), 7(c), 8, 9, 11a, 13, 14, 16, 18, 19, 20(a), and 21 of Table A thereof.

The field work was completed on June 5, 2015.

Timothy S. Bodah
Registration No. 46110
Date of last revision: August 21, 2015



550 KING STREET
LITTLETON, MA

PREPARED FOR:	HUNTON & WILLIAMS LLP		
SCALE	DATE	ACAD FILE	JOB NO.
1"=60'	08/21/15	2066.1	2066.1

60' 0 60' 120'
SCALE IN FEET

PREPARED BY
CONECO
Engineers & Scientists

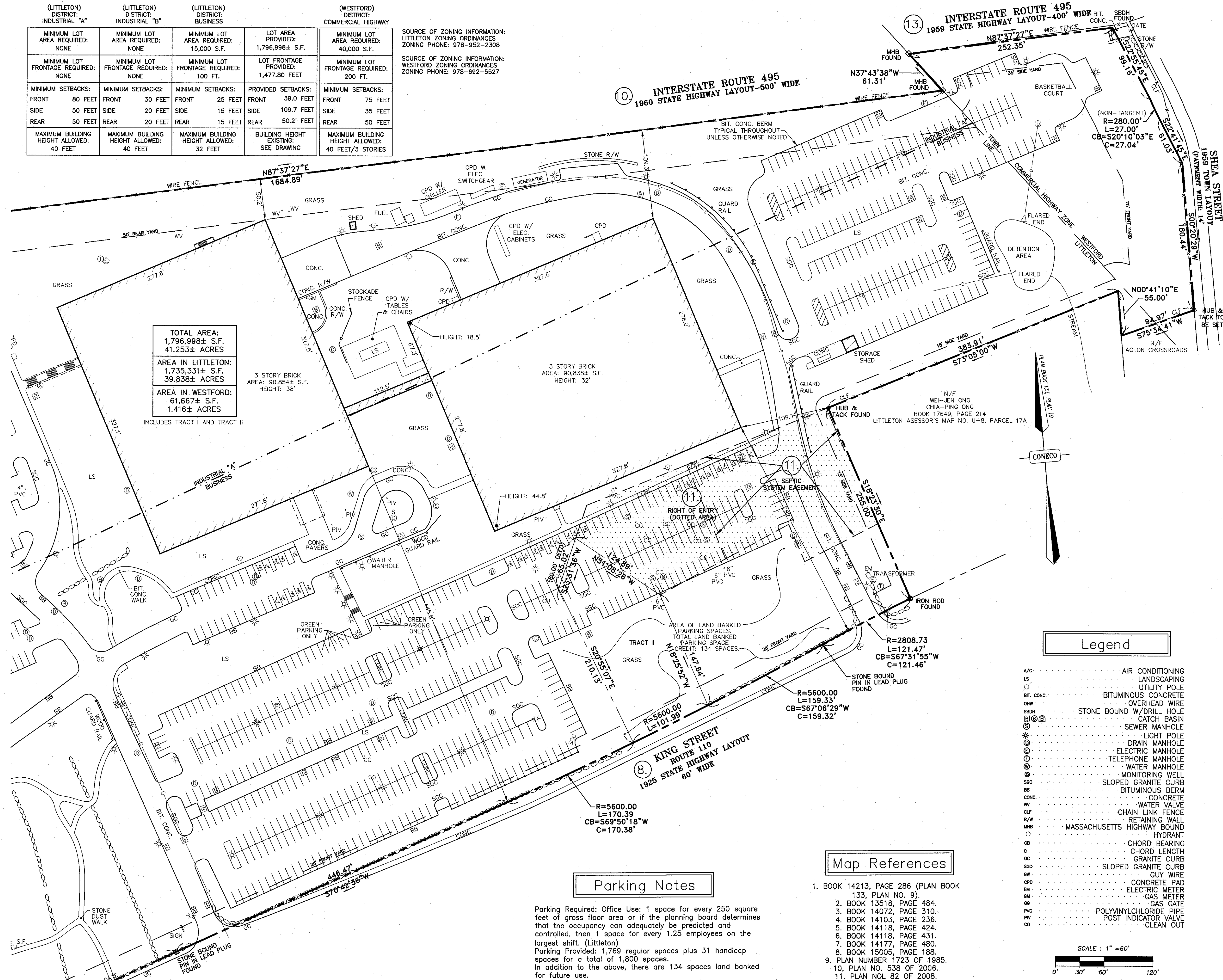
4 First Street - Bridge water, Massachusetts 02324
Telephone: (508) 697-3191 Toll free: (800) 548-3355 Facsimile: (508) 697-5996

Zoning Information

(LITTLETON) DISTRICT: INDUSTRIAL "A"	(LITTLETON) DISTRICT: INDUSTRIAL "B"	(LITTLETON) DISTRICT: BUSINESS	(WESTFORD) DISTRICT: COMMERCIAL HIGHWAY
MINIMUM LOT AREA REQUIRED: NONE	MINIMUM LOT AREA REQUIRED: NONE	MINIMUM LOT AREA REQUIRED: 15,000 S.F.	MINIMUM LOT AREA REQUIRED: 40,000 S.F.
MINIMUM LOT FRONTAGE REQUIRED: NONE	MINIMUM LOT FRONTAGE REQUIRED: NONE	MINIMUM LOT FRONTAGE REQUIRED: 100 FT.	MINIMUM LOT FRONTAGE REQUIRED: 200 FT.
MINIMUM SETBACKS: FRONT 80 FEET SIDE 50 FEET REAR 50 FEET	MINIMUM SETBACKS: FRONT 30 FEET SIDE 20 FEET REAR 20 FEET	MINIMUM SETBACKS: FRONT 25 FEET SIDE 15 FEET REAR 15 FEET	MINIMUM SETBACKS: FRONT 75 FEET SIDE 35 FEET REAR 50 FEET
MAXIMUM BUILDING HEIGHT ALLOWED: 40 FEET	MAXIMUM BUILDING HEIGHT ALLOWED: 40 FEET	MAXIMUM BUILDING HEIGHT ALLOWED: 32 FEET	MAXIMUM BUILDING HEIGHT ALLOWED: 40 FEET/3 STORIES

SOURCE OF ZONING INFORMATION:
LITTLETON ZONING ORDINANCES
ZONING PHONE: 978-952-2308

SOURCE OF ZONING INFORMATION:
WESTFORD ZONING ORDINANCES
ZONING PHONE: 978-692-5527



TOTAL AREA:
1,796,998± S.F.
41.253± ACRES
AREA IN LITTLETON:
1,735,331± S.F.
39.838± ACRES
AREA IN WESTFORD:
61,667± S.F.
1.416± ACRES
INCLUDES TRACT I AND TRACT II

3 STORY BRICK
AREA: 90,854± S.F.
HEIGHT: 38'

3 STORY BRICK
AREA: 90,838± S.F.
HEIGHT: 32'

R=5600.00
L=170.39
CB=S69°50'18"W
C=170.38'

Parking Notes

Parking Required: Office Use: 1 space for every 250 square feet of gross floor area or if the planning board determines that the occupancy can adequately be predicted and controlled, then 1 space for every 1.25 employees on the largest shift. (Littleton)
Parking Provided: 1,769 regular spaces plus 31 handicap spaces for a total of 1,800 spaces.
In addition to the above, there are 134 spaces land banked for future use.

Map References

- BOOK 14213, PAGE 286 (PLAN BOOK 133, PLAN NO. 9).
- BOOK 13518, PAGE 484.
- BOOK 14072, PAGE 310.
- BOOK 14103, PAGE 236.
- BOOK 14118, PAGE 424.
- BOOK 14118, PAGE 431.
- BOOK 14177, PAGE 480.
- BOOK 15005, PAGE 188.
- PLAN NUMBER 1723 OF 1985.
- PLAN NO. 538 OF 2006.
- PLAN NOL 82 OF 2008.

Legend

AC	AIR CONDITIONING
LS	LANDSCAPING
UT	UTILITY POLE
BIT. CONC.	BITUMINOUS CONCRETE
OWW	OVERHEAD WIRE
SBDH	STONE BOUND W/DRILL HOLE
CB	CATCH BASIN
SM	SEWER MANHOLE
LP	LIGHT POLE
DM	DRAIN MANHOLE
EM	ELECTRIC MANHOLE
TM	TELEPHONE MANHOLE
WM	WATER MANHOLE
MC	MONITORING WELL
SGC	SLOPED GRANITE CURB
BB	BITUMINOUS BERM
CONC.	CONCRETE
WW	WATER VALVE
CLF	CHAIN LINK FENCE
R/W	RETAINING WALL
MHB	MASSACHUSETTS HIGHWAY BOUND
HY	HYDRANT
CB	CHORD BEARING
C	CHORD LENGTH
GC	GRANITE CURB
SGC	SLOPED GRANITE CURB
GW	GUY WIRE
CPD	CONCRETE PAD
EM	ELECTRIC METER
GM	GAS METER
GG	GAS GATE
PVC	POLYVINYLCHLORIDE PIPE
PW	POST INDICATOR VALVE
CO	CLEAN OUT

SCALE: 1" = 60'
0' 30' 60' 120'

Schedule B-Special Exceptions

(As listed in title commitment number 1002-151153MA1-RTT, prepared by First American Title Insurance Company, with an effective date of June 5, 2015)

- Rights of the public and others entitled thereto in a private way shown on a 1924 plan recorded in Book 3381 Plan 43 and Book 14103 Page 236. Comment: Plotted.
- Taking for the layout of Westford Road n/k/a King Street, dated September 1, 1925, recorded in Book 4895, Page 299. Comment: King Street is plotted hereon.
- 40 foot wide right of way granted by Harry S. Barker to Florence S. Whitcomb by instrument dated July 14, 1924, recorded in Book 4749, Page 222, and to the Inhabitants of the Town of Littleton by instrument dated February 6, 1924 recorded in Book 4812, Page 443. Comment: Plotted.
- Taking for the layout of Interstate Route 495, dated March 15, 1960, recorded in Book 9571, Page 116, as affected by an Order of Conditions, recorded in Book 16139, Page 62, and lack of vehicular and pedestrian access along contiguous boundary. Comment: Route 495, 1960 layout, is plotted hereon.
- Right to use and maintain existing sewage disposal system located on the insured premises and serving the abutting land n/f Donald Gerace, as described in Easement granted by Lillian Gerace and Domenico A. Gerace, dated December 5, 1979, recorded in Book 13853, Page 689 and as reserved in the Deed of Donald L. Gerace to Digital Equipment Corporation dated March 16, 1981, recorded in Book 14237, Page 398, as further affected by Assignment of Easement recorded in Book 15849, Page 180. Comment: Plotted.
- Taking for the layout of Great Road a/k/a Route 119, dated October 31, 1984, recorded in Book 15895, Page 122. Comment: Great Road is plotted hereon.
- Taking for the layout of Interstate Route 495, dated July 28, 1959, recorded with Middlesex North District Registry of Deeds, Book 1448, Page 114, as affected by a Certificate of Entry, dated August 18, 1959, recorded with said Deeds, Book 1449, Page 547, and lack of pedestrian and vehicular access along contiguous boundary. Comment: Route 495, 1959 layout, is plotted hereon.
- Grant of Easement from Wells REIT II - 550 King Street, LLC to Global Companies, LLC and Littleton Electric Light Department recorded with Middlesex County Southern District Registry of Deeds in Book 64436, Page 264. Comment: Plotted.

All other Section 2 items are non-survey related.

Statement of Encroachments

A. There is an apparent encroachment of pavement onto the subject parcel at the southwesterly corner by land now or formerly of Patrick R. Forsyth, Trustee. The area of the encroachment is approximately 2200 square feet.

PREPARED BY
CONECO
Engineers & Scientists

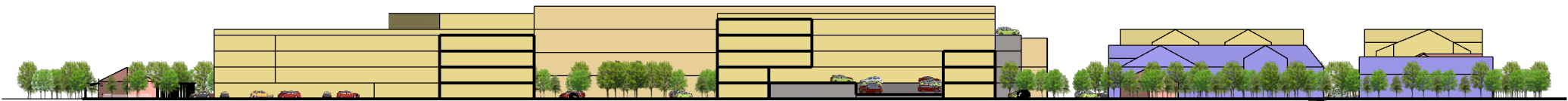
4 First Street - Bridgewater, Massachusetts 02324
Telephone: (508) 697-3191 Toll free: (800) 548-3355
Facsimile: (508) 697-5996
PROJECT #2066.1 ACAD. FILE: 2066.1







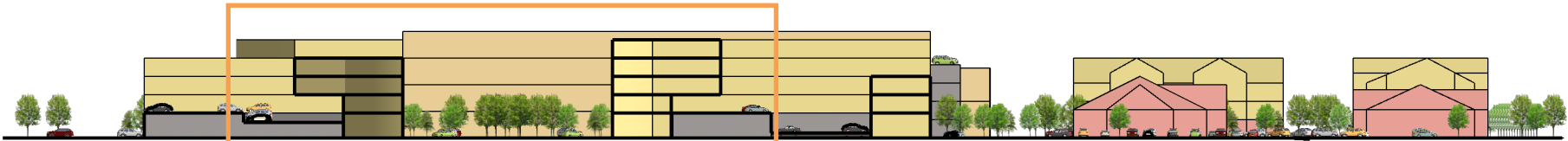
Site Sections



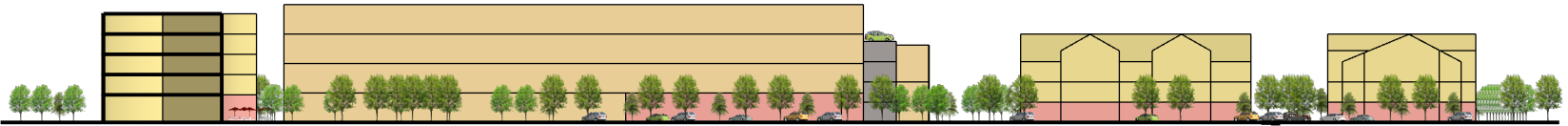
Site Section 1



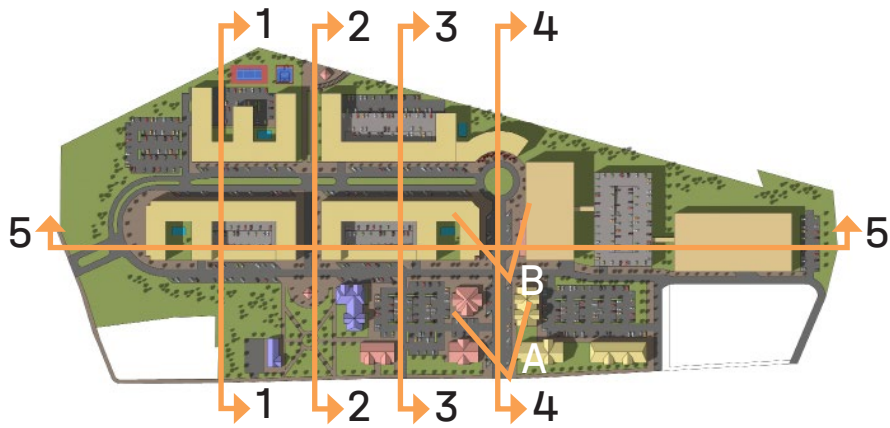
Site Section 2



Site Section 3

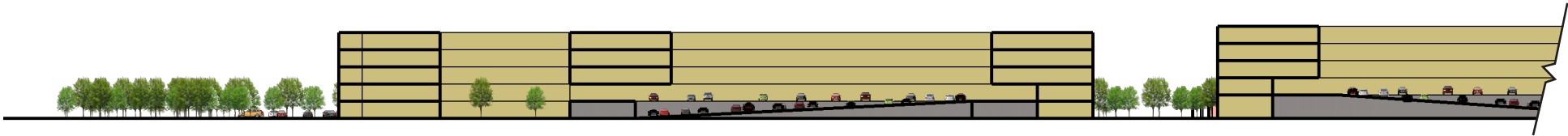


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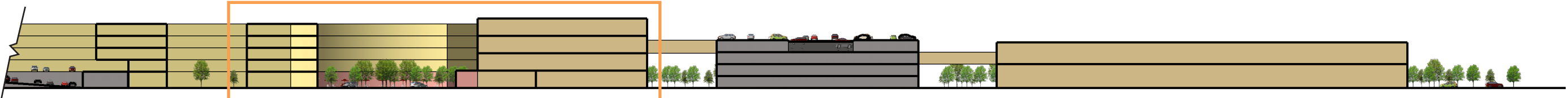


Key Plan

Section Perspective 1



Section Perspective 2



Site Section 5

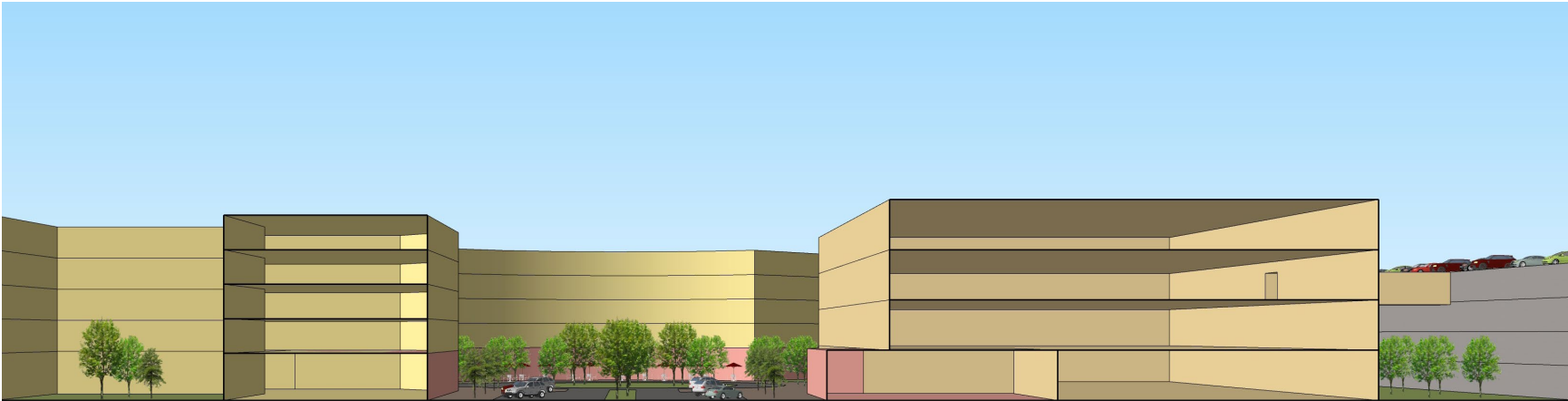
Perspective Views and Section Perspectives



Section Perspective 1



Perspective A



Section Perspective 2



Perspective B







