

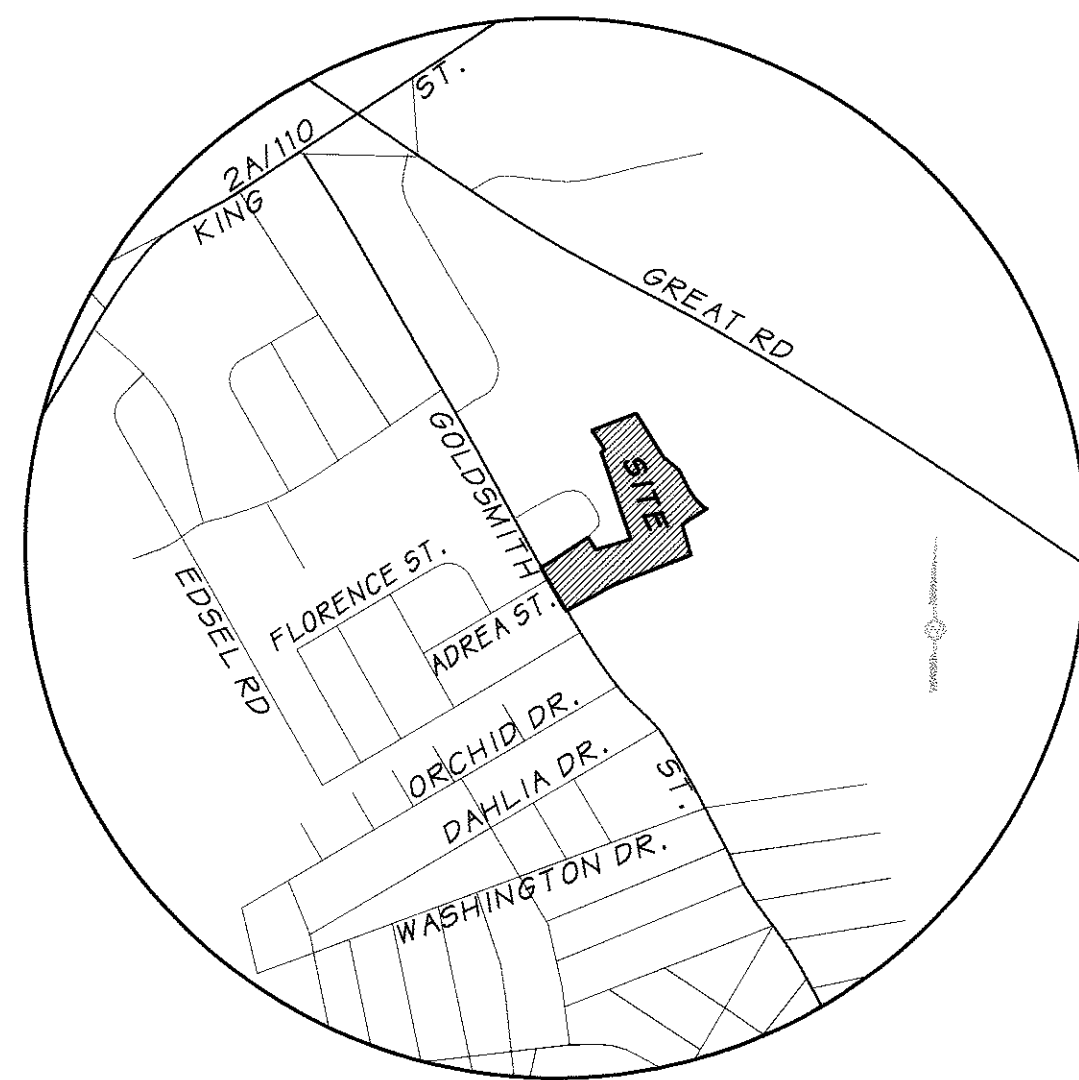
Southern Middlesex - 20/20 Perfect Vision i2 Document Detail Report

Current datetime: 3/31/2025 11:33:30 AM

Doc#	Document Type	Town	Book/Page	File Date	Consideration
546	PLAN		02012/546	08/10/2012	
Property-Street Address and/or Description					
KIMLOCH STREET PLAN OF LAND SITE&DEVELOPMENT PLAN, GOLDSMITH STREET PLAN OF LAND					
Grantors					
KIMLOCH FARMS, LLC.					
Grantees					
References-Book/Pg Description Recorded Year					
Registered Land Certificate(s)-Cert# Book/Pg					

THE HOMES AT KIMLOCH FARM

A PROPOSED COMPREHENSIVE PERMIT PROJECT UNDER MGL CHAPTER 40B



LOCUS PLAN
NOT TO SCALE

LOCUS PARCEL INFORMATION

ASSESSORS MAP U-11 PARCEL 53-1
ZONING CLASSIFICATION: RESIDENTIAL

RECORD OWNER:

ON THE RAIL FARM CO., INC.
P.O. BOX 99
SHIRLEY, MASSACHUSETTS 01464

AREA

TOTAL SITE AREA = 5.99± ACRES

PUBLIC UTILITIES

LITTLETON WATER DEPARTMENT (LWD)
LITTLETON ELECTRIC LIGHT DEPT. (LELD)
KEYSPAN (GAS)
VERIZON (TELECOM)
COMCAST (TELECOM)

ELEVATION DATUM REFERENCE:

NATIONAL GEODETIC VERTICAL DATUM
OF 1929 (NGVD29)

BM 2580, MONEL RIVET IN TOP OF STONE BOUND AT
NORTHEAST CORNER OF LOT AT LITTLETON PUBLIC
LIBRARY



VICINITY PLAN
SCALE: 1"=100'

SEE DECISION ON APPLICATION BY KIMLOCH FARMS,
LLC FOR A COMPREHENSIVE PERMIT, DECISION DATED
_____, 2009, TO BE RECORDED HERewith.

Middlesex Registry of Deeds,
Southern District
Cambridge, Massachusetts
Plan No. 546-1-8 of 20 12
Rec'd 8-10 20 12
at 2 H 37 M P M

Attest

Lucas C. Bruna
Notary Public

NOTES

1. SITE IS WITHIN ZONE C OF THE FLOOD INSURANCE RATE MAP FOR LITTLETON MASSACHUSETTS (AREAS OF MINIMAL FLOODING). REF. F.I.R.M. COMMUNITY PANEL NO. 250200 0004 B EFFECTIVE JUNE 13, 1983.
2. A PORTION OF THE SITE IS WITHIN AN ESTIMATED HABITAT OF RARE OR ENDANGERED SPECIES AS DEFINED BY THE NATIONAL HERITAGE AND ENDANGERED SPECIES PROGRAM (REF. MASS GIS 11/04/09).
3. THE SITE IS NOT WITHIN A MASSACHUSETTS DEPARTMENT OF ENVIRONMENTAL PROTECTION DEFINED 'ZONE II' OR INTERIM WELLHEAD PROTECTION AREA (IWPA) OF A PUBLIC WATER SUPPLY (REF. MASSGIS 3/20/08).
4. SITE IS NOT LOCATED WITHIN THE TOWN OF LITTLETON AQUIFER PROTECTION DISTRICT.

PLAN INDEX

1 OF 8	TITLE SHEET
2 OF 8	RECORD PLAN
3 OF 8	SITE DEVELOPMENT PLAN
4 OF 8	CONSTRUCTION DETAILS 1 OF 2
5 OF 8	CONSTRUCTION DETAILS 2 OF 2
6 OF 8	EROSION & SEDIMENTATION CONTROL PLAN 1 OF 2
7 OF 8	EROSION & SEDIMENTATION CONTROL PLAN 2 OF 2
8 OF 8	LANDSCAPE & TRAFFIC PATTERN PLAN

THIS IS TO CERTIFY THAT NOTICE OF APPROVAL OF THIS PLAN BY THE LITTLETON BOARD OF APPEALS WAS RECEIVED AND RECORDED AT THIS OFFICE ON 7/25/11 AND THAT NO APPEAL WAS RECEIVED WITHIN THE TWENTY DAYS NEXT FOLLOWING RECEIPT AND RECORDING OF THIS NOTICE.

Wendy Cory 5/11/12
LITTLETON TOWN CLERK DATE

"THE HOMES AT KIMLOCH FARM"

A PROPOSED COMPREHENSIVE PERMIT PROJECT UNDER M.G.L. CH. 40B

TITLE SHEET

SHEET 1 OF 8

PREPARED FOR:

KIMLOCH FARMS, LLC
30 NAGOG PARK DRIVE SUITE #225
ACTON, MASSACHUSETTS 01720

DATE: DECEMBER 12, 2009; REV. 5/24/11

SCALE: 1"=20'

Phone: (978) 461-2350
Fax: (978) 461-4102

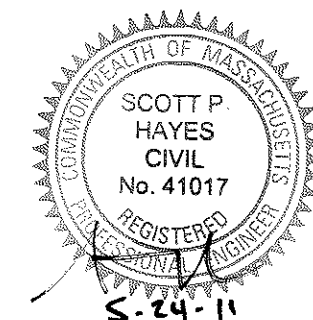
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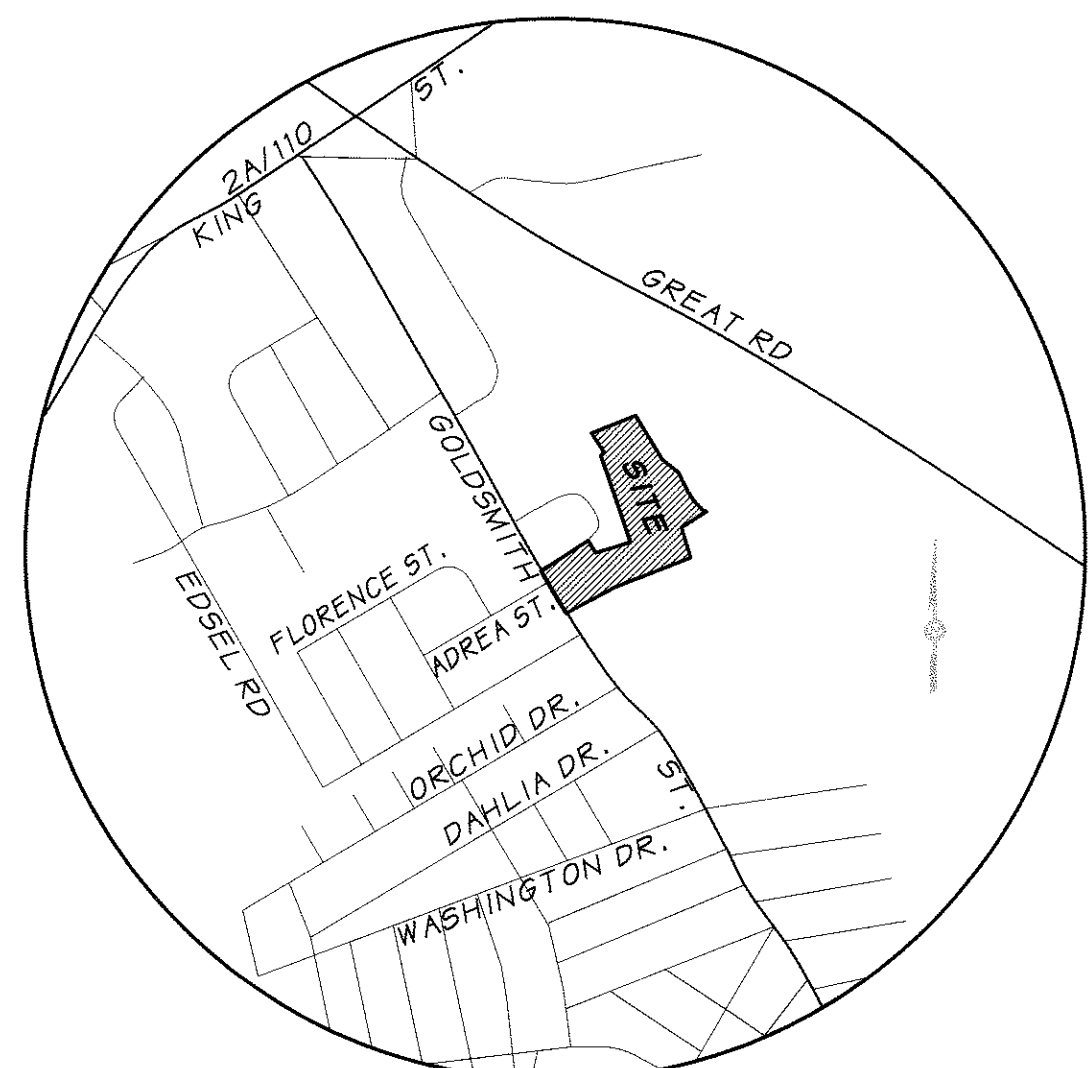
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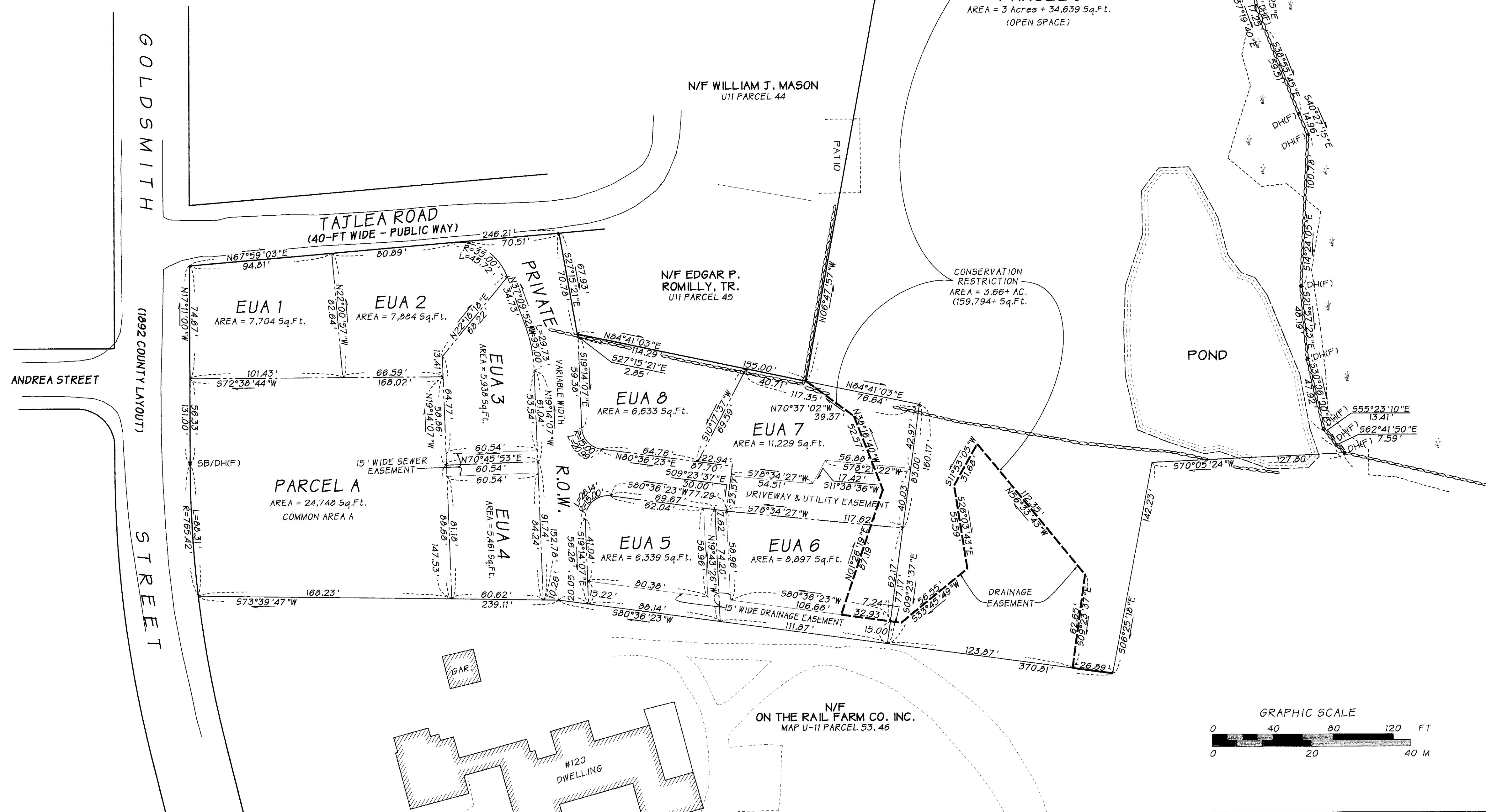
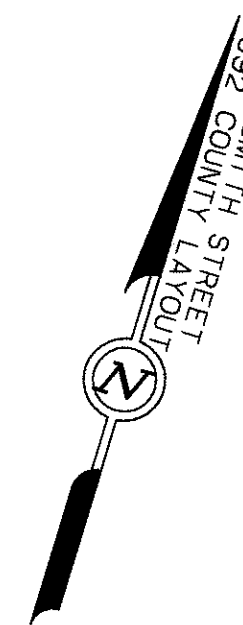
1269COV.2D



546-1-8



LOCUS MAP
NOT TO SCALE



PLAN NO. 546-2-8 OF 2012
SHEET 2 OF 8

FOR REGISTRY USE

DEED REFERENCE:
DEED BOOK 43320 PAGE 285 RECORDED AT THE MIDDLESEX
SOUTH DISTRICT REGISTRY OF DEEDS.

NOTES:
ZONING DISTRICT: RESIDENTIAL
ASSESSORS REFERENCES: MAP U-11 PARCEL 53-1
RECORD OWNER: ON THE RAIL FARM CO. INC.

I CERTIFY THAT THIS PLAN HAS BEEN PREPARED IN
CONFORMITY WITH THE RULES AND REGULATIONS OF
THE REGISTERS OF DEEDS OF THE COMMONWEALTH
OF MASSACHUSETTS.

Susan Sullivan 5.24.11
PROFESSIONAL LAND SURVEYOR DATE



THIS IS TO CERTIFY THAT THE NOTICE OF APPROVAL
OF THIS PLAN BY THE LITTLETON ZONING BOARD OF APPEALS
WAS RECEIVED AND RECORDED AT THIS OFFICE ON 7/25/11
AT _____ AND NO APPEAL WAS RECEIVED DURING THE
20 DAYS NEXT AFTER SUCH RECEIPT AND RECORDING
OF SAID NOTICE.

Marie Cory 5/11/12
TOWN CLERK - LITTLETON, MASS. DATE

- LEGEND
- SB/DH(F) STONE BOUND W/ DRILL HOLE (FOUND)
 - DH(F) DRILL HOLE (FOUND)
 - EUA 5 EXCLUSIVE USE AREA

"THE HOMES AT KIMLOCH FARM"

A PROPOSED COMPREHENSIVE PERMIT PROJECT UNDER M.G.L. CH. 40B

RECORD PLAN

SHEET 2 OF 8

PREPARED FOR:
KIMLOCH FARMS, LLC
30 NAGOG PARK DRIVE SUITE #225
ACTON, MASSACHUSETTS 01720

DATE: DECEMBER 12, 2009; REV. 5/24/2011 SCALE: 1"=40'

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PLANNING

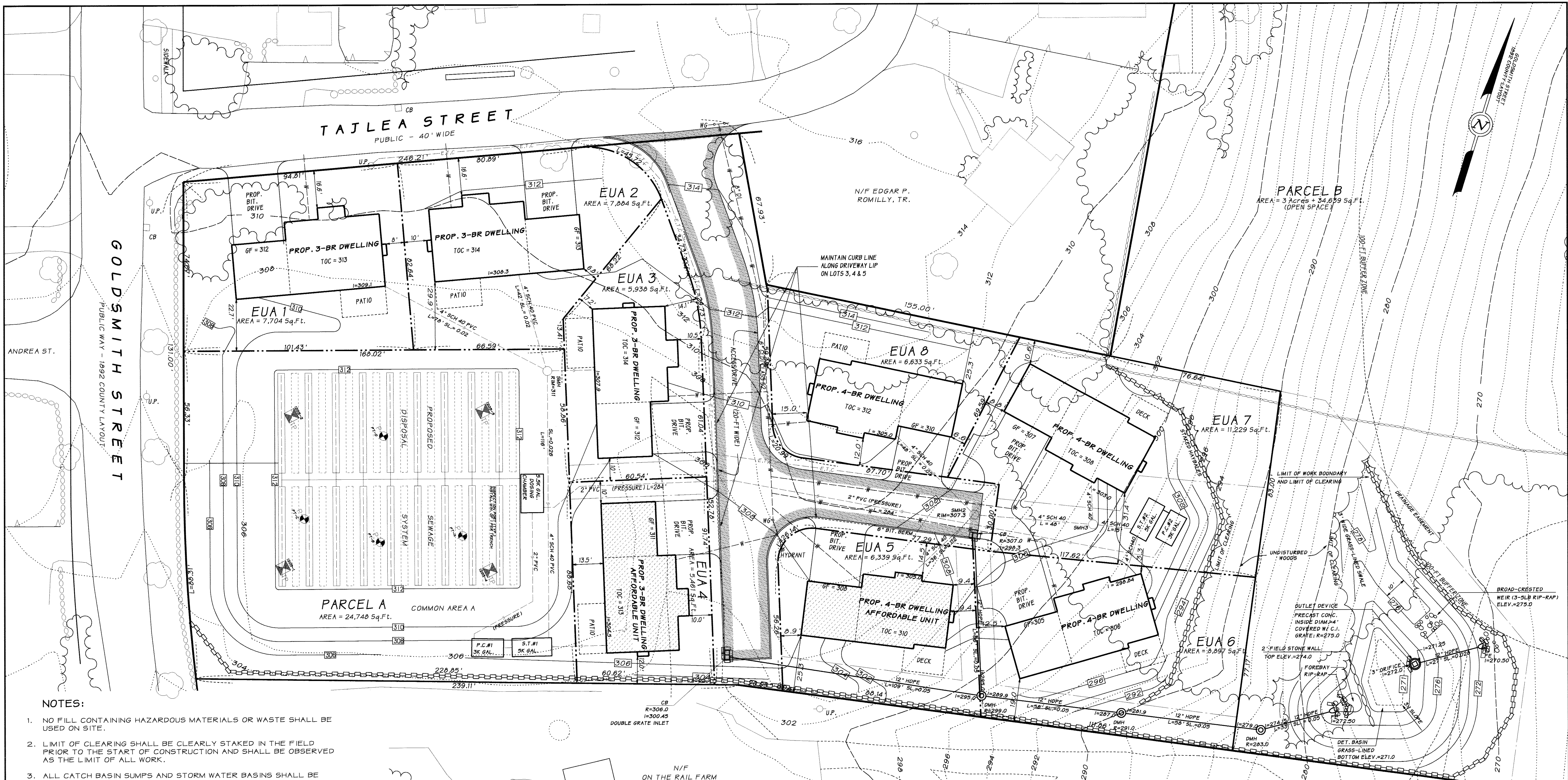


16 Gleasondale Road Suite 1-1
Stow, Massachusetts 01775

Phone: (978) 461-2350
Fax: (978) 841-4102

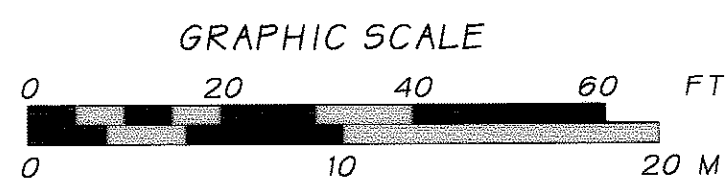
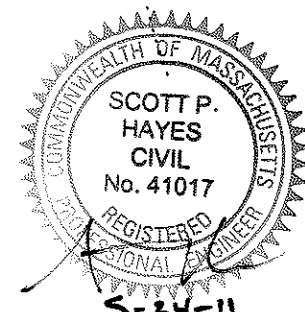
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546-2-8



NOTES:

1. NO FILL CONTAINING HAZARDOUS MATERIALS OR WASTE SHALL BE USED ON SITE.
2. LIMIT OF CLEARING SHALL BE CLEARLY STAKED IN THE FIELD PRIOR TO THE START OF CONSTRUCTION AND SHALL BE OBSERVED AS THE LIMIT OF ALL WORK.
3. ALL CATCH BASIN SUMPS AND STORM WATER BASINS SHALL BE CLEANED FOLLOWING CONSTRUCTION AND ANNUALLY THEREAFTER.
4. NO EARTH OR CONSTRUCTION DEBRIS SHALL BE HAULED EXCEPT BETWEEN THE HOURS OF 9 AM AND 4PM ON WEEKDAYS.
5. IMPERVIOUS TRAVELLED SURFACES SHALL BE CONSTRUCTED OF BITUMINOUS ASPHALTIC CONCRETE, TYPE I, LAID IN TWO COURSES, A 2" BINDER COURSE AND A 1" FINISH (TOP) COURSE.
6. ALL STUMPS SHALL BE EITHER GROUND ON SITE WITH A STUMP GRINDER OR REMOVED FROM THE SITE FOR PROPER DISPOSAL.
7. CONTRACTOR SHALL CONTACT DIGSAFE AT (888) 344-7233 AT LEAST 72 HOURS BEFORE EXCAVATING ON PUBLIC OR PRIVATE PROPERTY.
8. NO PORTION OF THE SITE LIES WITHIN THE 100 YEAR FLOODPLAIN. REF. F.I.R.M. 250176 REV. 1/6/88.
9. ALL ELEVATIONS REFER TO THE NATIONAL GEODETIC VERTICAL DATUM OF 1929 (NGVD29).
10. ALL PROPOSED WATER MAINS, SERVICES, AND HYDRANTS SHALL BE INSTALLED IN ACCORDANCE WITH THE SPECIFICATIONS OF THE LITTLETON WATER DEPARTMENT.
11. SITE SHALL BE GRADED TO ENSURE RUNOFF AWAY FROM STREETS, BUILDINGS AND ADJUTING PROPERTY AND TO PREVENT POOLING OF DRAINAGE.



LEGEND

- CB PROPOSED PRECAST CONCRETE CATCH BASIN
- ⊙ DMH PROPOSED PRECAST CONCRETE DRAIN MANHOLE
- SMH PROPOSED PRECAST CONCRETE SEWER MANHOLE
- 8" SDR 35 SANITARY SEWER
- 6" CEMENT LINED DUCTILE IRON (CLASS 52) WATER MAIN
- E.T.C. PROPOSED UNDERGROUND ELECTRIC, TELEPHONE & CABLE UTILITY TRENCH
- PROPOSED STAKED HAYBALES (LIMIT OF WORK)
- EUA 5 EXCLUSIVE USE AREA

"THE HOMES AT KIMLOCH FARM"

A PROPOSED COMPREHENSIVE PERMIT PROJECT UNDER M.G.L. CH. 40B

SITE DEVELOPMENT PLAN

SHEET 3 OF 8

PREPARED FOR:

KIMLOCH FARMS, LLC
30 NAGOG PARK DRIVE SUITE #225
ACTON, MASSACHUSETTS 01720

REV. 9/29/10 - BLDG FOOTPRINTS, SETBACKS; 12/10/10 - DBL CB, CURB CUTS 3.4.5, MOVE UNIT 3 BACK
DATE: DECEMBER 12, 2009; REV. 5/24/2011

SCALE: 1"=20'
Phone: (978) 461-2350
Fax: (978) 841-4102

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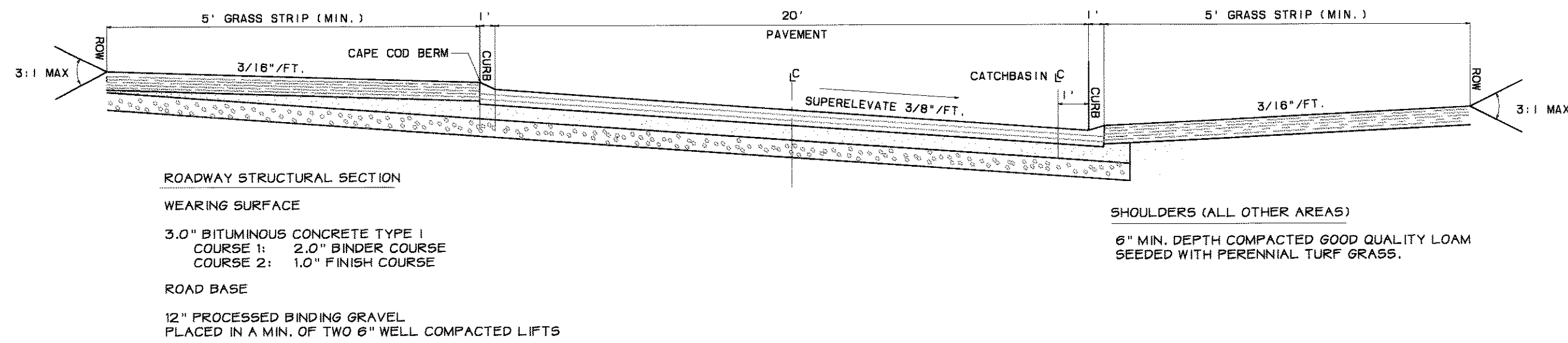


16 Gleasondale Road Suite 1-1
Stow, Massachusetts 01775

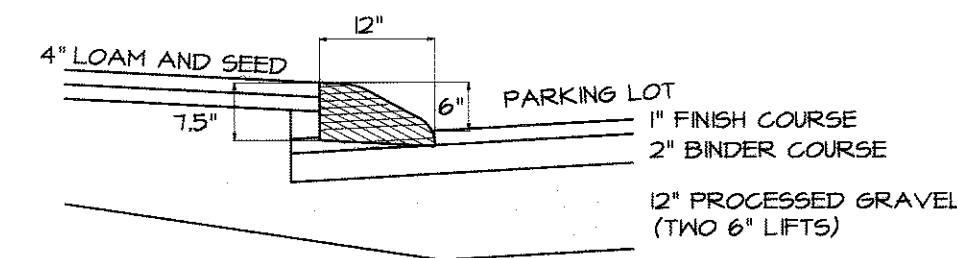
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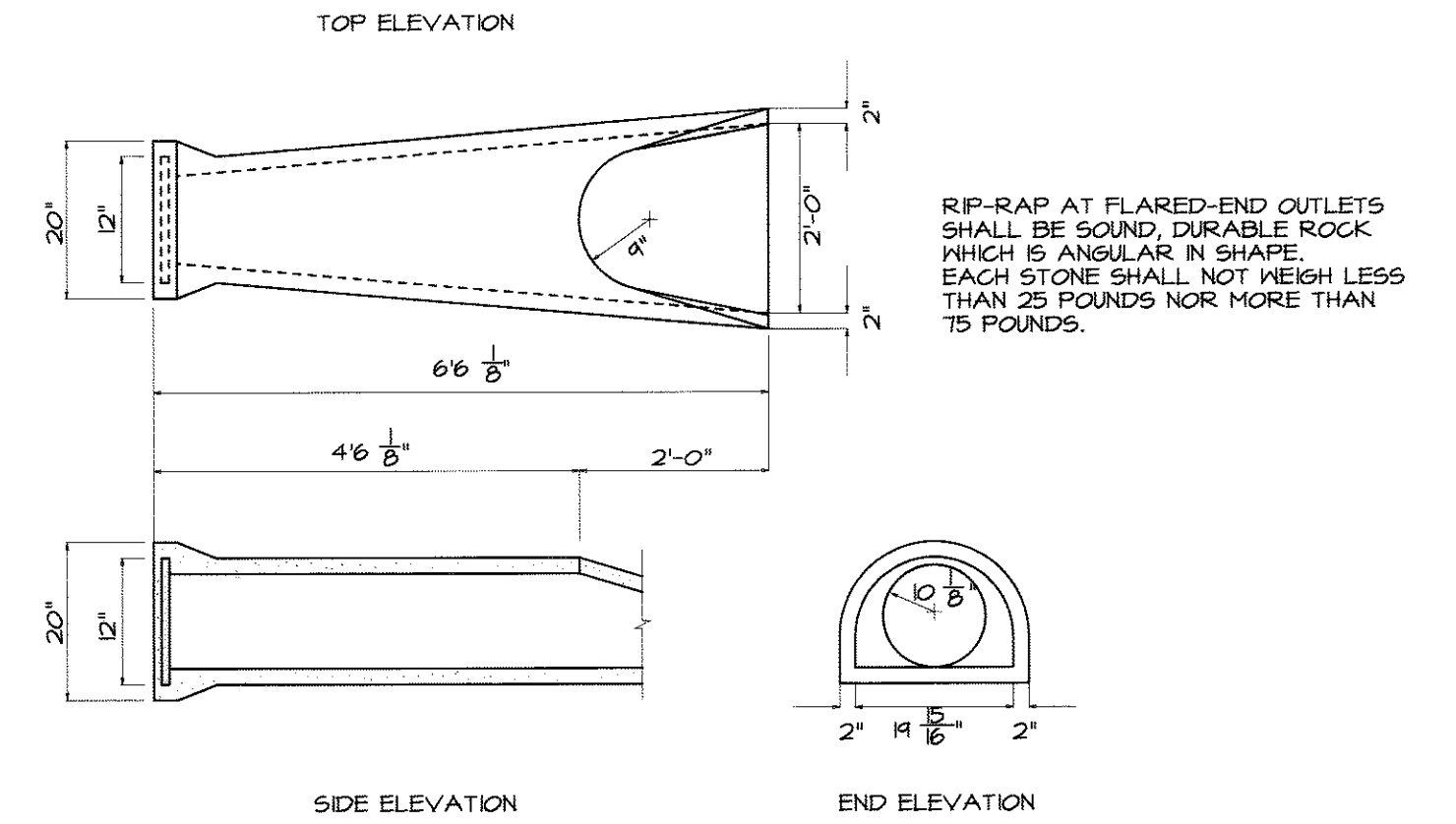
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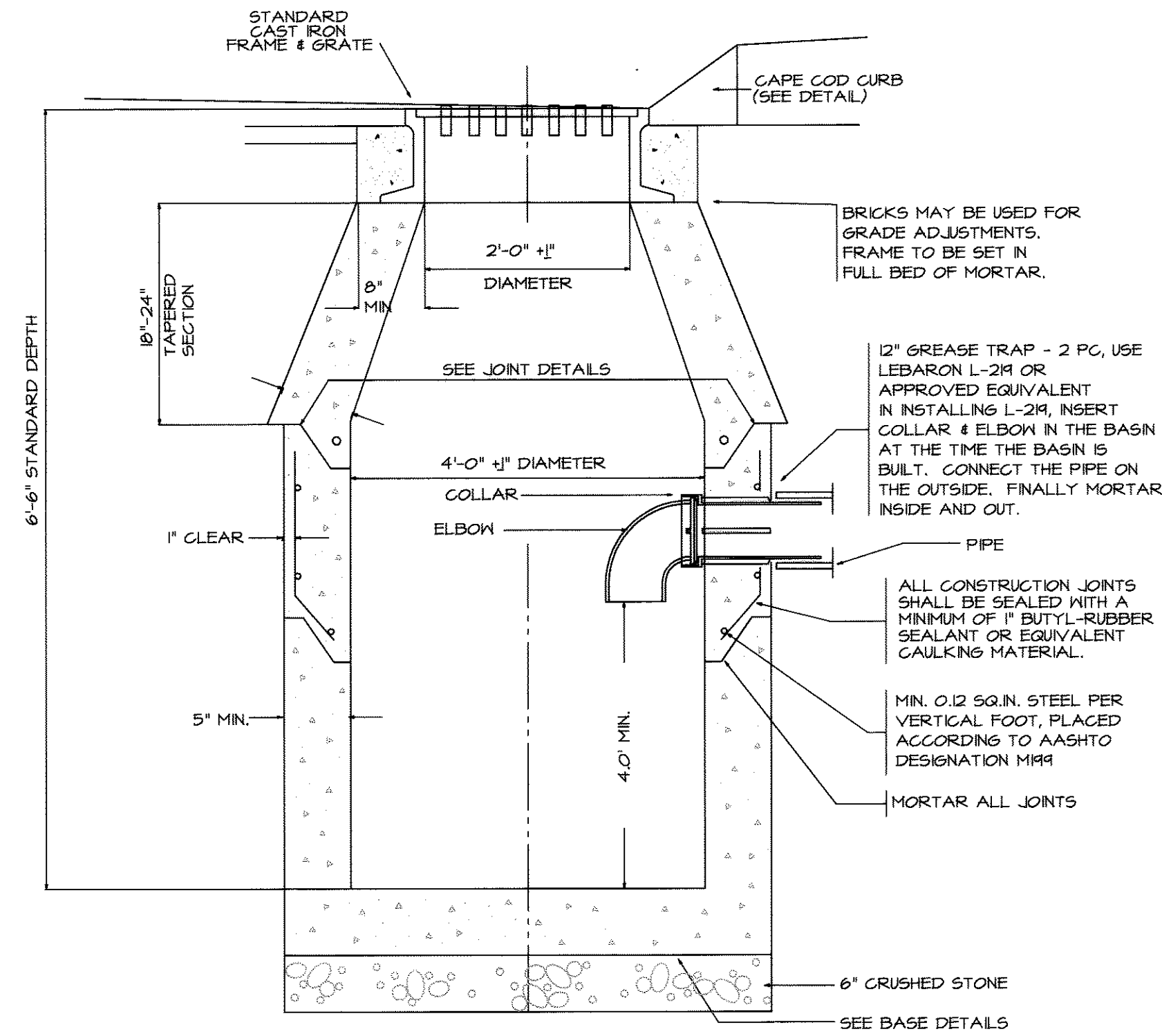
**TYPICAL SUPERELEVATED
ACCESS DRIVEWAY SECTION**
NO SCALE
(TYPICAL PAVEMENT & SHOULDER SPECIFICATIONS)



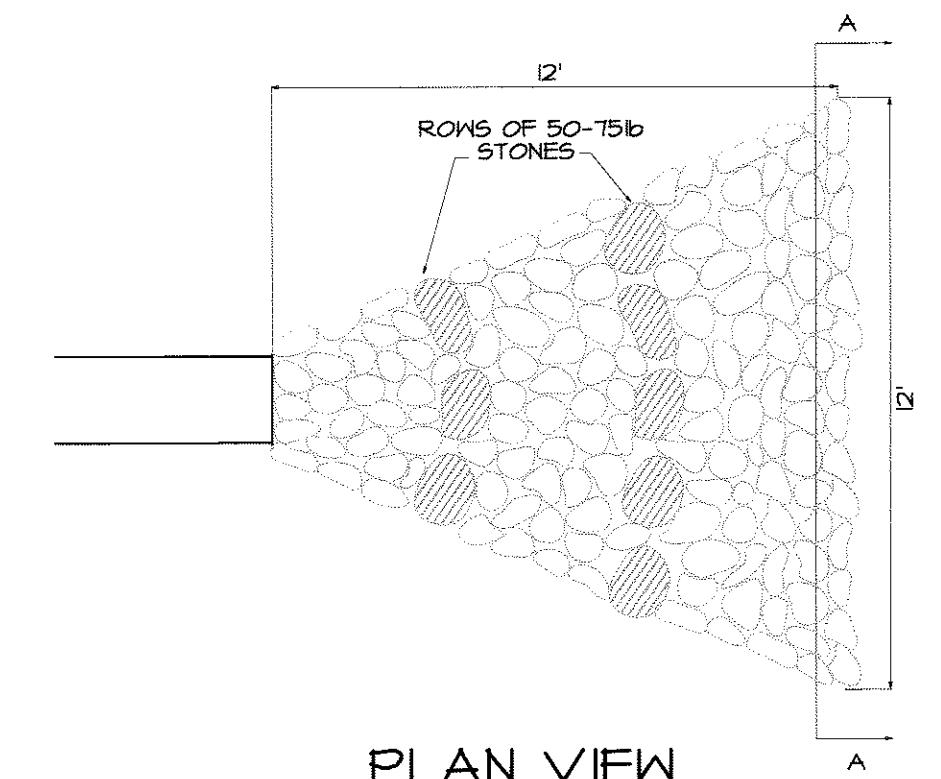
CAPE COD CURB DETAIL
NO SCALE
TO BE PLACED ALONG EDGE OF PAVEMENT AT ALL
AREAS SHOWN IN PLAN VIEW ON SITE PLAN (SHEET 3 OF 7).



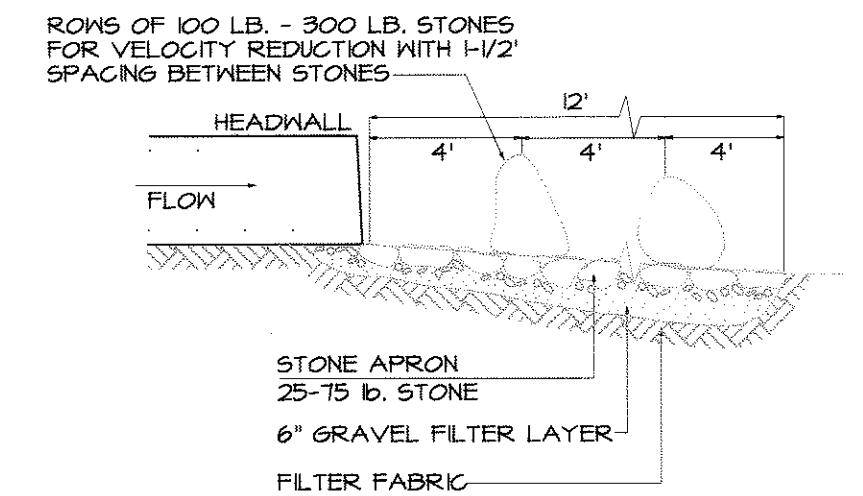
TYPICAL FLARED PIPE END OUTLET
NO SCALE



**SQUARE CATCH BASIN
FRAME & GRATE
LEBARON LV2448**
NOT TO SCALE

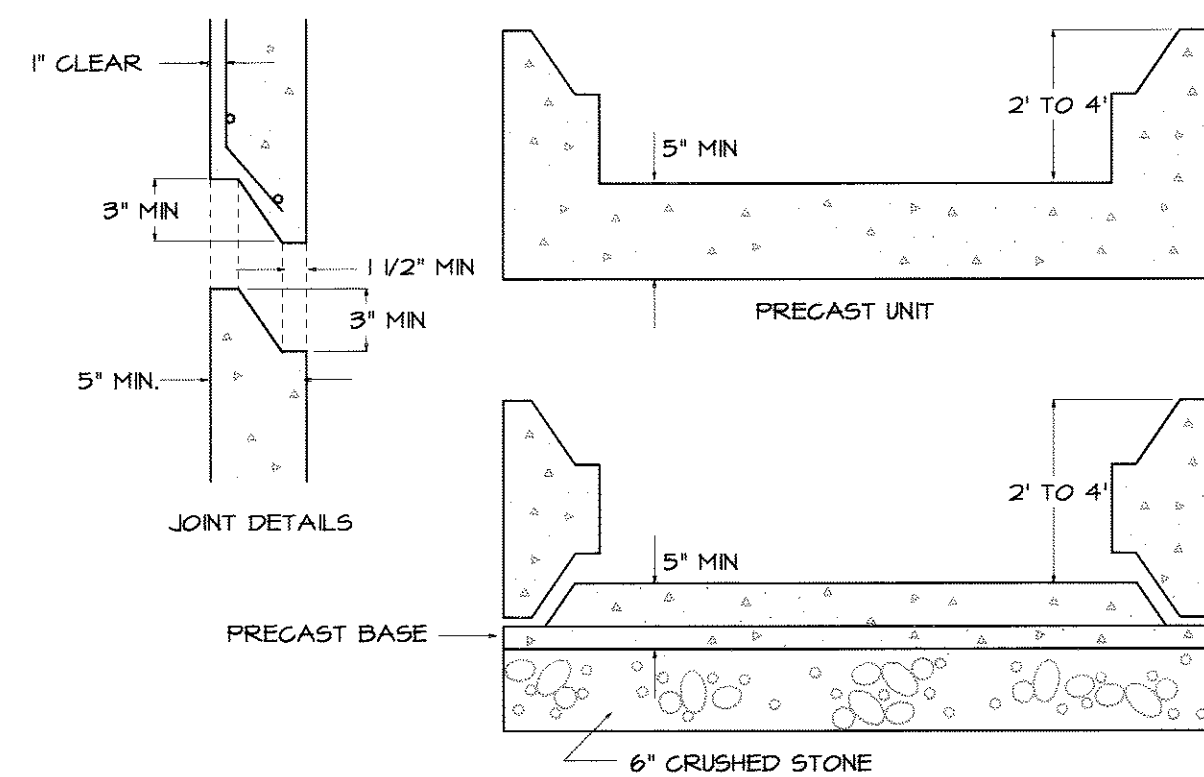


PLAN VIEW

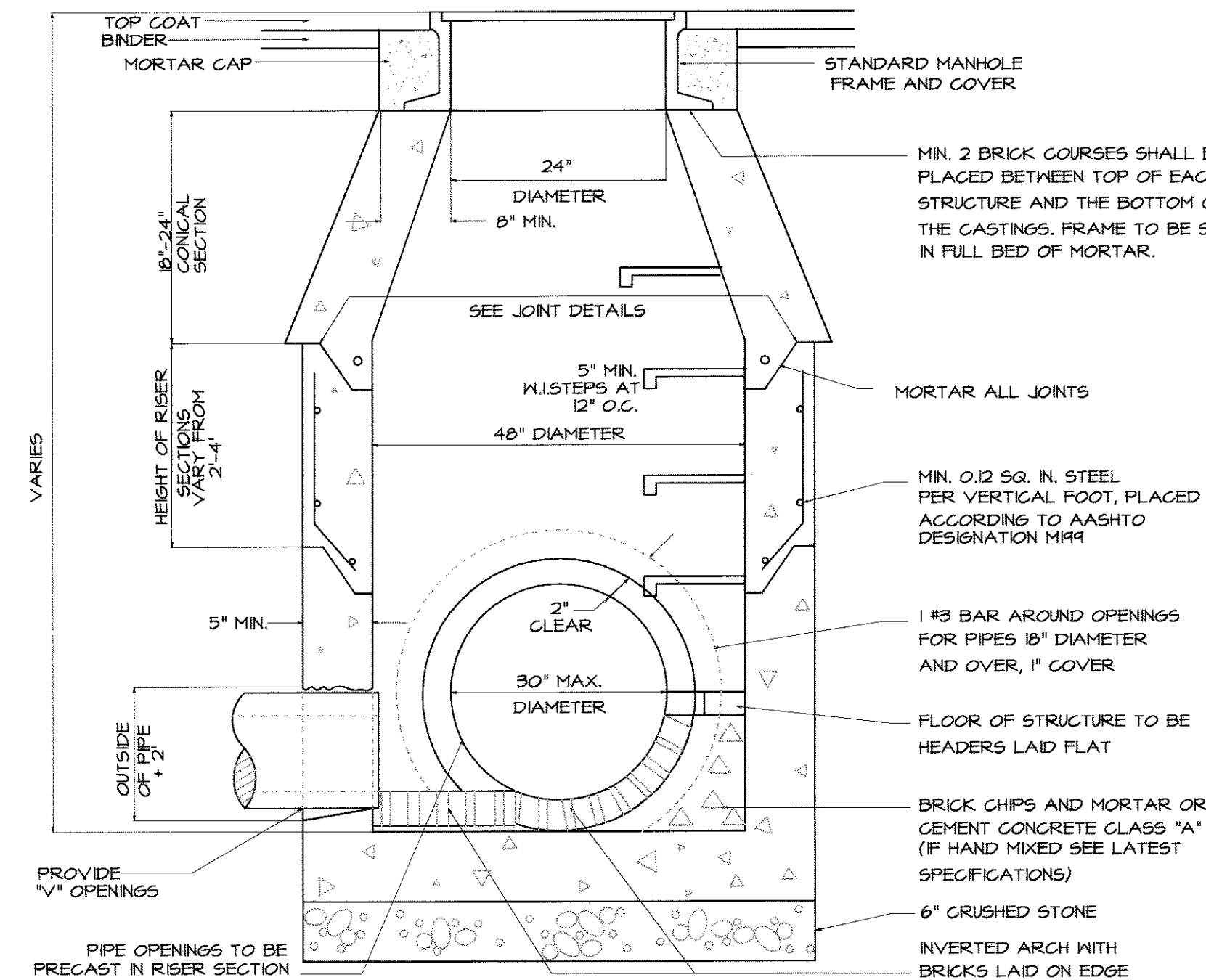


CROSS-SECTION

DRAIN OUTFALL WITH VELOCITY REDUCER
NO SCALE

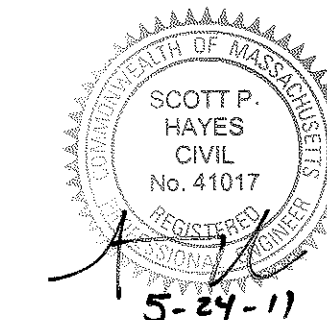


**PRECAST CONCRETE DEEP
SUMP CATCH BASIN**
NO SCALE



PRECAST CONCRETE DRAIN MANHOLE
NO SCALE

NOTE: FOR DESCRIPTIONS, MATERIALS, AND CONSTRUCTION METHODS; SEE LATEST MASS. HIGHWAY SPECIFICATIONS



"THE HOMES AT KIMLOCH FARM"

A PROPOSED COMPREHENSIVE PERMIT PROJECT UNDER M.G.L. CH. 40B

DETAIL SHEET 1 OF 2

SHEET 4 OF 8

PREPARED FOR:

KIMLOCH FARMS, LLC
30 NAGOG PARK DRIVE SUITE #225
ACTON, MASSACHUSETTS 01720

DATE: DECEMBER 12, 2009; REV. 5/24/11

SCALE: AS NOTED

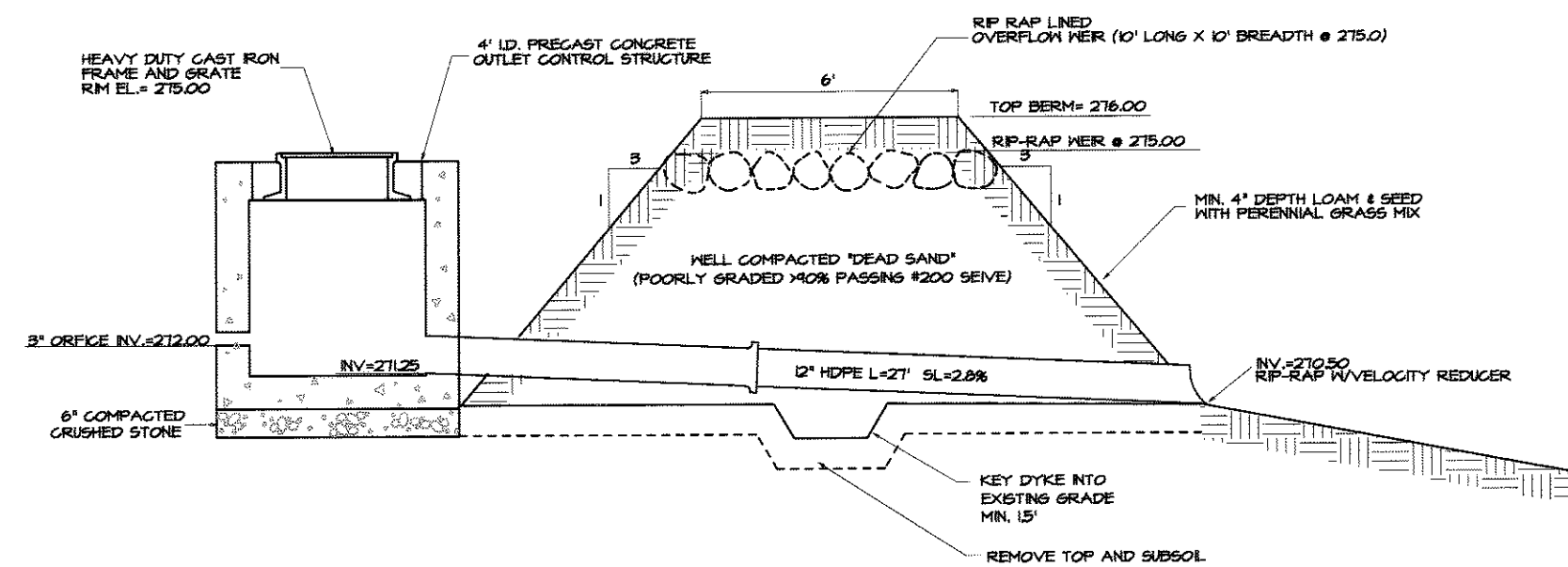
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16 Gleasondale Road Suite 1-1
Stow, Massachusetts 01775

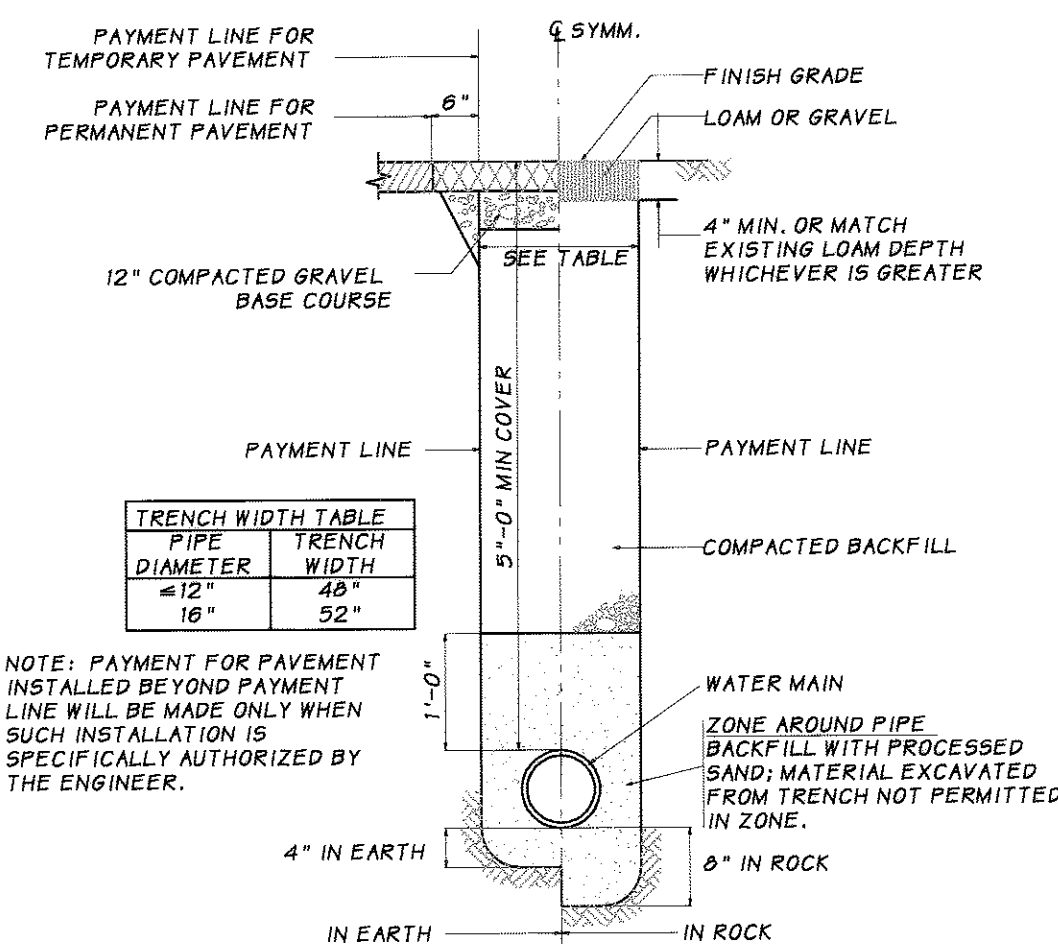
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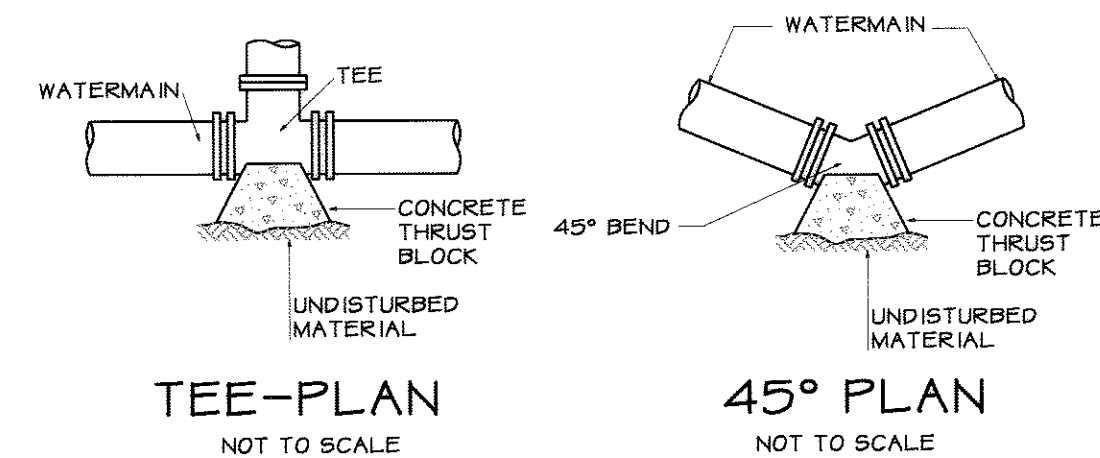
1269DET.2D



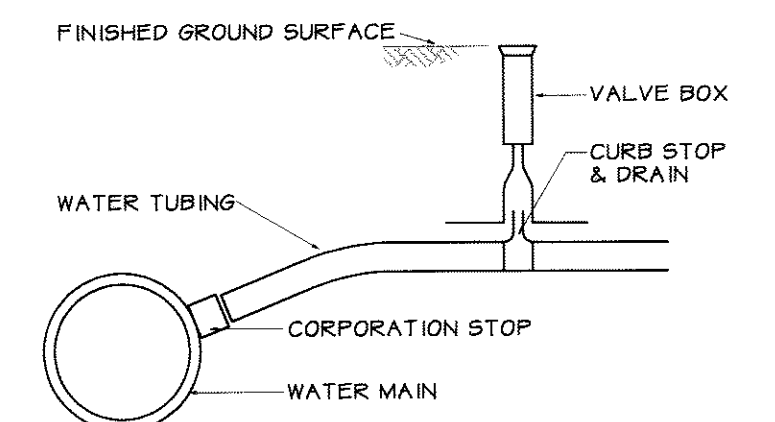
OUTLET STRUCTURE & EARTHEN
DIKE DETAIL
NO SCALE



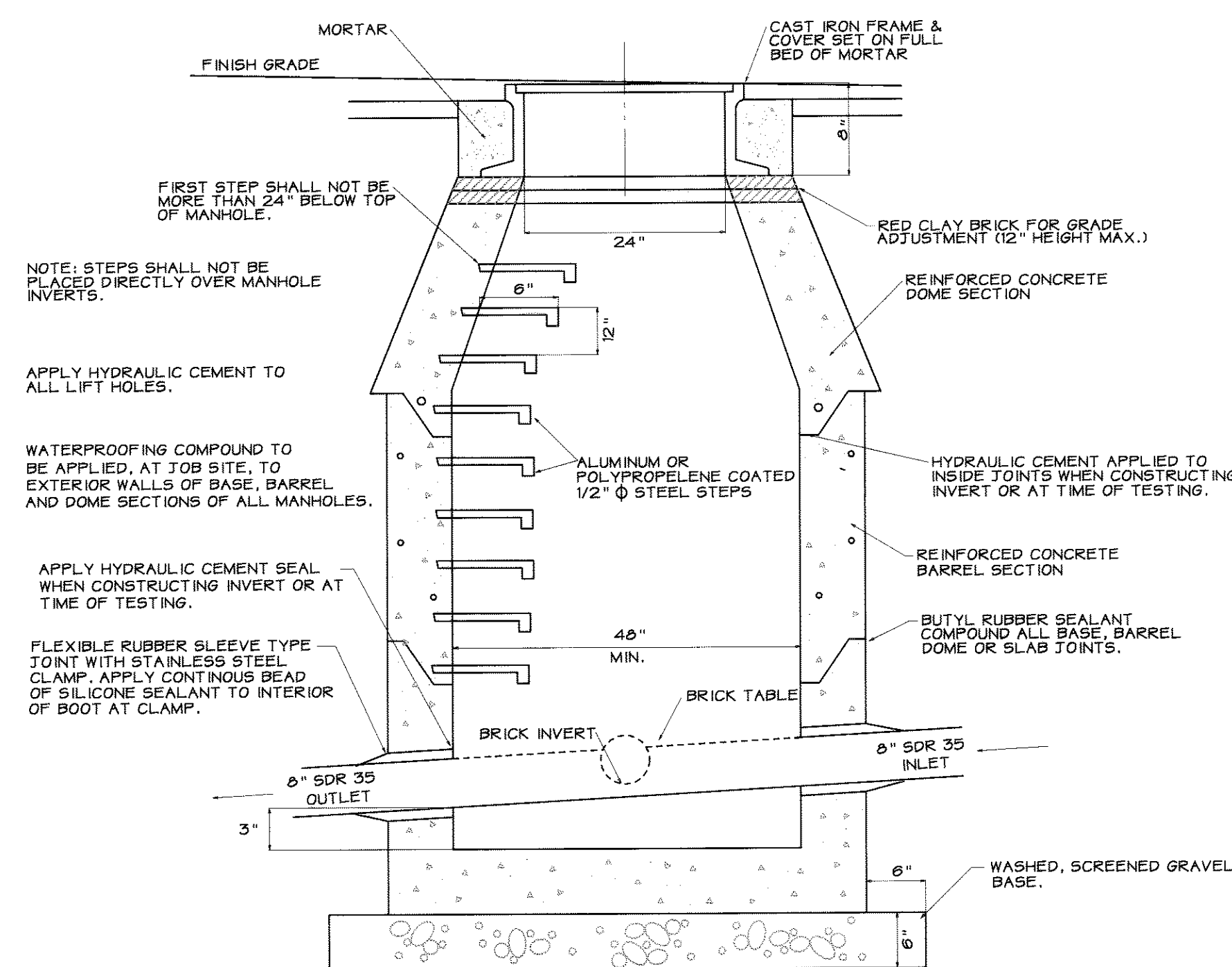
WATER MAIN
TRENCH DETAIL
NO SCALE



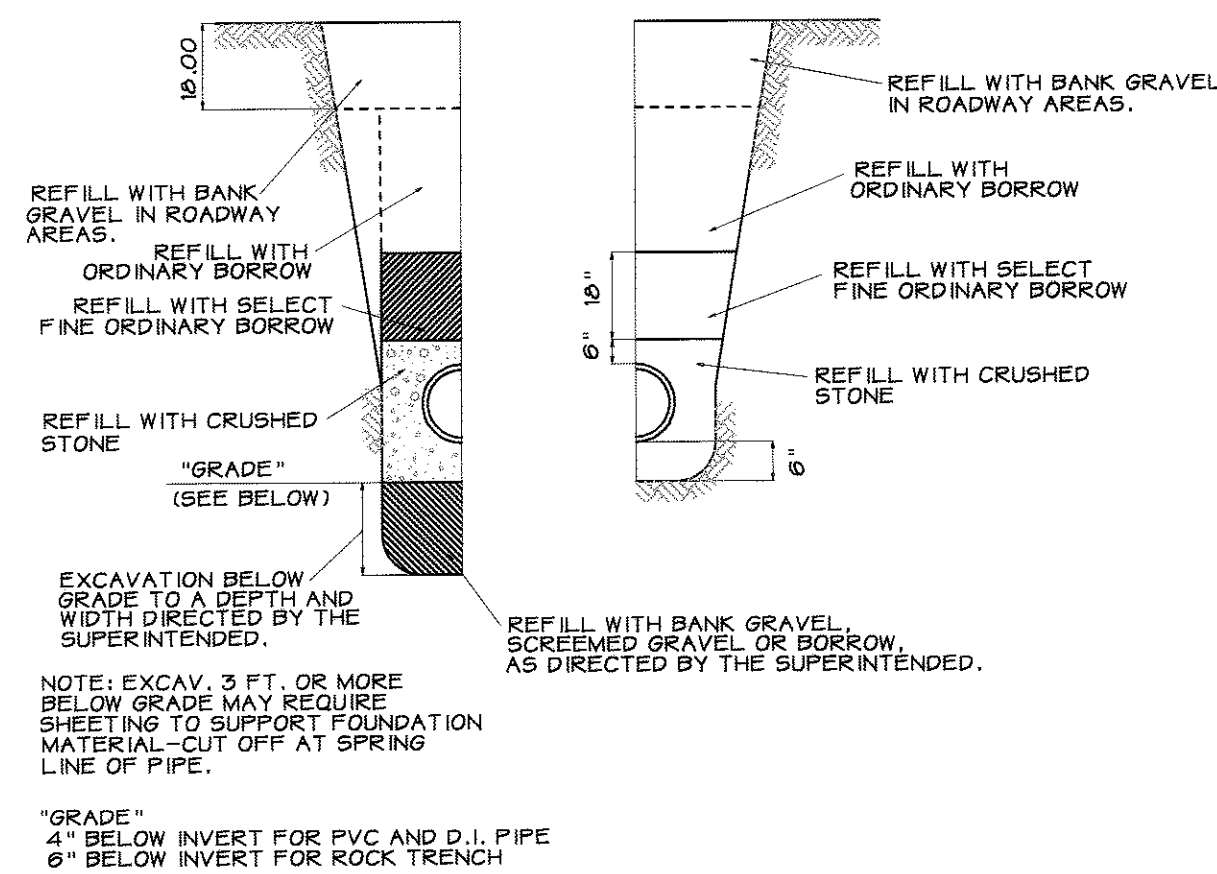
WATER MAIN
THRUST BLOCK DETAIL
NO SCALE



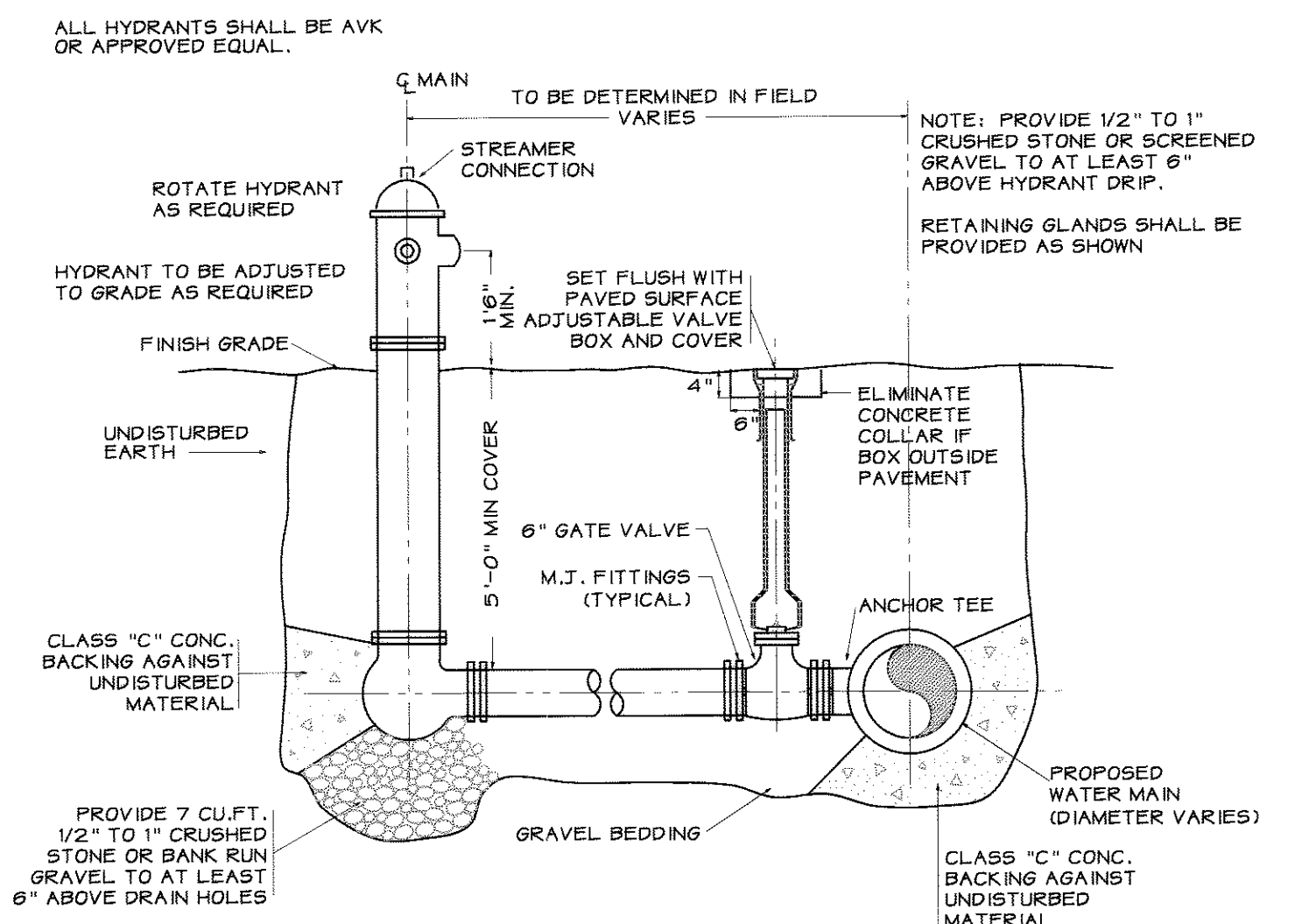
WATER SERVICE CONNECTION
DETAIL
NO SCALE



PRECAST CONCRETE
GRAVITY SANITARY SEWER MANHOLE
NO SCALE



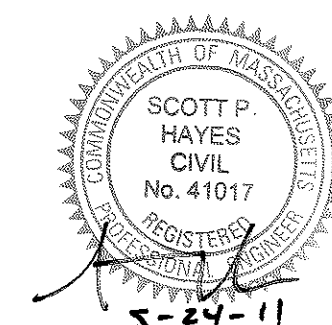
TYPICAL SECTION
EARTH/ROCK TRENCH
NO SCALE



HYDRANT ASSEMBLY & VALVE DETAIL
NO SCALE

UNDERGROUND UTILITY NOTES

1. PRIMARY ELECTRIC: INSTALL 2-1/2" PVC SCHED. 40 CONDUIT FOR PRIMARY CABLE (UNDER ROADS & DRIVEWAYS-SCHED 80PVC CONDUIT) UNLESS DIRECTED OTHERWISE BY L.E.D.
2. SECONDARY ELECTRIC: INSTALL 2-1/2" PVC SCHED. 40 CONDUIT FOR SINGLE SERVICE OR 4" PVC SCHED. 40 CONDUIT FOR PARALLEL SERVICES (UNDER ROADS & DRIVEWAYS-SCHED 80 PVC CONDUIT) UNLESS DIRECTED OTHERWISE BY L.E.D.
3. TRANSFORMER, SWITCHGEAR, AND HANDL BOXES SHALL BE LOCATED PER L.E.D. REQUIREMENTS.
4. INSTALL 2-1/2" AND 4" PVC SHEETS AT ALL TRANSFORMER PAD, HAND HOLE BOX, SWITCH CABINET, AND UTILITY POLE LOCATIONS.
5. INSTALL 2-1/2" AND 4" GALVANIZED PIPE MINIMUM 10' UP RISER POLE (MATCH PIPE SIZE TO PVC CONDUIT)
6. ELECTRICAL CONDUIT FOR STREET LIGHTING SHALL BE INSTALLED TO LIGHT POLE LOCATIONS. LIGHTING SHALL BE AS DIRECTED BY L.E.D.
7. TELEPHONE: INSTALL 4" PVC SCHED 40 CONDUIT (SCHED 80 UNDER ROADS & DRIVEWAYS). INSTALLATION TO COMPLY WITH VERIZON REQUIREMENTS.
8. C.A.T.V.: INSTALL 2" PVC SCHED 80 CONDUIT FOR ALL ROAD AND DRIVEWAY CROSSINGS PER CABLE COMPANY REQUIREMENTS. OTHER LOCATIONS SHALL BE DIRECT BURIAL BY THE CABLE COMPANY.
9. INSTALL NYLON STRING IN ALL CONDUIT FOR PULL THROUGH OF CABLES.
10. BACKFILL AND COMPACT WITH GRANULAR MATERIALS FREE OF ROCKS LARGER THAN 2"



"THE HOMES AT KIMLOCH FARM"

A PROPOSED COMPREHENSIVE PERMIT PROJECT UNDER M.G.L. CH. 40B

DETAIL SHEET 2 OF 2

SHEET 5 OF 8

PREPARED FOR:

KIMLOCH FARMS, LLC
30 NAGOG PARK DRIVE SUITE #225
ACTON, MASSACHUSETTS 01720

DATE: DECEMBER 12, 2009; REV. 5/24/11

SCALE: AS NOTED

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PLANNING

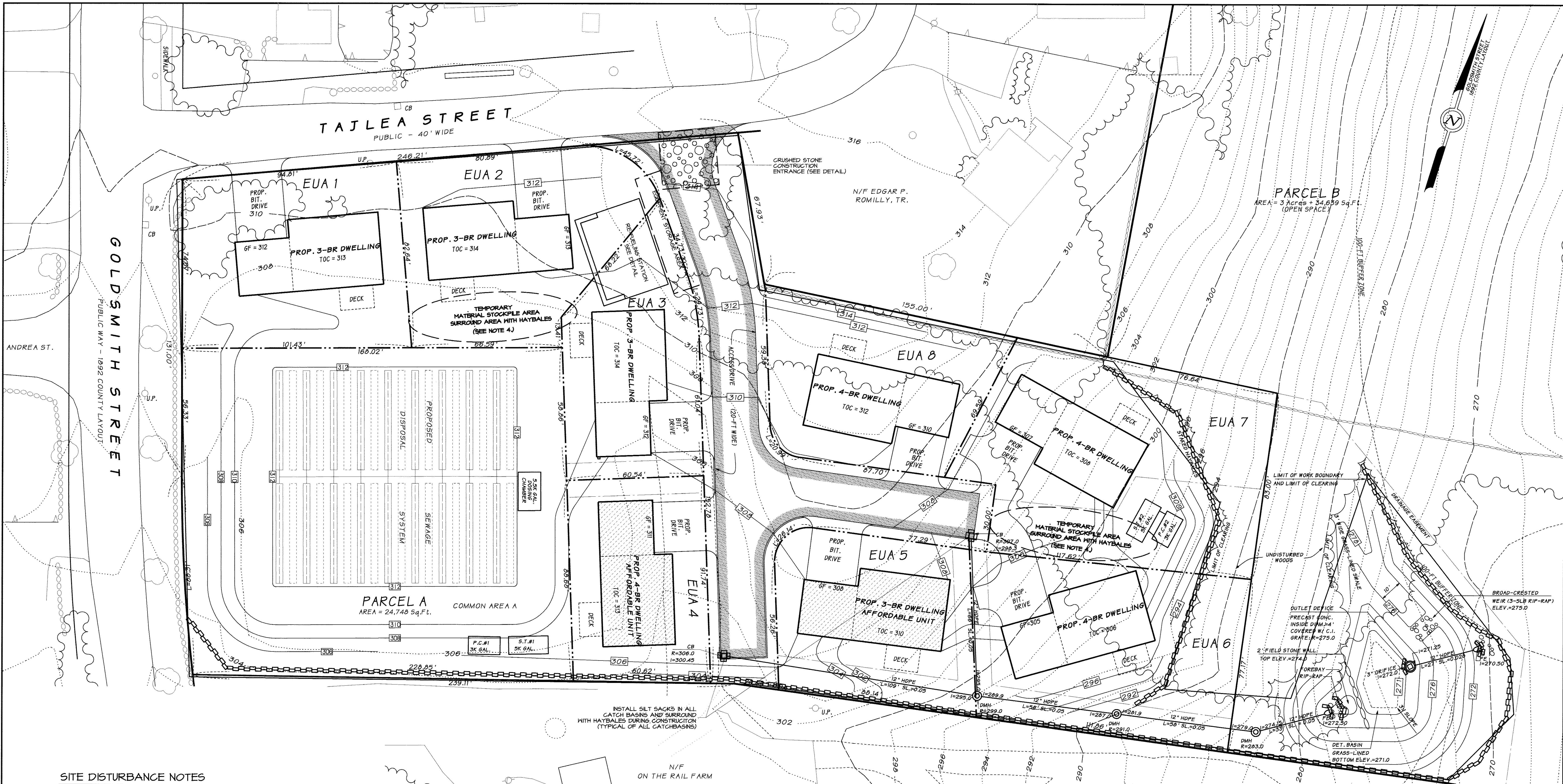


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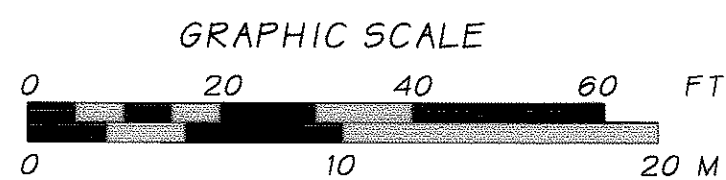
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1269DET.20



SITE DISTURBANCE NOTES

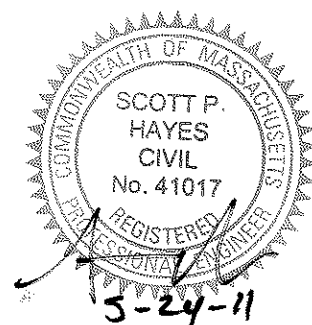
1. TOTAL SITE DISTURBANCE AREA = 2.3 ACRES.
2. TEMPORARY STABILIZATION OF DISTURBED AREAS SHALL BE ACHIEVED WITH HYDROSEED OR WOOD CHIPS.
3. DISTURBED AREAS SHALL BE STABILIZED WITHIN 2 MONTHS AND INSPECTED AND RE-STABILIZED REGULARLY.
4. STOCKPILES SHALL BE SURROUNDED BY HAYBALES AS SHOWN BELOW AND COVERED WITH TARPS OR EROSION CONTROL BLANKETS AT THE END OF EACH WORK DAY WHILE IN USE.
5. DEVELOPER IS REQUIRED TO CLEAN UP ANY SAND, DIRT OR DEBRIS WHICH ERODES FROM THE SITE INTO ANY PUBLIC STREET OR PRIVATE PROPERTY, AND TO REMOVE SILTS OR DEBRIS THAT ENTERS INTO EXISTING DRAINAGE INCLUDING CATCH BASIN SUMPS, PIPE LINES, MANHOLES OR DITCHES.



LEGEND

- CB PROPOSED PRECAST CONCRETE CATCH BASIN
- ⊙ DMH PROPOSED PRECAST CONCRETE DRAIN MANHOLE
- HAYBALES PROPOSED STAKED HAYBALES (LIMIT OF WORK)
- EUA 5 EXCLUSIVE USE AREA

PLAN NO. 546-8
SHEET 6 OF 8
DATE 2012



"THE HOMES AT KIMLOCH FARM"

A PROPOSED COMPREHENSIVE PERMIT PROJECT UNDER M.G.L. CH. 40B

EROSION & SEDIMENT CONTROL PLAN I OF 2

SHEET 6 OF 8

PREPARED FOR:

KIMLOCH FARMS, LLC
30 NAGOG PARK DRIVE SUITE #225
ACTON, MASSACHUSETTS 01720

DATE: DECEMBER 12, 2009; REV. 5/24/2011

SCALE: 1"=20'

Phone: (978) 461-2350
Fax: (978) 841-4102

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12695ED.2D

OPERATION AND MAINTENANCE PLAN

Inspection and maintenance shall be the responsibility of the developer during the construction of the development. After completion of construction, the homeowners association shall be given notification of the responsibility of these inspection and maintenance requirements.

Developer:
Kimloch Farms, LLC
30 Nagog Park Drive Suite 225
Acton, MA 01720

STORMWATER SYSTEM COMPONENT INSPECTION & MAINTENANCE PROCEDURES

Deep Sump Hooded Catch Basins:

The actual removal of sediments and associated pollutants and trash occurs only when inlets or sumps are cleaned out; therefore, regular maintenance is required. The more frequent the cleaning, the less likely sediments will be re-suspended and subsequently discharged. In addition, frequent cleaning also results in more volume available for future storms and enhances the overall performance.

Inspection Procedure
Inspections should occur after every major storm event in the first few months after construction to ensure the amount of sediment is not exceeding the sump volume. Thereafter the catch basins should be inspected for sediment and trash buildup 4 times a year.

Maintenance Procedure
Deep sumps should be cleaned two times per year or when the amount of sediment and trash exceeds 1/4 the sump volume. Disposal of the accumulated sediment and hydrocarbons must be in accordance with applicable local, state, and federal guidelines and regulations.

Detention Basin:

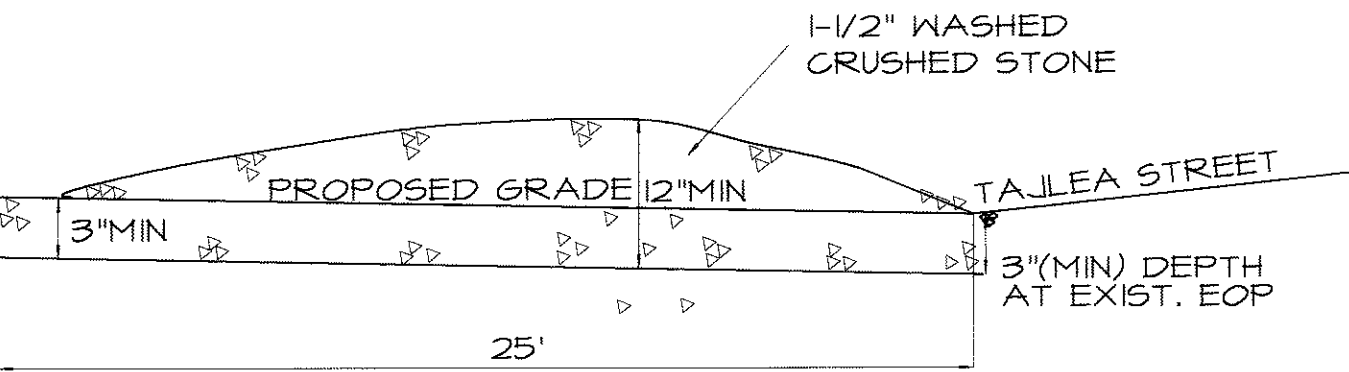
Inspection Procedure
Preventive maintenance should be performed at least twice a year, and ideally sediment should be removed from pretreatment catchbasins after every major storm event during construction. Once the basin has gone online, inspections should occur after every major storm for the first few months to ensure proper stabilization and function. Attention should be paid to how long water remains standing in the basin after a storm; standing water within the basin 48 to 72 hours after a storm indicates that the outlet orifice may be blocked. Factors responsible for clogging, (such as upland sediment erosion, excessive compaction of soils, and low spots) should be repaired immediately. Thereafter, the infiltration basin should be inspected at least twice per year.

Important items to check for include: differential settlement, cracking, erosion, leakage, or tree growth on the embankments, condition of riprap, sediment accumulation and the health of the turf.

Maintenance Procedure
At least twice a year, the buffer area, side slopes and basin bottom should be mowed. Grass clippings and accumulated organic matter should be removed to prevent the formation of an impervious organic mat. Trash and debris should also be removed at this time. Deep tilling can be used to break up a clogged surface area. Any tilled areas should be re-vegetated immediately. Sediment should be removed from the basin as necessary. Removal procedures should not take place until the floor of the basin is thoroughly dry. Light equipment, which will not compact the underlying soil, should be used to remove the top layer. The remaining soil should be deeply tilled, and re-vegetated as soon as possible. Pretreatment devices associated with basins should be inspected and cleaned at least twice a year, and ideally every other month.

Sediment Forebay:

The actual removal of sediments and associated pollutants occurs only when sediment traps and forebays are cleaned; therefore, during construction regular maintenance is required. Frequent removal of accumulated sediments will make it less likely that sediments will be resuspended. At a minimum, sediment traps should be cleaned four times per year and inspected monthly during construction, and annually thereafter.



CRUSHED STONE ENTRANCE DETAIL

NOT TO SCALE

NOTE: PURPOSE IS TO REMOVE MUD FROM TIRES AND PREVENT EROSION ON TAJLEA STREET

GENERAL

THE PURPOSE OF THIS PLAN IS TO PROVIDE THE DEVELOPER OR CONTRACTOR WITH A MEANS FOR EROSION AND SEDIMENT CONTROL DURING AND AFTER DEVELOPMENT OF THE SITE.

SITE DEVELOPMENT IS OUTSIDE THE JURISDICTION OF THE LITTLETON CONSERVATION COMMISSION AND THE WETLANDS PROTECTION ACT. SITE IS WITHIN AN ESTIMATED HABITAT OF RARE OR ENDANGERED SPECIES AND WILL REQUIRE A PERMIT FROM THE NATURAL HERITAGE AND ENDANGERED SPECIES PROGRAM PRIOR TO THE START OF CONSTRUCTION.

NOTIFY THE TOWN OF LITTLETON IN WRITING OF INTENT TO BEGIN CONSTRUCTION ACTIVITIES AT LEAST 5 BUSINESS DAYS BEFORE COMMENCING ANY CONSTRUCTION ACTIVITY ON SITE AND RETAIN PROOF OF RECEIPT OF SUCH NOTICE.

EROSION CONTROL NOTES:

- PRIOR TO THE BEGINNING OF CONSTRUCTION ALL EROSION CONTROL BARRIERS SHALL BE INSTALLED. THE LOCATIONS SHALL BE STAKED IN THE FIELD BY A REGISTERED PROFESSIONAL ENGINEER OR LAND SURVEYOR.
- NO WORK SHALL BE DONE WITHIN ANY RESOURCE AREA OR BUFFER ZONE WITHOUT FIRST OBTAINING AN ORDER OF CONDITIONS FROM THE LITTLETON CONSERVATION COMMISSION. THE EROSION CONTROL BARRIER MARKS THE LIMIT OF WORK.
- SUFFICIENT HAYBALES SHALL BE STACKED ON SITE AND KEPT FOR EMERGENCIES. PROPOSED HAYBALES SHALL BE REPLACED WHEN NECESSARY.
- A CRUSHED STONE MOUND SHALL BE PLACED THE FULL WIDTH OF THE ENTRANCE WAY, 25 FEET INTO THE SITE AND ONE FOOT DEEP. THIS MOUND SHALL BE MAINTAINED AND REPLACED IF NECESSARY. (SEE DETAIL)
- EXISTING VEGETATION SHALL BE RETAINED WHERE FEASIBLE.
- THE EROSION CONTROL BARRIERS SHALL BE INSPECTED AND MAINTAINED REGULARLY.
- ALL CLEARED AREAS OF THE STREET NOT PLANTED WITH GROUND COVER SHALL BE LOAMED WITH NOT LESS THAN SIX INCHES OF COMPACTED, GOOD QUALITY LOAM AND SEEDED WITH TURF GRASS IN ACCORDANCE WITH GOOD PLANTING PRACTICE.

SLOPE STABILIZATION

- DENUDED SLOPES SHALL NOT BE UNATTENDED OR EXPOSED FOR EXCESSIVE PERIODS OF TIME, SUCH AS THE INACTIVE WINTER SEASON.
- NO LATER THAN OCTOBER 31 OF EACH CALENDAR YEAR, THE DEVELOPER SHALL STABILIZE ALL EXPOSED SOILS AND OTHER VULNERABLE OR SENSITIVE AREAS IN A MANNER ACCEPTABLE TO THE CONSERVATION COMMISSION. NO ADDITIONAL DISRUPTION MAY OCCUR EXCEPT IN ACCORDANCE WITH THE APPROVED CONSTRUCTION PLAN.
- TOPSOIL SHALL HAVE A SANDY LOAM TEXTURE RELATIVELY FREE OF SUBSOIL MATERIAL, STONES, ROOTS, LUMPS OF SOIL, TREE LIMBS, TRASH OR CONSTRUCTION DEBRIS.
- THE SEED MIX SHALL BE INOCULATED WITHIN 24 HOURS BEFORE MIXING AND PLANTING, WITH APPROPRIATE INOCULUM FOR EACH VARIETY.

VELOCITY CHECKDAMS

THE CONTRACTOR SHALL PROVIDE VELOCITY CHECKDAMS IN ALL UNPAVED ACCESS DRIVE AREAS AT THE INTERVAL INDICATED BELOW:

GRADE OF ACCESS DRIVE	INTERVALS BETWEEN CHECKDAMS
LESS THAN 4%	100 FT
4%-10%	50 FEET
OVER 10%	25 FEET

THE CONTRACTOR SHALL PROVIDE VELOCITY CHECKDAMS IN ALL UNVEGETATED OR UNPAVED CHANNELS AT INTERVALS INDICATED BELOW:

GRADE OF CHANNEL	INTERVALS BETWEEN CHECKDAMS
LESS THAN 3%	100 FT
3%-6%	50 FEET
OVER 6%	25 FEET

- CHECKDAMS SHALL BE OF HAYBALES (STAKED IF NECESSARY).
- CHECKDAMS SHALL BE INSTALLED AT THE END OF EACH WORKING DAY OR BEFORE STOPPAGE DUE TO RAIN.
- CHECKDAMS SHALL EXTEND COMPLETELY ACROSS GUTTER FLOW LINES AT RIGHT ANGLES TO THE CENTERLINE.

SEED MIXTURES

MOWED AREAS (ALL FLATS AND SLOPES EQUAL TO OR LESS THAN 3:1)

MIXTURE	% BY WEIGHT	SEEDING DATES
RED FESCUE	75	APRIL 1 - JUNE 15
KENTUCKY BLUEGRASS	15	AUGUST 15 - OCTOBER 15
COLONIAL BENTGRASS	5	SPRING OR FALL
PERENNIAL RYEGRASS	5	SPRING OR FALL

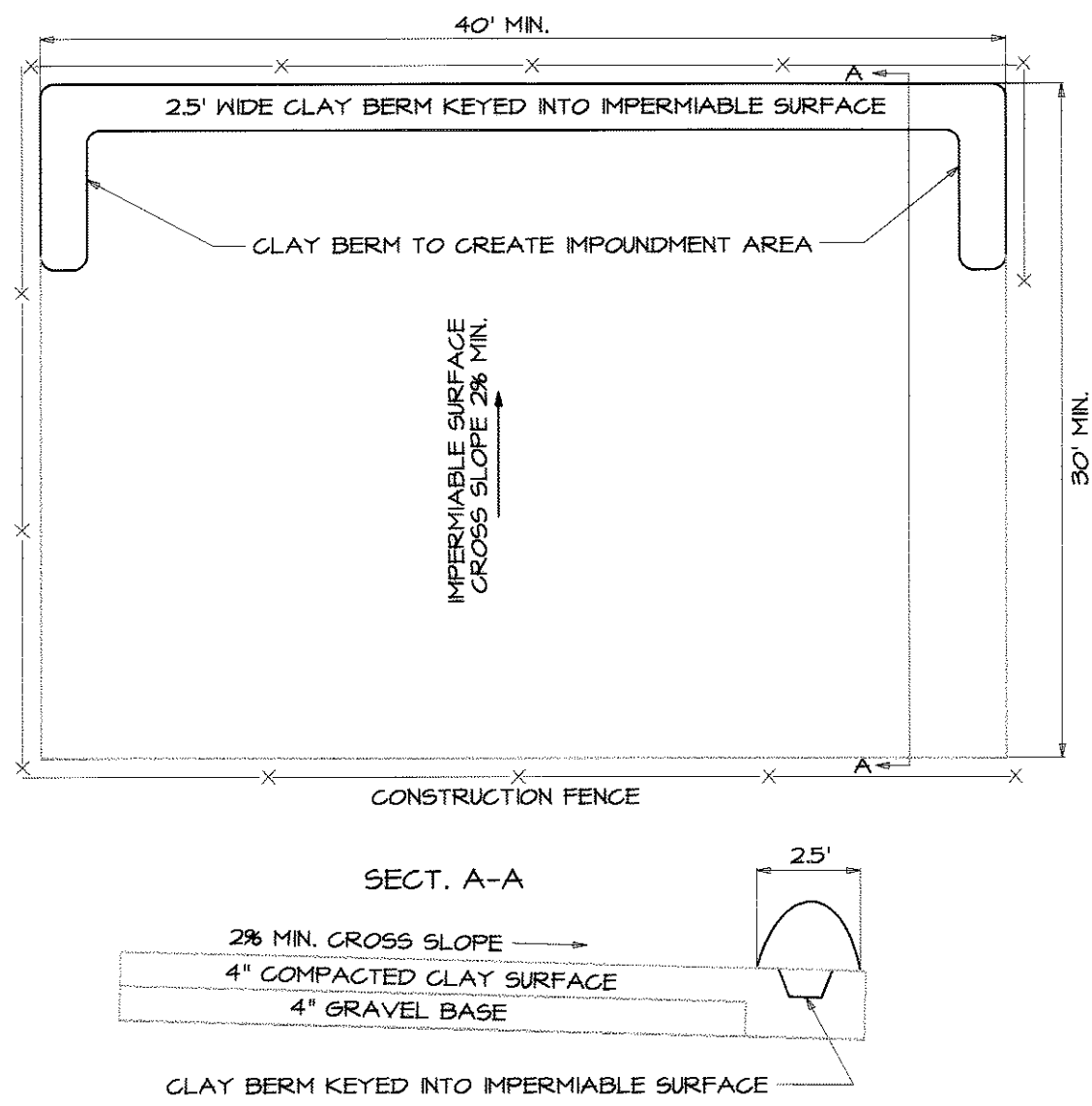
UNMOWED AREAS (FLAT SLOPES GREATER THAN 3:1)

MIXTURE	% BY WEIGHT	SEEDING DATES
RED FESCUE	75	APRIL 1 - JUNE 15
KENTUCKY BLUEGRASS	15	AUGUST 15 - OCTOBER 15
COLONIAL BENTGRASS	5	SPRING OR FALL
PERENNIAL RYEGRASS	15	SPRING OR FALL

CONSTRUCTION SEQUENCE

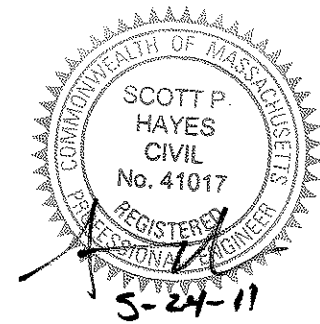
DURING THIS SEQUENCE ALL EROSION CONTROL BARRIERS SHALL BE INSPECTED AND MAINTAINED. ALL DISTURBED AREAS SHALL BE STABILIZED BY WOOD CHIPS, MULCH, SEEDING OR SODDING AS SOON AS POSSIBLE AFTER GRADING IS COMPLETE. ALL EROSION CONTROL BARRIERS SHALL BE REMOVED UPON COMPLETION OF ALL SLOPE STABILIZATION. SITE SHALL BE CONSTRUCTED IN ONE PHASE.

- INSTALL EROSION CONTROL BARRIERS.
- CLEAR AND GRUB PROPOSED LIMITS OF CLEARING.
- CONSTRUCT CRUSHED STONE CONSTRUCTION ENTRANCE AND ROUGH GRADE DETENTION BASIN.
- ROUGH GRADE ACCESS ROAD AND AREAS TO BE PAVED.
- INSTALL VELOCITY CHECKDAMS.
- INSTALL STORM DRAINS STARTING AT DETENTION BASIN AND WORKING UPGRADE.
- INSTALL UTILITIES WITHIN PAVED AREAS.
- COMPLETE GRADING AND COMPACTION OF AREAS TO BE PAVED.
- LAY BINDER COURSE OF PAVEMENT, AND INSTALL CAPE COD BERMS.
- INSTALL HAYBALES OR FILTER FABRIC AROUND CATCHBASINS.
- CONSTRUCT DWELLING UNITS.
- LAY FINISH COURSE OF PAVEMENT.
- LOAM AND SEED ALL DISTURBED AREAS; COMPLETE SITE LANDSCAPING.
- FOLLOWING CONSTRUCTION AND AFTER VEGETATION HAS BEEN ESTABLISHED, REMOVE ALL EROSION CONTROL BARRIERS.



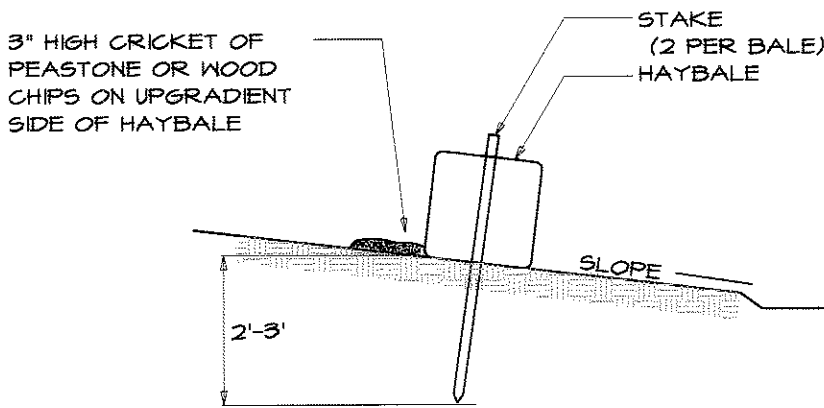
RE-FUELING STATION DETAIL

- RE-FUELING STATION TO BE LOCATED OUTSIDE 100' BYW BUFFER ZONE (SEE PLAN)
- RE-FUELING AND MAINTENANCE OF ALL VEHICLES SHALL BE LIMITED TO THE RE-FUELING STATION.
- THE SURFACE OF THE RE-FUELING STATION SHALL BE MAINTAINED AS IMPERMEABLE FOR THE PURPOSE OF PREVENTING CHEMICAL INFILTRATION IN THE EVENT OF A SPILL.
- AT THE COMPLETION OF CONSTRUCTION THE SURFACE OF THE RE-FUELING STATION SHALL BE REMOVED AND HAULED OFF SITE.
- IN THE EVENT OF A SPILL DEP SHALL BE NOTIFIED IMMEDIATELY. DEP SPILL HOTLINE 1-888-304-1833



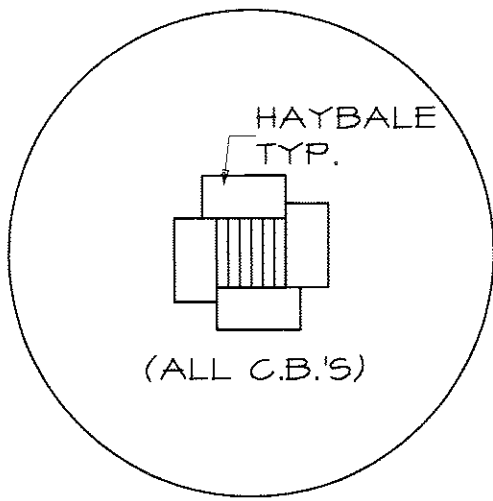
EROSION CONTROL BARRIER

NOT TO SCALE



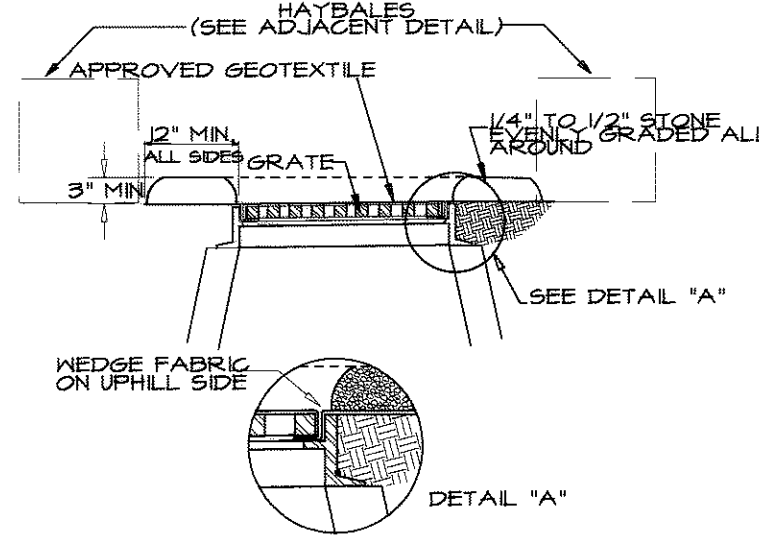
STAKED HAYBALE DETAIL

N.T.S.



CATCH BASIN WITH HAYBALES

NOTE: AN APPROVED FILTER SILT SACKS UNDER THE GRATE ARE REQUIRED IN ADDITION TO THE HAYBALES



FILTERED CATCH BASIN

INLET

NOT TO SCALE

NOTE: ALL CATCH BASINS SHALL HAVE HAYBALES PLACED AROUND THEM AS SHOWN ON THE 'CATCH BASINS WITH HAYBALES' DETAIL UNTIL ALL CONSTRUCTION IS COMPLETE AND DISTURBED SLOPES ARE STABILIZED. THEY SHOULD BE CLEANED OF SILT AND DEBRIS DURING CONSTRUCTION AS NECESSARY.

PLAN NO. 546 7-8 OF 2012
SHEET 7 OF 8

"THE HOMES AT KIMLOCH FARM"

A PROPOSED COMPREHENSIVE PERMIT PROJECT UNDER M.G.L. CH. 40B

EROSION & SEDIMENT CONTROL PLAN 2 OF 2

SHEET 7 OF 8

PREPARED FOR:

KIMLOCH FARMS, LLC
30 NAGOG PARK DRIVE SUITE #225
ACTON, MASSACHUSETTS 01720

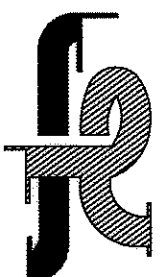
DATE: DECEMBER 12, 2009; REV. 5/24/2011

SCALE: 1"=20'

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