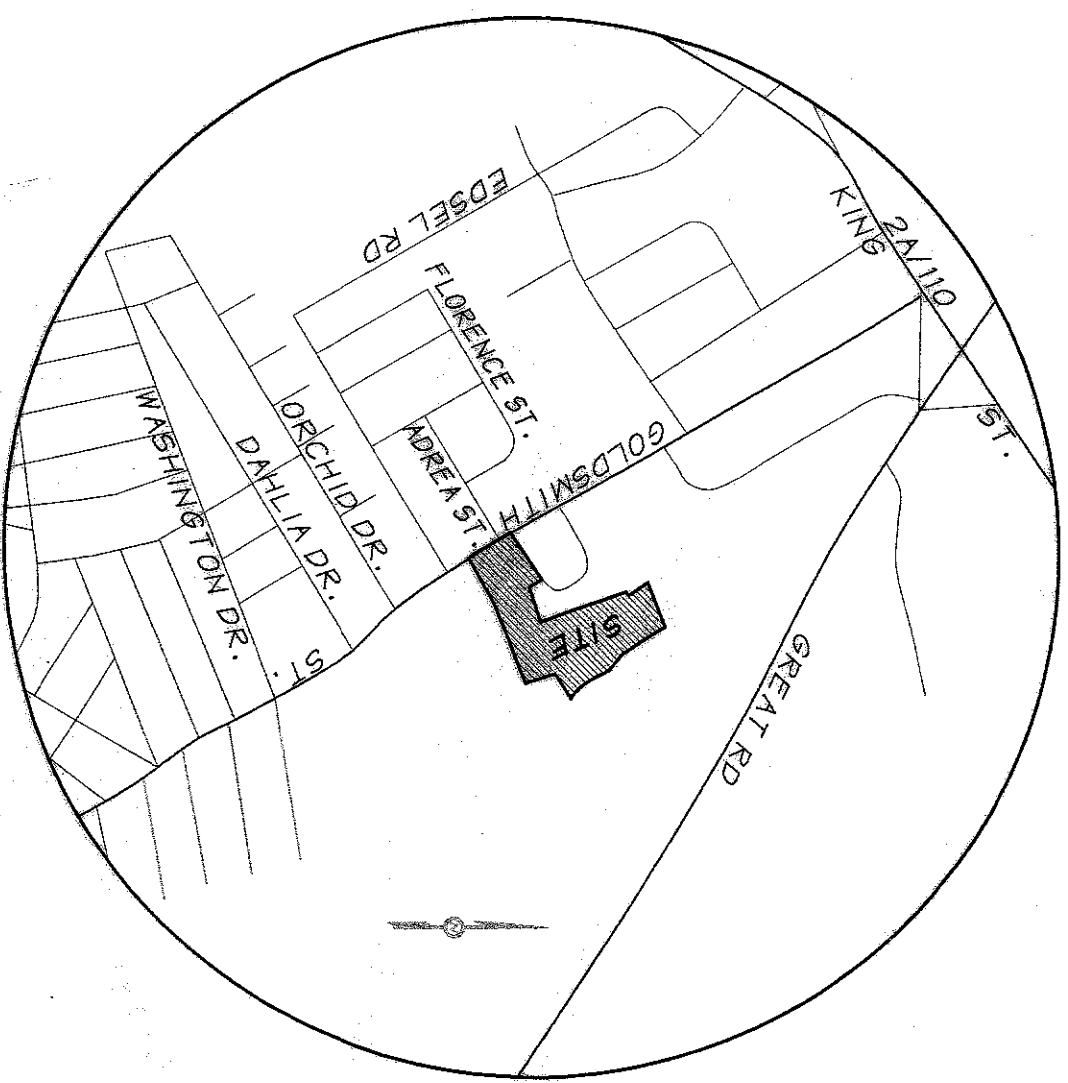


THE HOMES AT KIMLOCH FARM

A PROPOSED COMPREHENSIVE PERMIT PROJECT UNDER MGL CHAPTER 40B



LOCUS PLAN
NOT TO SCALE

LOCUS PARCEL INFORMATION
ASSESSORS MAP U-11 PARCEL 53-1
ZONING CLASSIFICATION: RESIDENTIAL

RECORD OWNER:
ON THE RAIL FARM CO., INC.
P.O. BOX 99
SHIRLEY, MASSACHUSETTS 01464

AREA
TOTAL SITE AREA = 5.994 ACRES

PUBLIC UTILITIES
LITTLETON WATER DEPARTMENT (LWD)
LITTLETON ELECTRIC LIGHT DEPT. (LELD)
KEYSPAN (GAS)
VERIZON (TELECOM)
COMCAST (TELECOM)

ELEVATION DATUM REFERENCE:
NATIONAL GEODETIC VERTICAL DATUM
OF 1929 (NGVD29)
BM 2560, MONEL RIVET IN TOP OF STONE BOUND AT
NORTHEAST CORNER OF LOT AT LITTLETON PUBLIC
LIBRARY

9/13/12



VICINITY PLAN
SCALE: 1"=100'

- NOTES**
1. SITE IS WITHIN ZONE C OF THE FLOOD INSURANCE RATE MAP FOR LITTLETON MASSACHUSETTS (AREAS OF MINIMAL FLOODING), REF. F.I.R.M. COMMUNITY PANEL NO. 250200 0004 B EFFECTIVE JUNE 13, 1993.
 2. A PORTION OF THE SITE IS WITHIN AN ESTIMATED HABITAT OF RARE OR ENDANGERED SPECIES AS DETERMINED BY THE NATIONAL HERITAGE AND ENDANGERED SPECIES PROGRAM (REF. MASS GIS 11/04/09).
 3. THE SITE IS NOT WITHIN A MASSACHUSETTS DEPARTMENT OF ENVIRONMENTAL PROTECTION DEFINED "ZONE II" OR INTERIM WELLSHEAD PROTECTION AREA (IWPA) OF A PUBLIC WATER SUPPLY (REF. MASSGIS 3/20/09).
 4. SITE IS NOT LOCATED WITHIN THE TOWN OF LITTLETON AQUIFER PROTECTION DISTRICT.

PLAN INDEX

1 OF 8	TITLE SHEET
2 OF 8	RECORD PLAN
3 OF 8	SITE DEVELOPMENT PLAN
4 OF 8	CONSTRUCTION DETAILS 1 OF 2
5 OF 8	CONSTRUCTION DETAILS 2 OF 2
6 OF 8	EROSION & SEDIMENTATION CONTROL PLAN 1 OF 2
7 OF 8	EROSION & SEDIMENTATION CONTROL PLAN 2 OF 2
8 OF 8	LANDSCAPE & TRAFFIC PATTERN PLAN

THIS IS TO CERTIFY THAT NOTICE OF APPROVAL OF THIS PLAN BY THE LITTLETON BOARD OF APPEALS WAS RECEIVED AND RECORDED AT THIS OFFICE ON THE TWENTY DAYS NEXT FOLLOWING RECEIPT AND RECORDING OF THIS NOTICE.

LITTLETON TOWN CLERK DATE

"THE HOMES AT KIMLOCH FARM"

A PROPOSED COMPREHENSIVE PERMIT PROJECT UNDER M.G.L. CH. 40B

TITLE SHEET

SHEET 1 OF 8

PREPARED FOR:

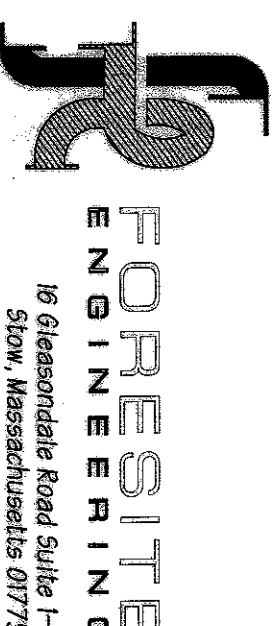
KIMLOCH FARMS, LLC
30 NAGOG PARK DRIVE SUITE #225
ACTION, MASSACHUSETTS 01720

DATE: DECEMBER 12, 2009; REV. 5/24/11

ENGINEERING

SURVEYING

PLANNING

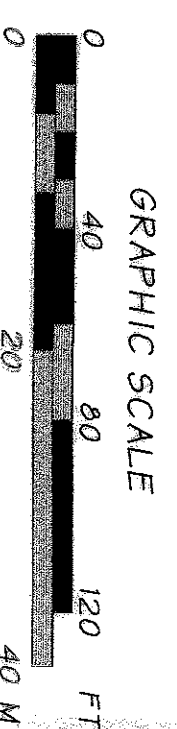
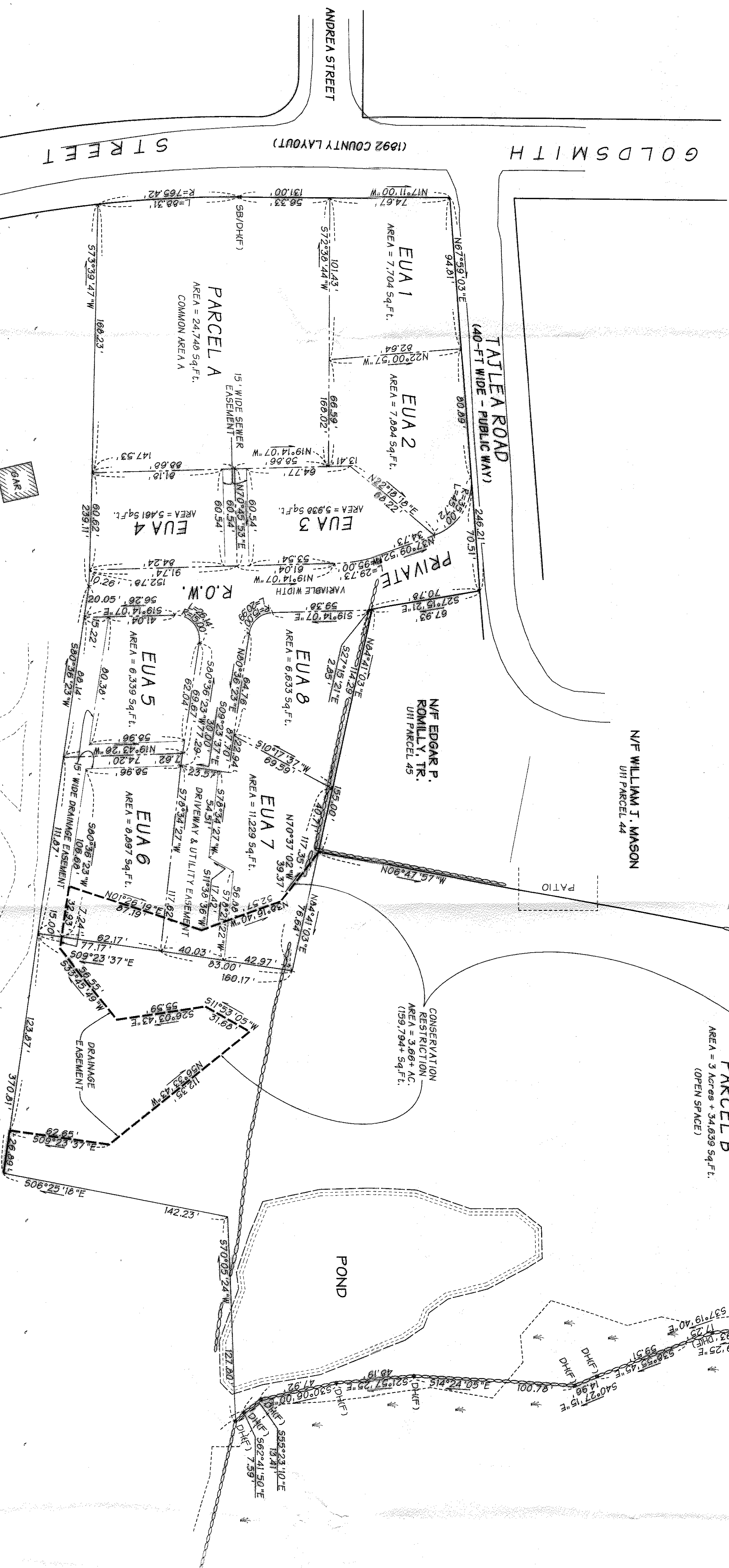
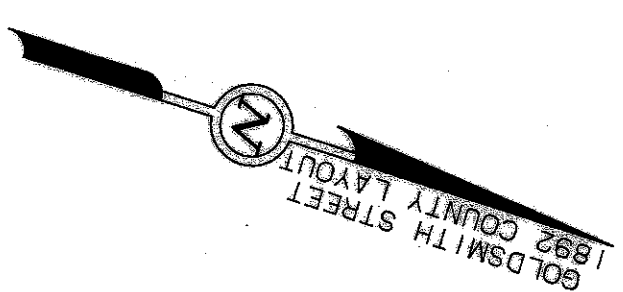
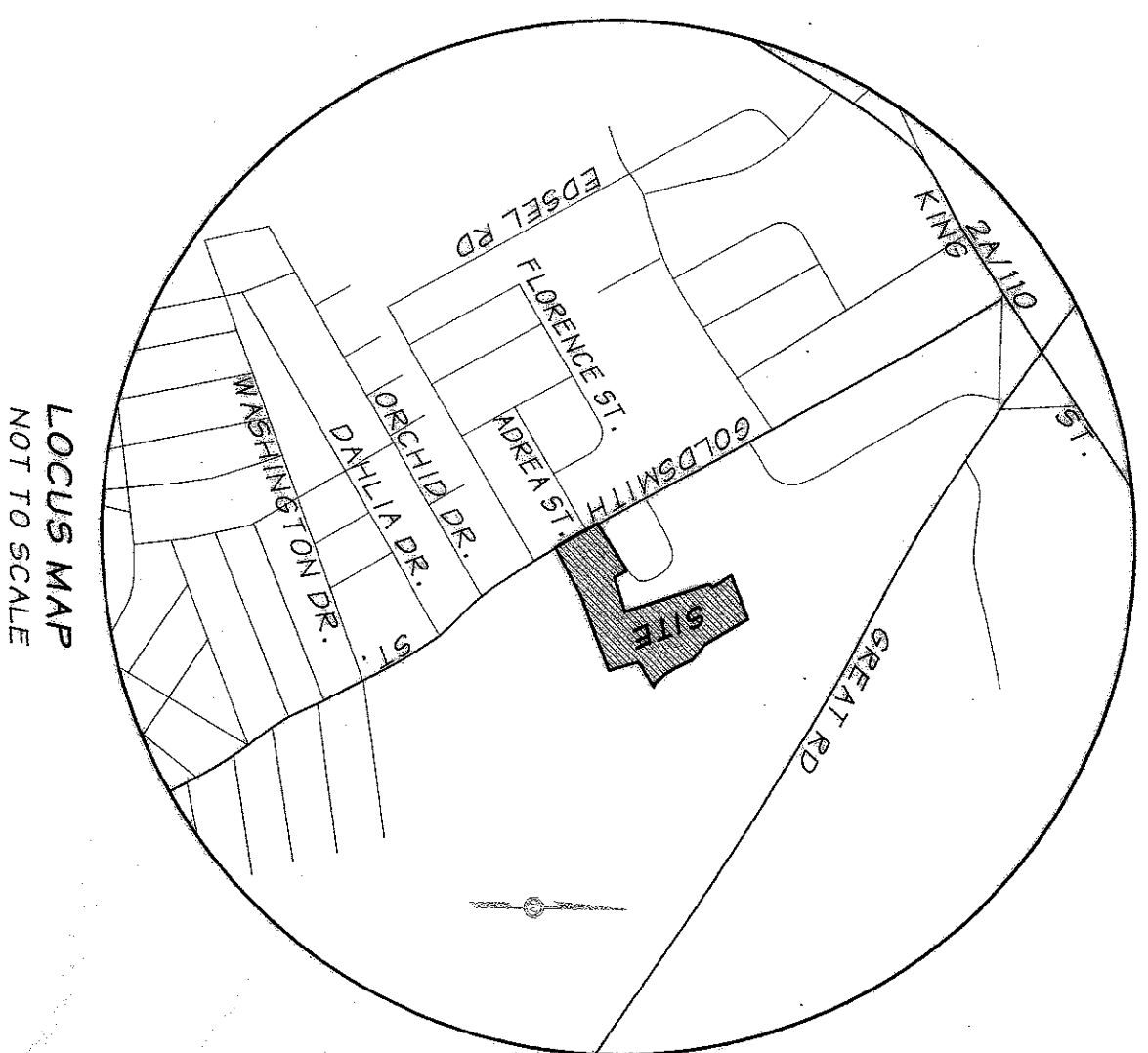


16 Gloucester Road Suite 1-1
Shrewsbury, Massachusetts 01775

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SCALE: 1"=20'
Phone: (978) 461-2350
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FOR REGISTRY USE

DEED REFERENCE:
DEED BOOK 43320 PAGE 265 RECORDED AT THE MIDDLESEX
SOUTH DISTRICT REGISTRY OF DEEDS.

NOTES:
ZONING DISTRICT: RESIDENTIAL
ASSESSORS REFERENCES: MAP U-11 PARCEL 53-1
RECORD OWNER: ON THE RAIL FARM CO. INC.

I CERTIFY THAT THIS PLAN HAS BEEN PREPARED IN
CONFORMITY WITH THE RULES AND REGULATIONS OF
THE REGISTERS OF DEEDS OF THE COMMONWEALTH
OF MASSACHUSETTS.

Susan Sullivan
PROFESSIONAL LAND SURVEYOR
DATE: 5/24/11



THIS IS TO CERTIFY THAT THE NOTICE OF APPROVAL
OF THIS PLAN BY THE LITTLETON ZONING BOARD OF APPEALS
WAS RECEIVED AND RECORDED IN THE OFFICE OF THE
AT 20 DAYS NEXT AFTER SUCH RECEIPT AND RECORDING
OF SAID NOTICE.

TOWN CLERK - LITTLETON, MASS. DATE

LEGEND
• SB(DHF) STONE BOUND W/ DRILL HOLE (FOUND)
○ DH(F) DRILL HOLE (FOUND)
EUA 5 EXCLUSIVE USE AREA

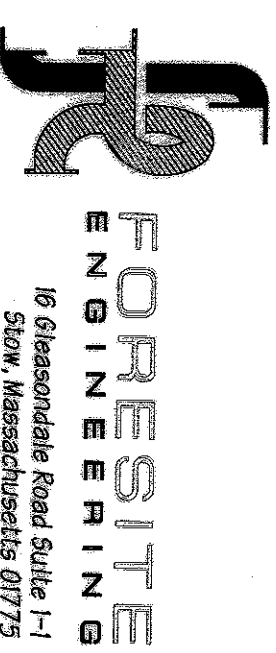
"THE HOMES AT KIMLOCH FARM"
A PROPOSED COMPREHENSIVE PERMIT PROTECT UNDER M.G.L. CH. 40B
RECORD PLAN

PREPARED FOR:

KIMLOCH FARMS, LLC
30 NAGOG PARK DRIVE SUITE #225
ACTON, MASSACHUSETTS 01720

DATE: DECEMBER 12, 2009, REV. 5/24/2011

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PLANNING

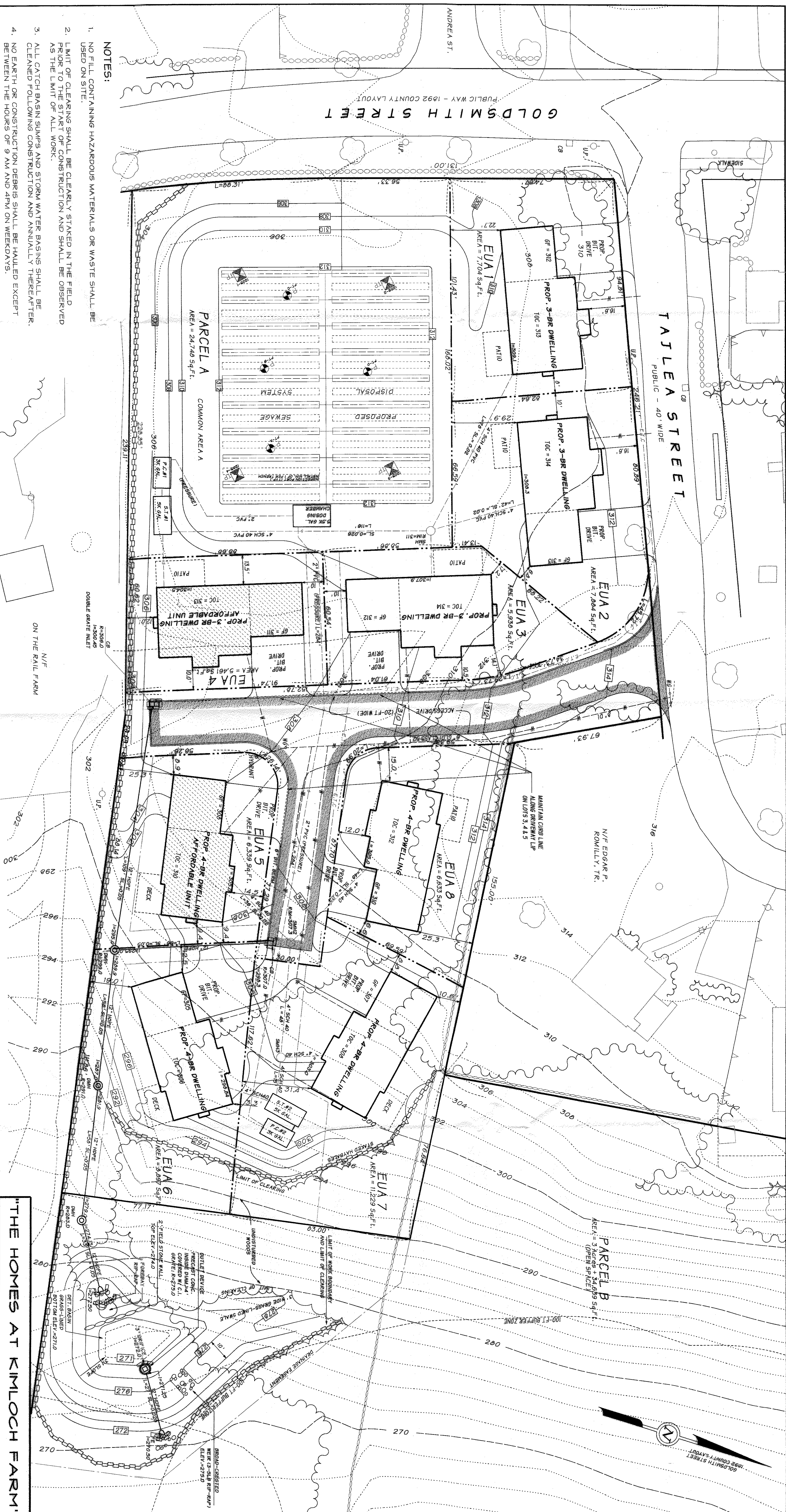


15 Glenwood Road Suite 14
Stow, Massachusetts 01770

Phone: (978) 481-2350
Fax: (978) 841-4102

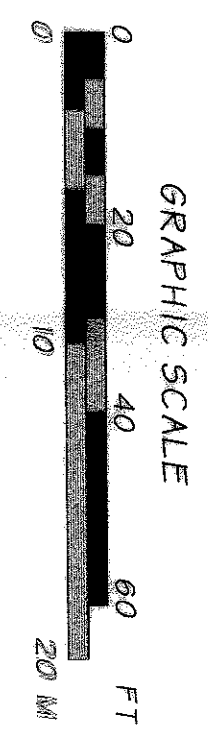
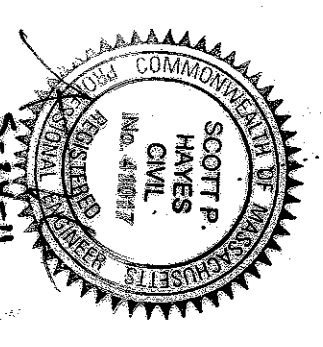
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NOTES:

1. NO FILL CONTAINING HAZARDOUS MATERIALS OR WASTE SHALL BE USED ON SITE.
2. LIMIT OF CLEARING SHALL BE CLEARLY STAKED IN THE FIELD PRIOR TO THE START OF CONSTRUCTION AND SHALL BE OBSERVED AS THE LIMIT OF ALL WORK.
3. ALL CATCH BASIN SUMP AND STORM WATER BASINS SHALL BE CLEANED FOLLOWING CONSTRUCTION AND ANNUALLY THEREAFTER.
4. NO EARTH OR CONSTRUCTION DEBRIS SHALL BE HAILED EXCEPT BETWEEN THE HOURS OF 9 AM AND 4PM ON WEEKDAYS.
5. IMPERVIOUS TRAVELLED SURFACES SHALL BE CONSTRUCTED OF BITUMINOUS ASPHALTIC CONCRETE, TYPE 1, LAID IN TWO COURSES, A 2" BINDER COURSE AND A 1" FINISH (TOP) COURSE.
6. ALL STUMPS SHALL BE EITHER GROUND ON SITE WITH A STUMP GRINDER OR REMOVED FROM THE SITE FOR PROPER DISPOSAL.
7. CONTRACTOR SHALL CONTACT DIGSAFE AT (888) 344-7233 AT LEAST 72 HOURS BEFORE EXCAVATING ON PUBLIC OR PRIVATE PROPERTY.
8. NO PORTION OF THE SITE LIES WITHIN THE 100 YEAR FLOODPLAIN.
9. REF. F.I.R.M. 250716 REV. 1/6/05.
10. ALL ELEVATIONS REFER TO THE NATIONAL GEODETIC VERTICAL DATUM OF 1929 (NGVD29).
11. ALL PROPOSED WATER MAINS, SERVICES, AND HYDRANTS SHALL BE INSTALLED IN ACCORDANCE WITH THE SPECIFICATIONS OF THE LITTLETON WATER DEPARTMENT.
12. SITE SHALL BE GRADED TO ENSURE RUNOFF AWAY FROM STREETS, BUILDINGS AND ADJUTING PROPERTY AND TO PREVENT POOLING OF DEBRIS.



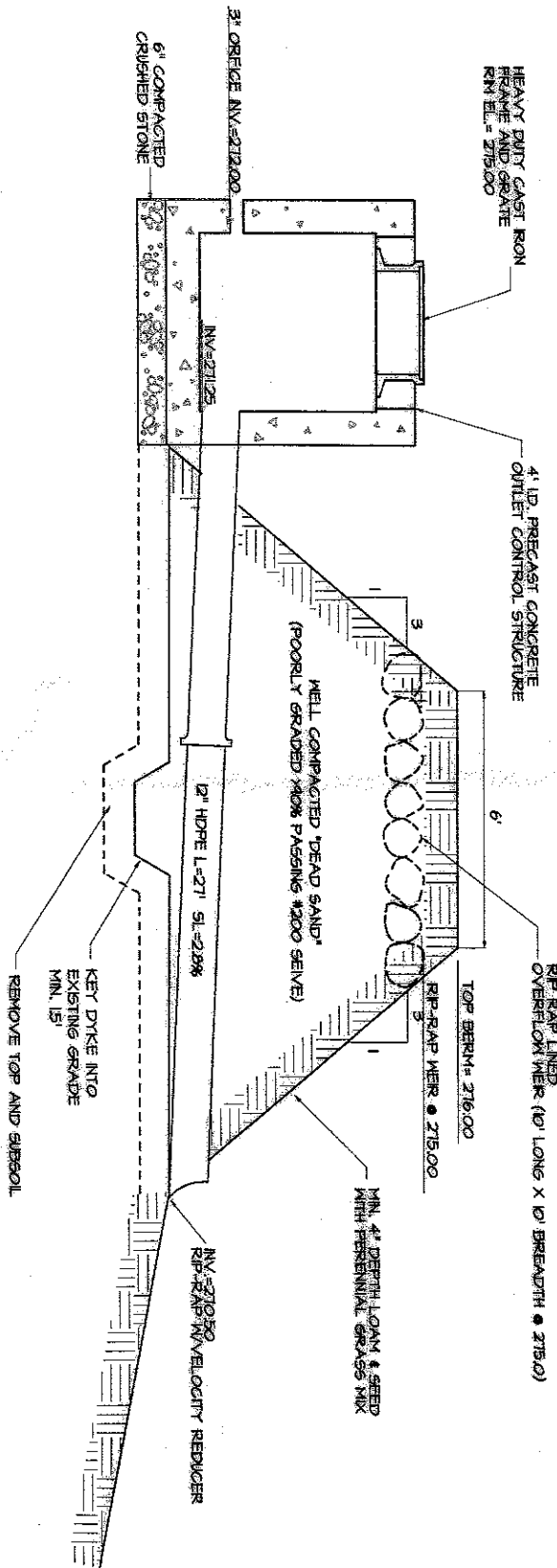
LEGEND

- Proposed Precast Concrete Catch Basin
- Proposed Precast Concrete Drain Manhole
- Proposed Precast Concrete Sewer Manhole
- Proposed 6" SDR 35 Sanitary Sewer
- Proposed 6" Cement Lined Ductile Iron (Class 52) Water Main
- Proposed Underground Electric, Telephone & Cable Utility Trench
- Proposed Staked Haybales (Limit of Work)
- Exclusive Use Area

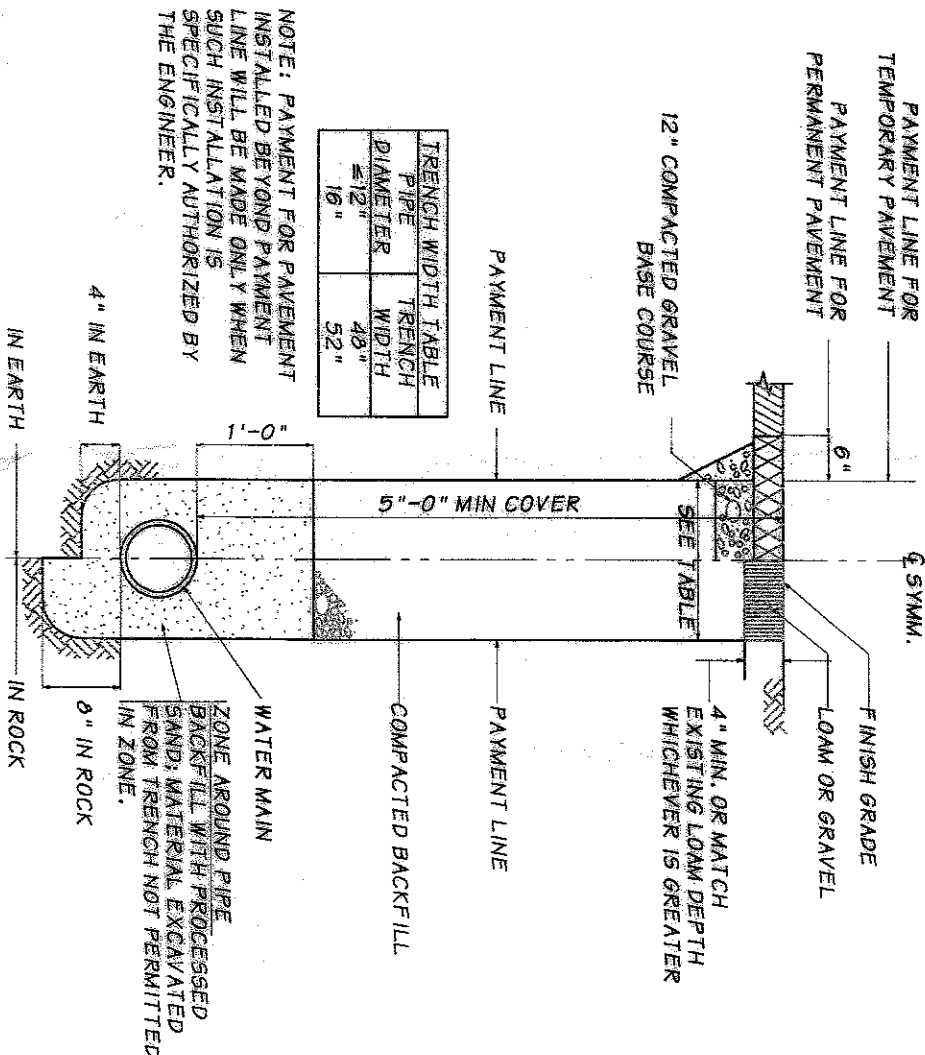
"THE HOMES AT KIMLOCH FARM"
A PROPOSED COMPREHENSIVE PERMIT PROJECT UNDER M.G.L. CH. 40B
SITE DEVELOPMENT PLAN

PREPARED FOR: KIMLOCH FARMS, LLC
30 NAGOG PARK DRIVE SUITE #225
ACTON, MASSACHUSETTS 01720

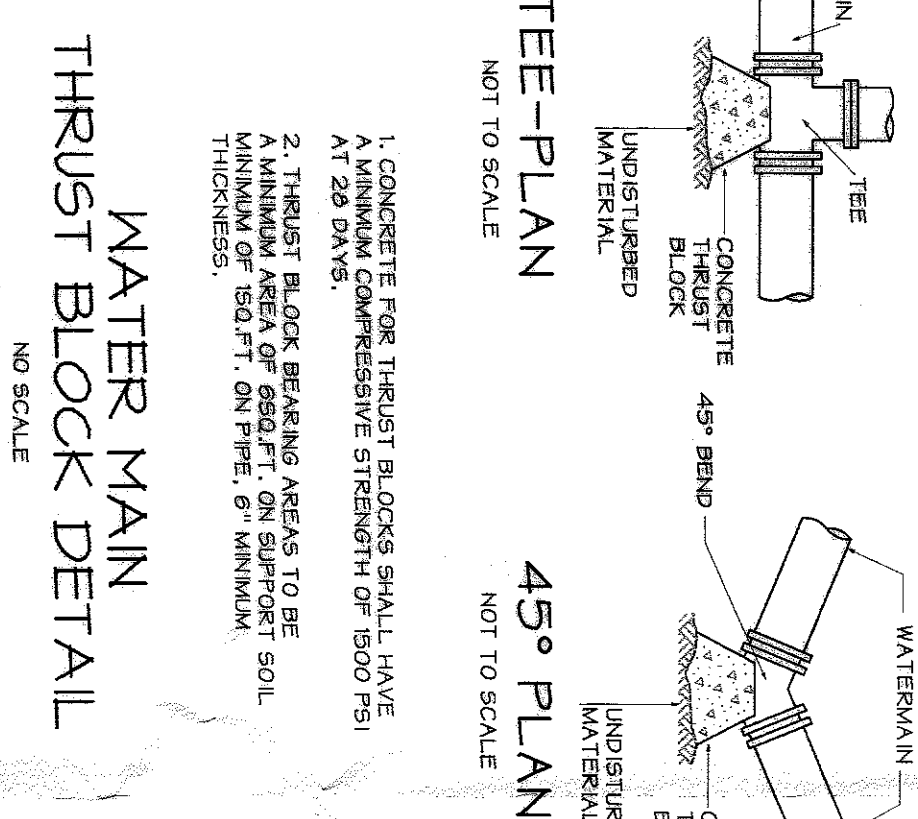
ENGINEERING: FORESITE ENGINEERING
SURVEYING: FORESITE ENGINEERING
PLANNING: FORESITE ENGINEERING
REL. 9/29/10 - BUILDING FOOTPRINTS, SETBACKS, 12/10/10 - DR. CH. CURE CUTS 3.4.5, MOORE UNIT 3 BACK
DATE: DECEMBER 12, 2009; REV. 5/24/2011
SCALE: 1"=20'
Phone: (978) 461-2350
Fax: (978) 461-1012
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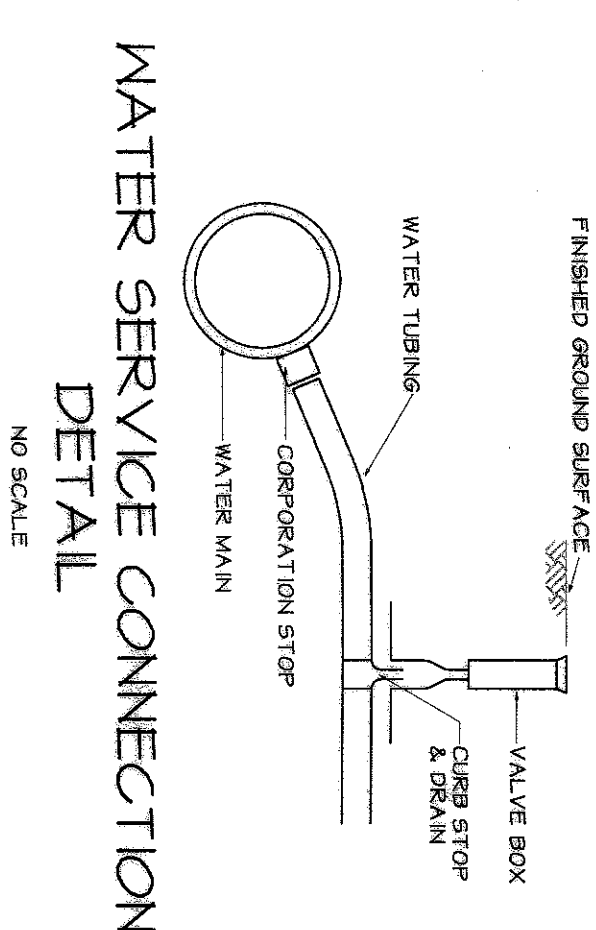
OUTLET STRUCTURE & EARTHEN
DIKE DETAIL
NO SCALE



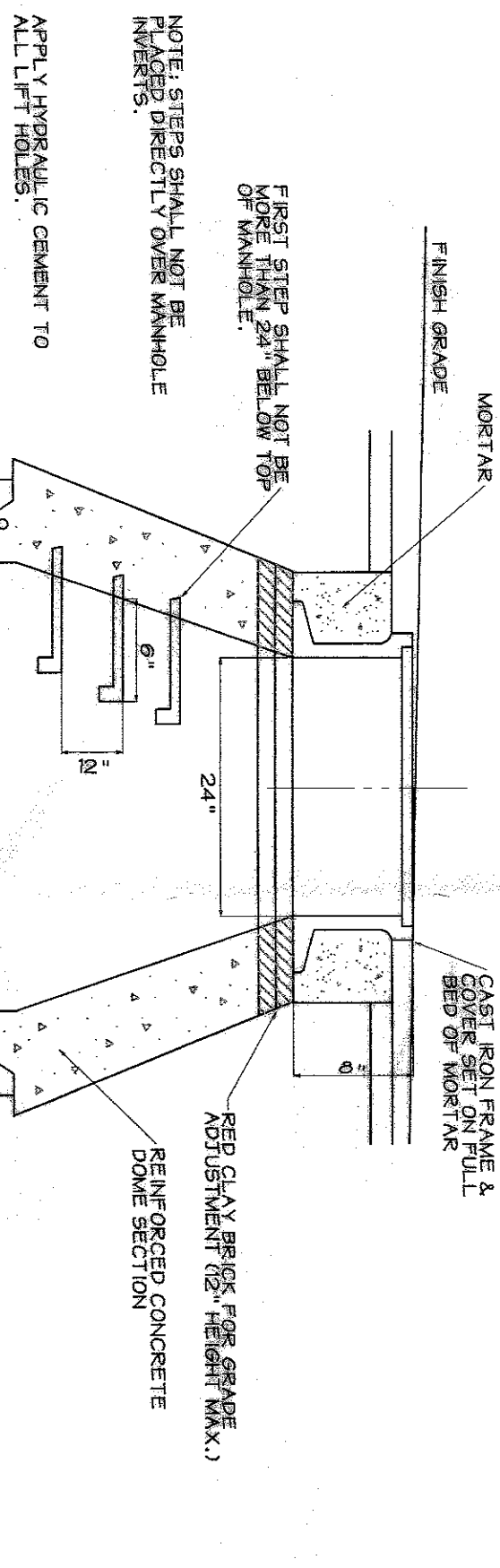
WATER MAIN
TRENCH DETAIL
NO SCALE



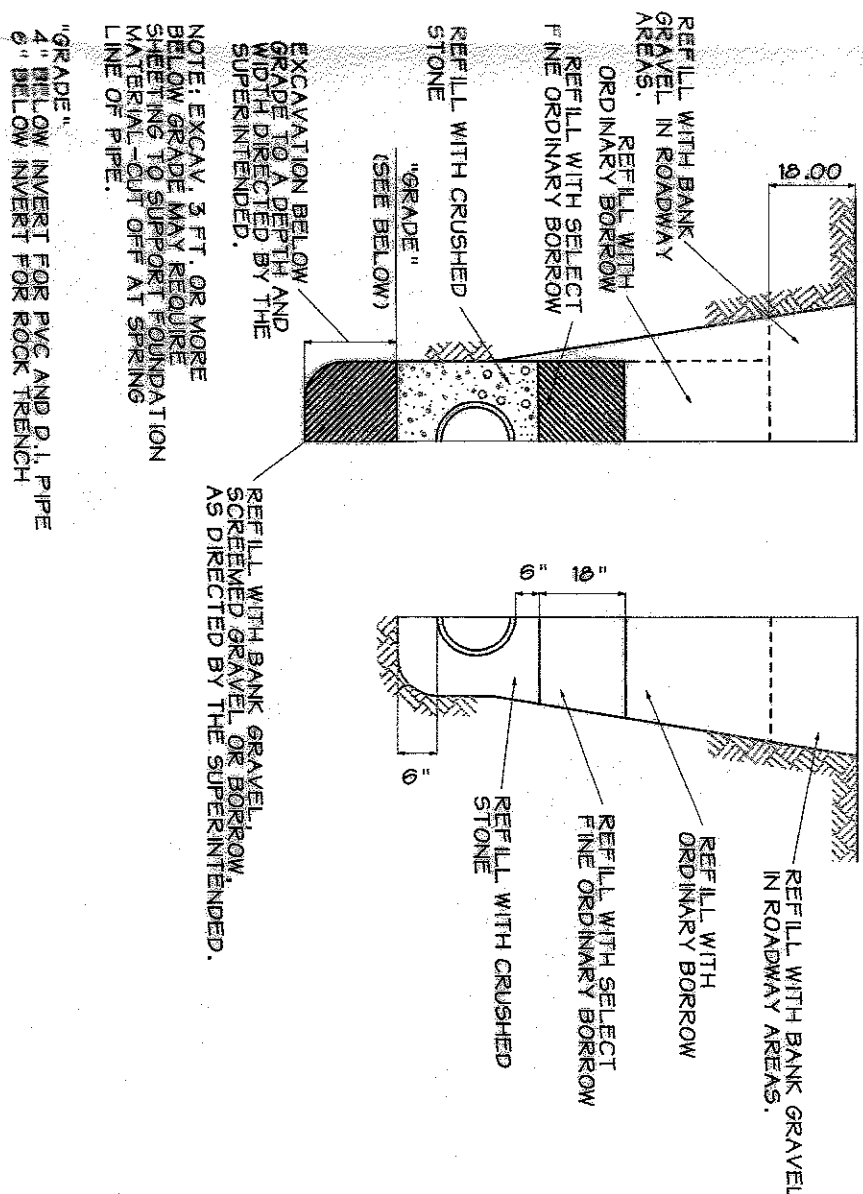
WATER MAIN
THRUST BLOCK DETAIL
NO SCALE



WATER SERVICE CONNECTION
DETAIL
NO SCALE



PRECAST CONCRETE
GRAVITY SANITARY SEWER MANHOLE
NO SCALE



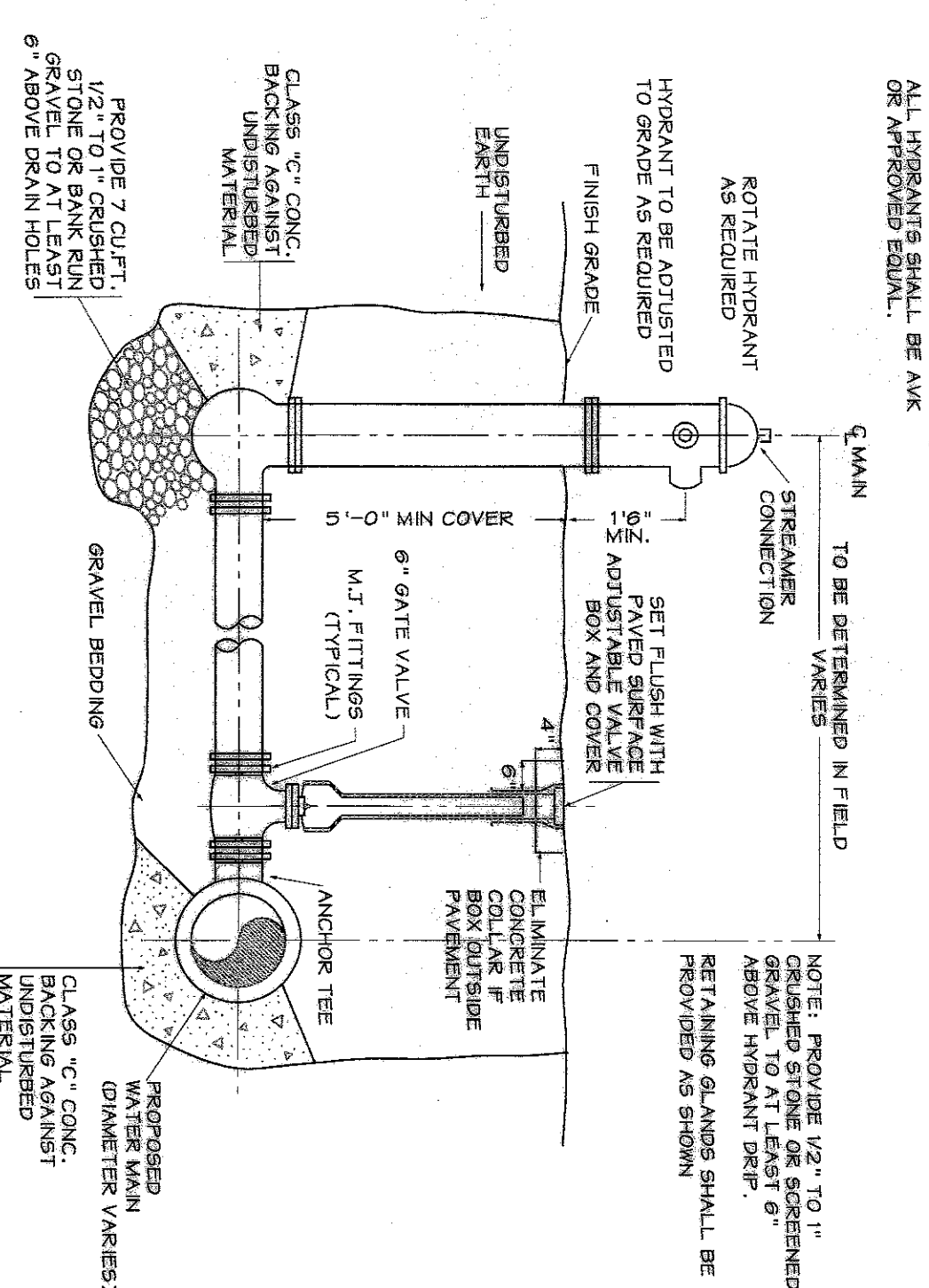
TYPICAL SECTION
EARTH/ROCK TRENCH
NOT TO SCALE

UNDERGROUND UTILITY NOTES

1. PRIMARY ELECTRIC, INSTALL 2-1/2\"/>

HYDRANT ASSEMBLY & VALVE DETAIL NO SCALE

NOTE: WATER MAIN INSTALLATION, INCLUDING MAINS, HYDRANTS, AND SERVICES, AND THEIR APPURTENANCES SHALL CONFORM TO THE REQUIREMENTS OF THE LITTLETON WATER DEPARTMENT AND THE LITTLETON FIRE DEPARTMENT (WHERE APPLICABLE).



"THE HOMES AT KIMLOCH FARM"

A PROPOSED COMPREHENSIVE PERMIT PROJECT UNDER M.O.L. CH. 40B

DETAIL SHEET 2 OF 2

SHEET 5 OF 8

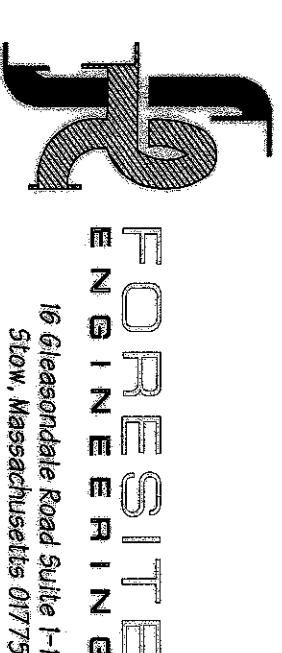
PREPARED FOR:

KIMLOCH FARM, LLC
30 NAGOG PARK DRIVE SUITE #225
ACTON, MASSACHUSETTS 01720

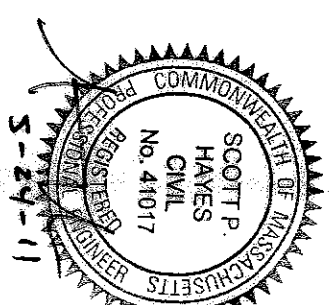
DATE: DECEMBER 12, 2009; REV. 5/24/11

SCALE: AS NOTED

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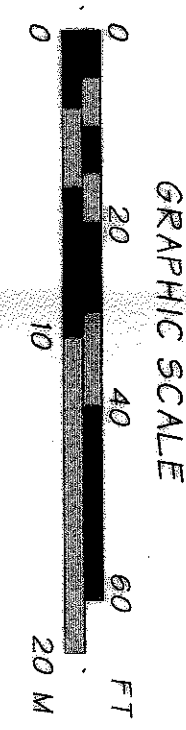
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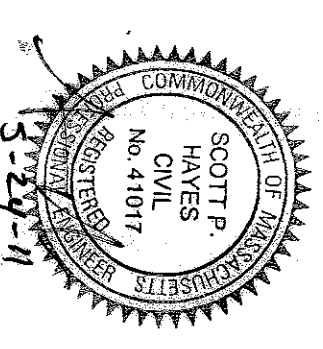
5-14-11

12/29/2011 2:20

- SITE DISTURBANCE NOTES**
1. TOTAL SITE DISTURBANCE AREA = 23 ACRES.
 2. TEMPORARY STABILIZATION OF DISTURBED AREAS SHALL BE ACHIEVED WITH HYDROSEED OR WOOD CHIPS.
 3. DISTURBED AREAS SHALL BE STABILIZED WITHIN 2 MONTHS AND INSPECTED AND RE-STABILIZED REGULARLY.
 4. STOCKPILES SHALL BE SURROUNDED BY HAYBALES AS SHOWN BELOW AND COVERED WITH TARPS OR EROSION CONTROL BLANKETS AT THE END OF EACH WORK DAY WHILE IN USE.
 5. DEVELOPER IS REQUIRED TO CLEAN UP ANY SAND, DIRT OR DEBRIS WHICH EXPOSES FROM THE SITE INTO ANY PUBLIC STREET OR PRIVATE PROPERTY AND TO REMOVE SITS OR DEBRIS THAT ENTERS INTO EXISTING DRAINAGE INCLUDING CATCH BASIN Sumps, PIPE LINES, MANHOLES OR DITCHES.



- LEGEND**
- PROPOSED PRECAST CONCRETE CATCH BASIN
 - PROPOSED PRECAST CONCRETE DRAIN MANHOLE
 - ▨ PROPOSED STAKED HAYBALES (LIMIT OF WORK)
 - ░ EXCLUSIVE USE AREA



"THE HOMES AT KIMLOCH FARM"

A PROPOSED COMPREHENSIVE PERMIT PROTECT UNDER M.G.L. CH. 40B

EROSION & SEDIMENT CONTROL PLAN I OF 2

SHEET 6 OF 8

PREPARED FOR:
KIMLOCH FARMS, LLC
30 NAGOG PARK DRIVE SUITE #225
ACTON, MASSACHUSETTS 01720

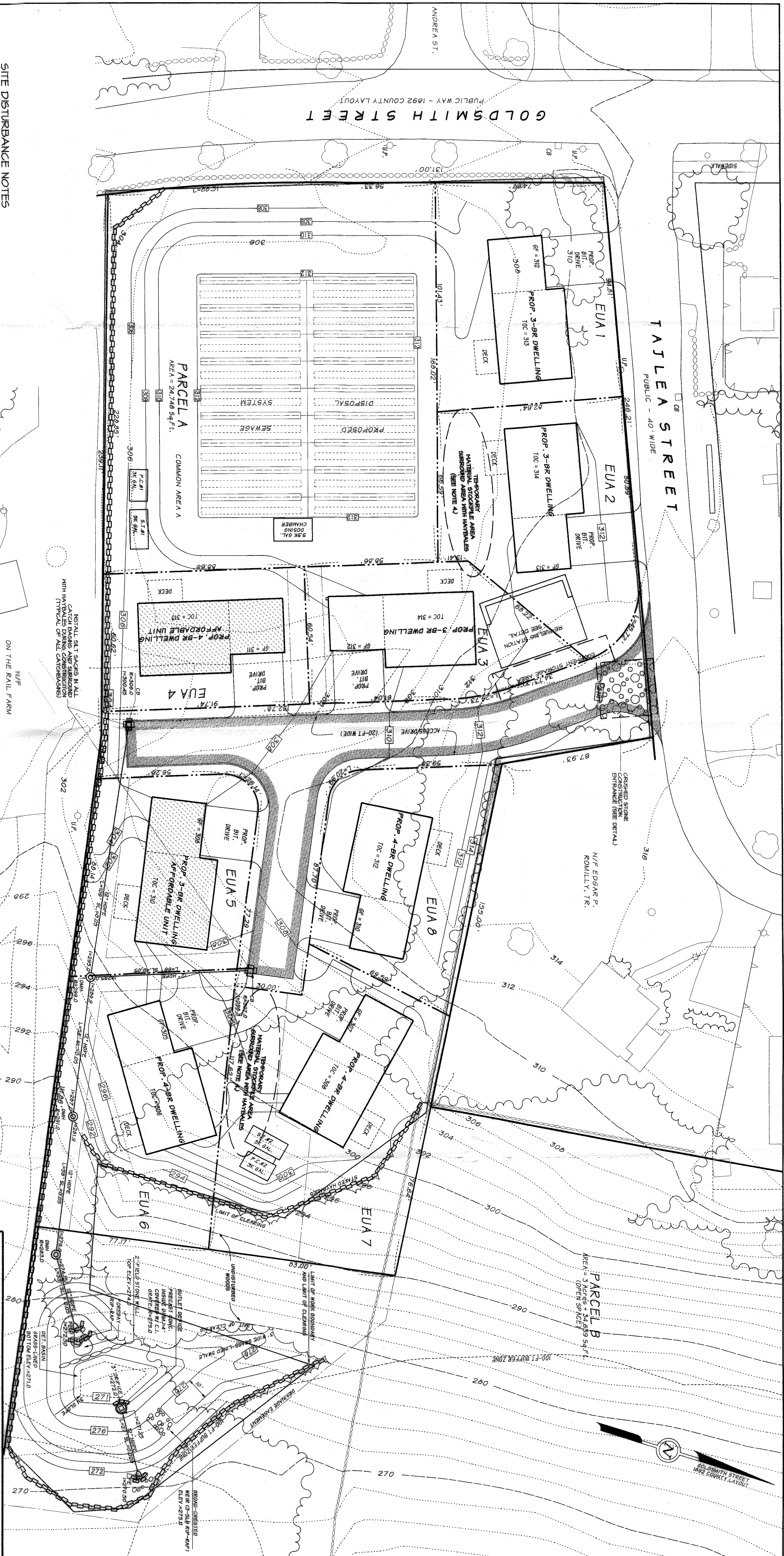
DATE: DECEMBER 12, 2009; REV. 5/24/2011

SCALE: 1"=20'

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OPERATION AND MAINTENANCE PLAN

Inspection and maintenance shall be the responsibility of the contractor during the construction of the homeowner's development. After completion of construction, the homeowner's association shall be given notification of the responsibility of these inspection and maintenance requirements.

Developer:
Kimloch Farms, LLC
30 Nagog Park Drive Suite 225
Acton, MA 01720

STORMWATER SYSTEM COMPONENT INSPECTION & MAINTENANCE PROCEDURES

Deep Sump Hooded Catch Basins:

The actual removal of sediments and associated pollutants and trash occurs only when rains or storms occur. The most frequent cleaning of the basins should be scheduled to occur after the most frequent cleaning of the less likely sediments will be re-suspended and subsequently discharged. In addition, frequent cleaning also results in more volume available for future storms and enhances the overall performance.

Inspection Procedure
Inspection should occur after every major storm event in the first year of construction to ensure the amount of sediment is not exceeding the sump volume. Thereafter, the catch basins should be inspected for sediment and trash buildup 4 times a year.

Maintenance Procedure
Deep sumps should be cleaned two times per year or when the amount of sediment and trash exceeds 1/4 the sump volume. Disposal of the accumulated sediment and trash should be in accordance with applicable local, state and federal guidelines and regulations.

Detention Basin:

Preventive maintenance should be performed at least twice a year, and ideally sediment should be removed from pre-treatment catchbasins after every major storm event during construction. Once the basin has gone online, inspections should occur after every major storm for the first few months to ensure proper stabilization and function. Attention should be paid to any debris that has accumulated in the basin. Within 30 days of construction, the outlet orifice may be blocked. Factors responsible for clogging (such as upland sediment erosion, excessive compaction of soils, and low spots) should be repaired immediately.

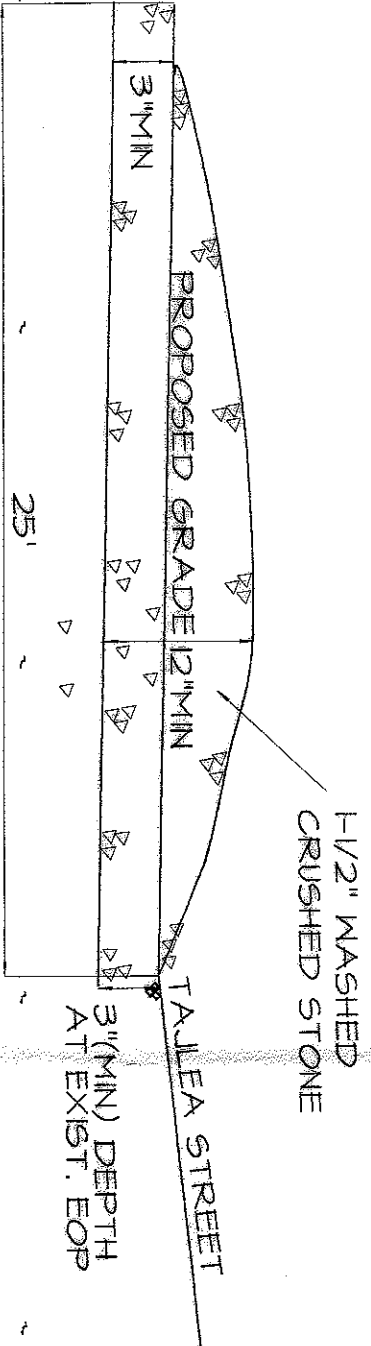
Thereafter, the infiltration basin should be inspected at least twice per year. Important items to check for include differential settlement, erosion, sediment buildup, or tree growth on the embankments, condition of riprap, sediment accumulation and the health of the turf.

Maintenance Procedure

At least twice a year, the buffer area, side slopes and basin bottom should be mowed. Grass clippings and accumulated organic matter should be removed to prevent the formation of a thick thatch. The basin should be inspected for erosion and sediment buildup. Deep tilling can be used to break up a clogged surface area. Any balled areas should be re-vegetated immediately. Sediment should be removed from the basin as necessary. Removal procedures should not take place until the floor of the basin is thoroughly dry. Light equipment, which will not compact the underlying soil, should be used to remove the top layer. The erosion control should be installed immediately after the soil is removed. Pretreatment devices associated with basins should be inspected and cleaned at least twice a year, and ideally every other month.

Sediment Forebay:

The actual removal of sediments and associated pollutants occurs only when sediment traps and forebays are cleaned; therefore, during construction regular maintenance is required. Frequent removal of accumulated sediments will make it less likely that sediments will be re-suspended and subsequently discharged. The basins should be cleaned four times per year and inspected monthly during construction, and annually thereafter.



CRUSHED STONE ENTRANCE DETAIL

NOTE: PURPOSE IS TO REMOVE MUD FROM TIRES AND PREVENT EROSION ON TALITA STREET

GENERAL

THE PURPOSE OF THIS PLAN IS TO PROVIDE THE DEVELOPER OR CONTRACTOR WITH A MEANS FOR EROSION AND SEDIMENT CONTROL DURING AND AFTER DEVELOPMENT OF THE SITE.

SITE DEVELOPMENT IS OUTSIDE THE JURISDICTION OF THE LITTLETON CONSERVATION COMMISSION AND THE WETLANDS PROTECTION ACT. SITE IS WITHIN AN ESTABLISHED HABITAT OF RARE OR ENDANGERED SPECIES AND WILL REQUIRE A PERMIT FROM THE NATURAL HERITAGE AND ENDANGERED SPECIES PROGRAM PRIOR TO THE START OF CONSTRUCTION.

NOTIFY THE TOWN OF LITTLETON IN WRITING OF INTENT TO BEGIN CONSTRUCTION ACTIVITIES AT LEAST 5 BUSINESS DAYS BEFORE COMMENCING ANY CONSTRUCTION ACTIVITY ON SITE AND RETAIN PROOF OF RECEIPT OF SUCH NOTICE.

EROSION CONTROL NOTES:

- PRIOR TO THE BEGINNING OF CONSTRUCTION ALL EROSION CONTROL BARRIERS SHALL BE INSTALLED. THE LOCATIONS SHALL BE STAKED IN THE FIELD BY A REGISTERED PROFESSIONAL ENGINEER OR LAND SURVEYOR.
- NO WORK SHALL BE DONE WITHIN ANY RESOURCE AREA OR BUFFER ZONE WITHOUT FIRST OBTAINING AN ORDER OF CONDITIONS FROM THE LITTLETON CONSERVATION COMMISSION. THE EROSION CONTROL BARRIER MARKS THE LIMIT OF WORK.
- SUFFICIENT HAYBALES SHALL BE STACKED ON SITE AND KEPT FOR EMERGENCIES. PROPOSED HAYBALES SHALL BE REPLACED WHEN NECESSARY.
- A CRUSHED STONE MOUND SHALL BE PLACED THE FULL WIDTH OF THE ENTRANCE WAY, 2 FEET INTO THE SITE AND ONE FOOT DEEP. THE MOUND SHALL BE MAINTAINED AND REPLACED IF NECESSARY. (SEE DETAIL)
- EXISTING VEGETATION SHALL BE RETAINED WHERE FEASIBLE.
- THE EROSION CONTROL BARRIERS SHALL BE INSPECTED AND MAINTAINED REGULARLY.
- ALL CLEARED AREAS OF THE STREET NOT PLANTED WITH GROUND COVER SHALL BE LOADED WITH NOT LESS THAN SIX INCHES OF COMPACTED GOOD QUALITY LOAM AND SEEDED WITH TURF GRASS IN ACCORDANCE WITH GOOD PLANTING PRACTICE.

SLOPE STABILIZATION

- DEGRADED SLOPES SHALL NOT BE MAINTAINED OR EXPOSED FOR EXCESSIVE PERIODS OF TIME, SUCH AS THE INACTIVE WINTER SEASON.
- NO LATER THAN OCTOBER 31 OF EACH CALENDAR YEAR, THE DEVELOPER SHALL STABILIZE ALL EXPOSED SOILS AND OTHER VULNERABLE OR SENSITIVE AREAS IN A MANNER ACCEPTABLE TO THE CONSERVATION COMMISSION. THE STABILIZATION SHALL BE IN ACCORDANCE WITH THE APPROVED CONSTRUCTION PLAN.
- TOPSOIL SHALL HAVE A SANDY LOAM TEXTURE RELATIVELY FREE OF SUBSOIL MATERIAL, STONES, ROOTS, LUMPS OF SOIL, TREE LIMBS, TRASH OR CONSTRUCTION DEBRIS.
- THE SEED MIX SHALL BE INOCULATED WITHIN 24 HOURS BEFORE MIXING AND PLANTING, WITH APPROPRIATE NUCULUM FOR EACH VARIETY.

VELOCITY CHECKDAMS

THE CONTRACTOR SHALL PROVIDE VELOCITY CHECKDAMS IN ALL UNPAVED ACCESS DRIVE AREAS AT THE INTERVAL INDICATED BELOW:

GRADE OF ACCESS DRIVE	INTERVALS BETWEEN CHECKDAMS
LESS THAN 4%	100 FEET
4%-10%	50 FEET
OVER 10%	25 FEET

THE CONTRACTOR SHALL PROVIDE VELOCITY CHECKDAMS IN ALL UNVEGETATED OR UNPAVED CHANNELS AT INTERVALS INDICATED BELOW:

GRADE OF CHANNEL	INTERVALS BETWEEN CHECKDAMS
LESS THAN 3%	100 FEET
3%-5%	50 FEET
OVER 5%	25 FEET

- CHECKDAMS SHALL BE OF HAYBALES (STACKED IF NECESSARY).
- CHECKDAMS SHALL BE INSTALLED AT THE END OF EACH WORKING DAY OR BEFORE STOPPAGE DUE TO RAIN.
- CHECKDAMS SHALL EXTEND COMPLETELY ACROSS GUTTER FLOW LINES AT RIGHT ANGLES TO THE CENTERLINE.

SEED MIXTURES

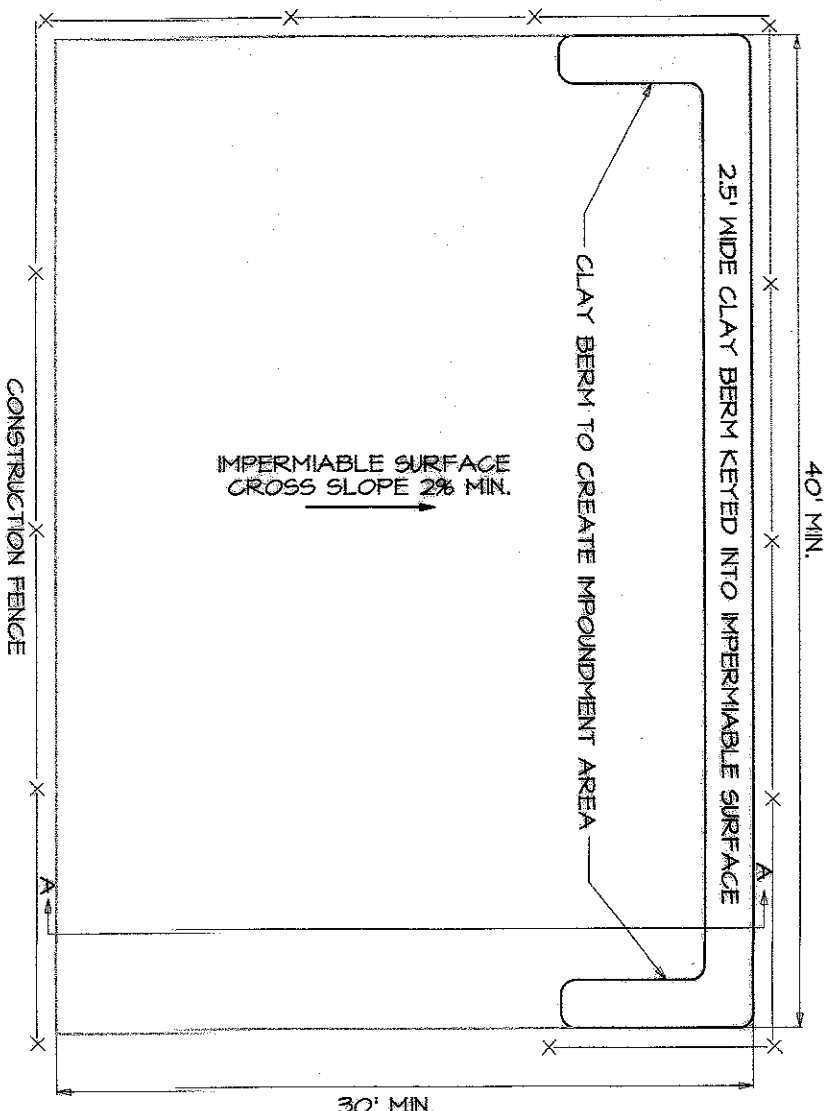
MOWED AREAS (ALL FLATS AND SLOPES EQUAL TO OR LESS THAN 3%)

MIXTURE	% BY WEIGHT	SEEDING DATES
RED FESCUE	75	APRIL 1 - JUNE 5
KENTUCKY BLUEGRASS	5	AUGUST 5 - OCTOBER 5
COLOMBIA BENTGRASS	5	SPRING OR FALL
PERENNIAL RYEGRASS	5	SPRING OR FALL
UNKNOWN AREAS (FLAT SLOPES GREATER THAN 3%)		
MIXTURE	% BY WEIGHT	SEEDING DATES
RED FESCUE	75	APRIL 1 - JUNE 5
KENTUCKY BLUEGRASS	5	AUGUST 5 - OCTOBER 5
COLOMBIA BENTGRASS	5	SPRING OR FALL
PERENNIAL RYEGRASS	5	SPRING OR FALL

CONSTRUCTION SEQUENCE

DURING THIS SEQUENCE ALL EROSION CONTROL BARRIERS SHALL BE INSPECTED AND MAINTAINED. ALL DISTURBED AREAS SHALL BE STABILIZED BY THE END OF EACH WORKING DAY. ALL EROSION CONTROL BARRIERS SHALL BE REMOVED UPON COMPLETION OF ALL SLOPE STABILIZATION. SITE SHALL BE CONSTRUCTED IN ONE PHASE.

- INSTALL EROSION CONTROL BARRIERS.
- CLEAR AND GRUB PROPOSED LIMITS OF CLEARING.
- CONSTRUCT CRUSHED STONE CONSTRUCTION ENTRANCE AND ROUGH GRADE DETENTION BASIN.
- ROUGH GRADE ACCESS ROAD AND AREAS TO BE PAVED.
- INSTALL VELOCITY CHECKDAMS.
- INSTALL STORM DRAINS STARTING AT DETENTION BASIN AND WORKING UPGRADIENT.
- INSTALL UTILITIES WITHIN PAVED AREAS.
- COMPLETE GRADING AND COMPACTION OF AREAS TO BE PAVED.
- LAY BINDER COURSE OF PAVEMENT, AND INSTALL CAPE COD BERMS.
- INSTALL HAYBALES OR FILTER FABRIC AROUND CATCHBASINS.
- CONSTRUCT DWELLING UNITS.
- LAY FINISH COURSE OF PAVEMENT.
- LOAM AND SEED ALL DISTURBED AREAS. COMPLETE SITE LANDSCAPING.
- FOLLOWING CONSTRUCTION AND AFTER VEGETATION HAS BEEN ESTABLISHED, REMOVE ALL EROSION CONTROL BARRIERS.

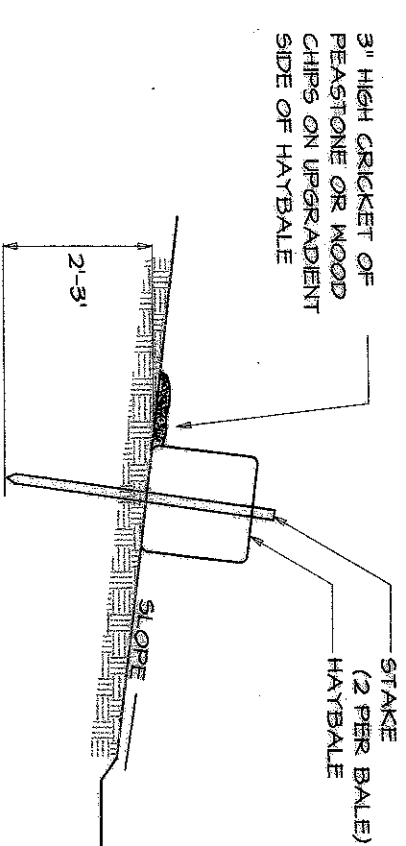


RE-FUELING STATION DETAIL

- RE-FUELING STATION TO BE LOCATED OUTSIDE 100' BURN BUFFER ZONE (SEE PLAN).
- RE-FUELING AND MAINTENANCE OF ALL VEHICLES SHALL BE LIMITED TO THE RE-FUELING STATION.
- THE SURFACE OF THE RE-FUELING STATION SHALL BE MAINTAINED AS MUCH AS POSSIBLE TO PREVENT THE RELEASE OF FLEETING CHEMICAL POLLUTION IN THE EVENT OF A SPILL.
- AT THE COMPLETION OF CONSTRUCTION, THE SURFACE OF THE RE-FUELING STATION SHALL BE REMOVED AND Hauled OFF SITE.
- RE-FUELING STATION SHALL BE NOTED IMMEDIATELY.

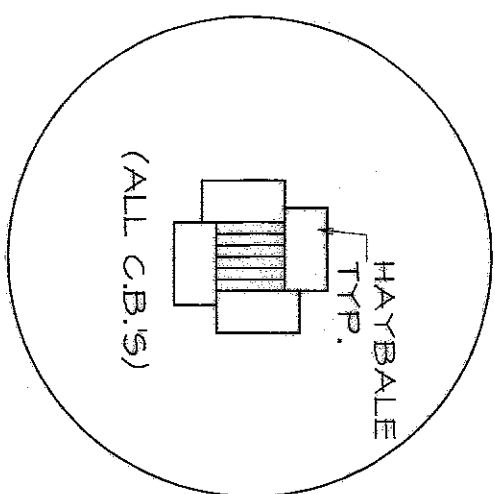
EROSION CONTROL BARRIER

NOT TO SCALE



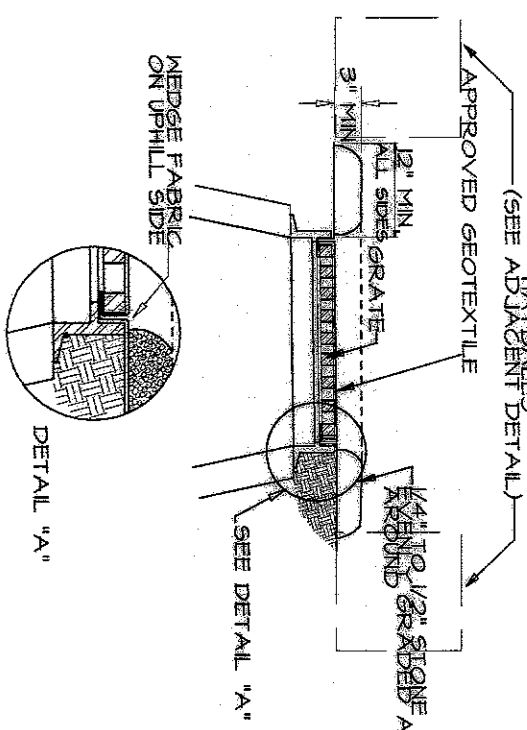
STACKED HAYBALE DETAIL

N.T.S.



CATCH BASIN WITH HAYBALES

NOTE: AN APPROVED FILTER SLIT SACKS UNDER THE GRATE ARE REQUIRED IN ADDITION TO THE HAYBALES



FILTERED CATCH BASIN

INLET

NOT TO SCALE

NOTE: ALL CATCH BASINS SHALL HAVE HAYBALES PLACED UNDER THE GRATE. THE HAYBALES SHALL BE REPLACED AFTER EACH MAINTENANCE DETAIL UNTIL ALL CONSTRUCTION IS COMPLETE AND DISTURBED AREAS HAVE BEEN STABILIZED. THE HAYBALES SHALL BE REPLACED AFTER EACH MAINTENANCE DETAIL UNTIL ALL CONSTRUCTION IS COMPLETE AND DISTURBED AREAS HAVE BEEN STABILIZED.

"THE HOMES AT KIMLOCH FARM"

A PROPOSED COMPREHENSIVE PERMIT PROJECT UNDER M.G.L. CH. 40B

EROSION & SEDIMENT CONTROL PLAN 2 OF 2

SHEET 7 OF 8

PREPARED FOR: KIMLOCH FARMS, LLC

30 NAGOG PARK DRIVE SUITE #225
ACTON, MASSACHUSETTS 01720

DATE: DECEMBER 12, 2009, REV. 5/24/2011

SCALE: 1"=20'

Phone: (978) 641-2350

Fax: (978) 641-4002

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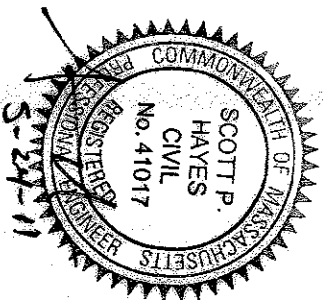


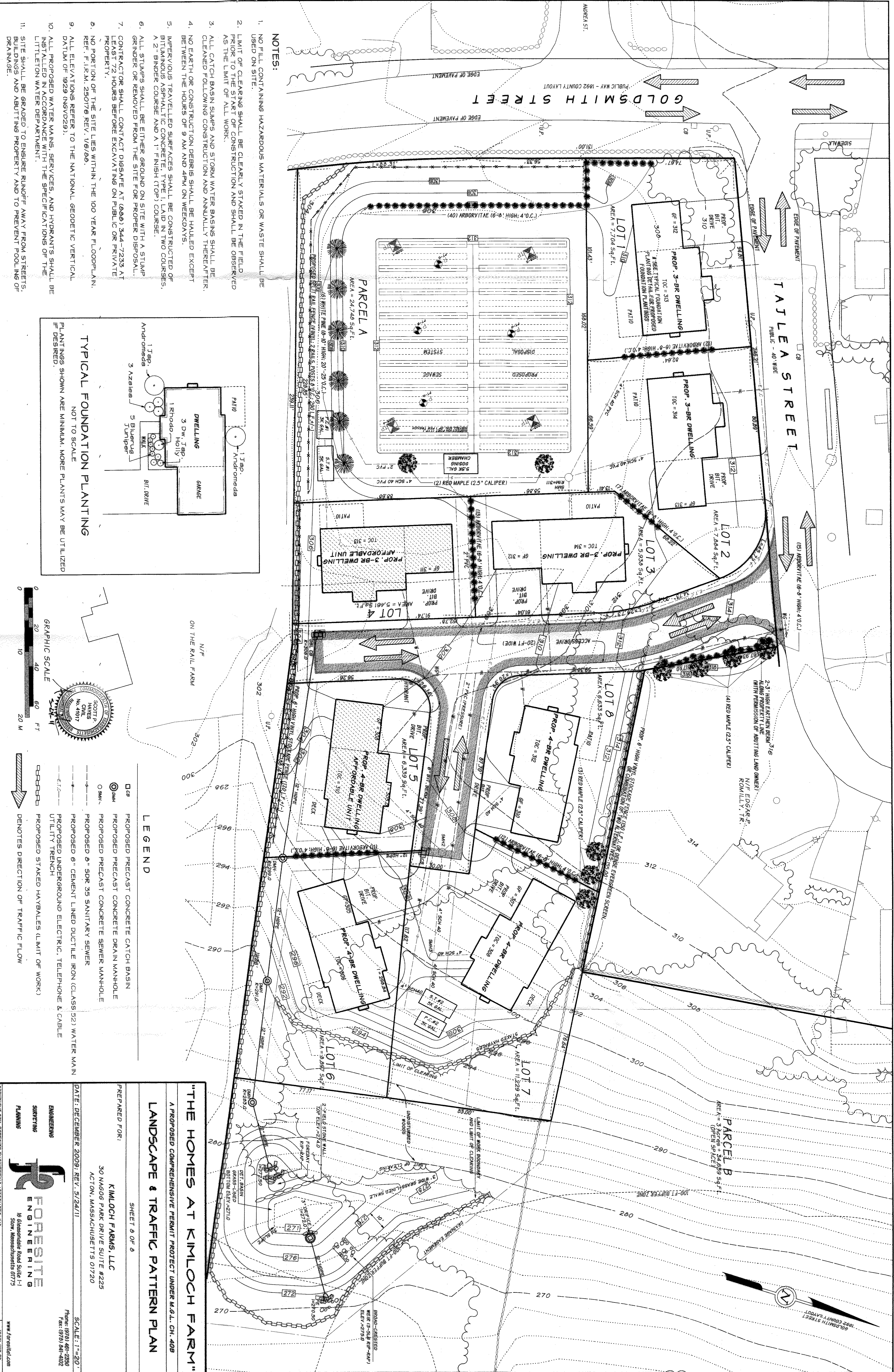
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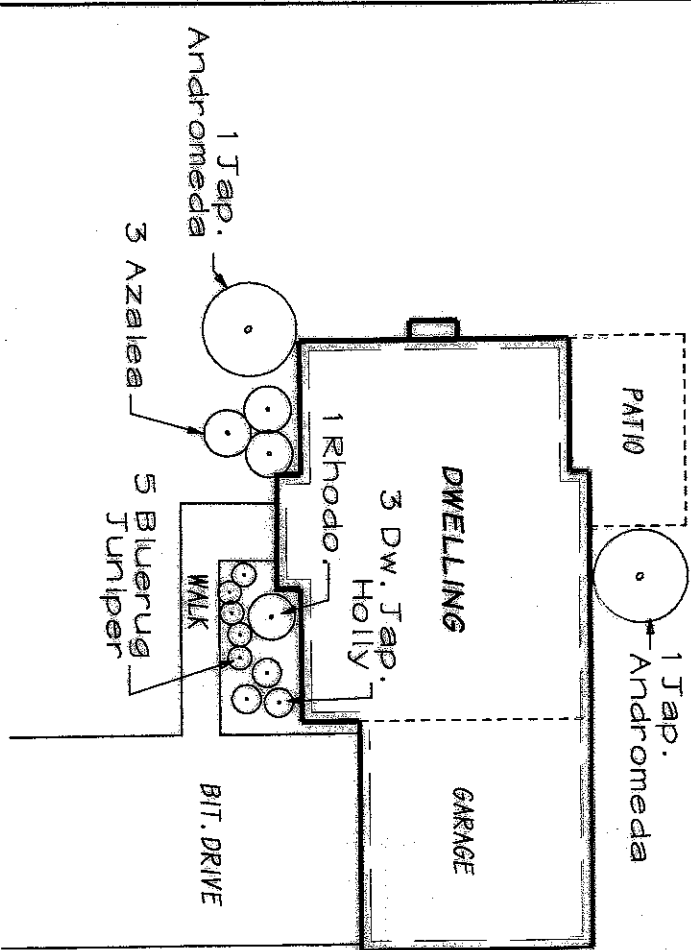




NOTES:

1. NO FILL CONTAINING HAZARDOUS MATERIALS OR WASTE SHALL BE USED ON SITE.
2. LIMIT OF CLEARING SHALL BE CLEARLY STAKED IN THE FIELD PRIOR TO THE START OF CONSTRUCTION AND SHALL BE OBSERVED AS THE LIMIT OF ALL WORK.
3. ALL CATCH BASIN Sumps AND STORM WATER BASINS SHALL BE CLEANED FOLLOWING CONSTRUCTION AND ANNUALLY THEREAFTER.
4. NO EARTH OR CONSTRUCTION DEBRIS SHALL BE HAULED EXCEPT BETWEEN THE HOURS OF 9 AM AND 4PM ON WEEKDAYS.
5. IMPEVIOUS TRAVELLED SURFACES SHALL BE CONSTRUCTED OF BITUMINOUS ASPHALT OR CONCRETE, LAYED IN TWO COURSES, A 2" BINDER COURSE AND A 1" FINISH (TOP) COURSE.
6. ALL STUMPS SHALL BE EITHER GROUND ON SITE WITH A STUMP GRINDER OR REMOVED FROM THE SITE FOR PROPER DISPOSAL.
7. CONTRACTOR SHALL CONTACT DISSAFE AT (666) 344-7233 AT LEAST 72 HOURS BEFORE EXCAVATING ON PUBLIC OR PRIVATE PROPERTY.
8. NO PORTION OF THE SITE LIES WITHIN THE 100 YEAR FLOODPLAIN. REF. F.I.R.M. 250176 REV. 1/6/86.
9. ALL ELEVATIONS REFER TO THE NATIONAL GEODETIC VERTICAL DATUM OF 1929 (NGVD29).
10. ALL PROPOSED WATER MAINS, SERVICES, AND HYDRANTS SHALL BE INSTALLED IN ACCORDANCE WITH THE SPECIFICATIONS OF THE LITTLETON WATER DEPARTMENT.
11. SITE SHALL BE GRADED TO ENSURE RUNOFF AWAY FROM STREETS, BUILDINGS AND ADJUTING PROPERTY AND TO PREVENT POOLING OF DRAINAGE.

TYPICAL FOUNDATION PLANTING



LEGEND

- PROPOSED PRECAST CONCRETE CATCH BASIN
- PROPOSED PRECAST CONCRETE DRAIN MANHOLE
- PROPOSED PRECAST CONCRETE SEWER MANHOLE
- PROPOSED 6" SDR 35 SANITARY SEWER
- PROPOSED 6" CEMENT LINED DUCTILE IRON (CLASS 52) WATER MAIN
- PROPOSED UNDERGROUND ELECTRIC, TELEPHONE & CABLE
- PROPOSED STAKED HAYBALES (LIMIT OF WORK)
- DENOTES DIRECTION OF TRAFFIC FLOW

"THE HOMES AT KIMLOCH FARM"
A PROPOSED COMPREHENSIVE PERMIT PROJECT UNDER M.G.L. CH. 40B
LANDSCAPE & TRAFFIC PATTERN PLAN

SHEET 8 OF 8

PREPARED FOR:

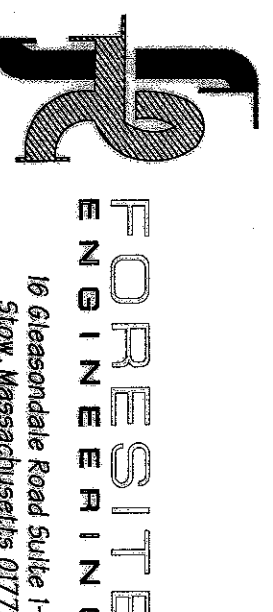
KIMLOCH FARMS, LLC
30 NAGOG PARK DRIVE SUITE #225
ACTON, MASSACHUSETTS 01720

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