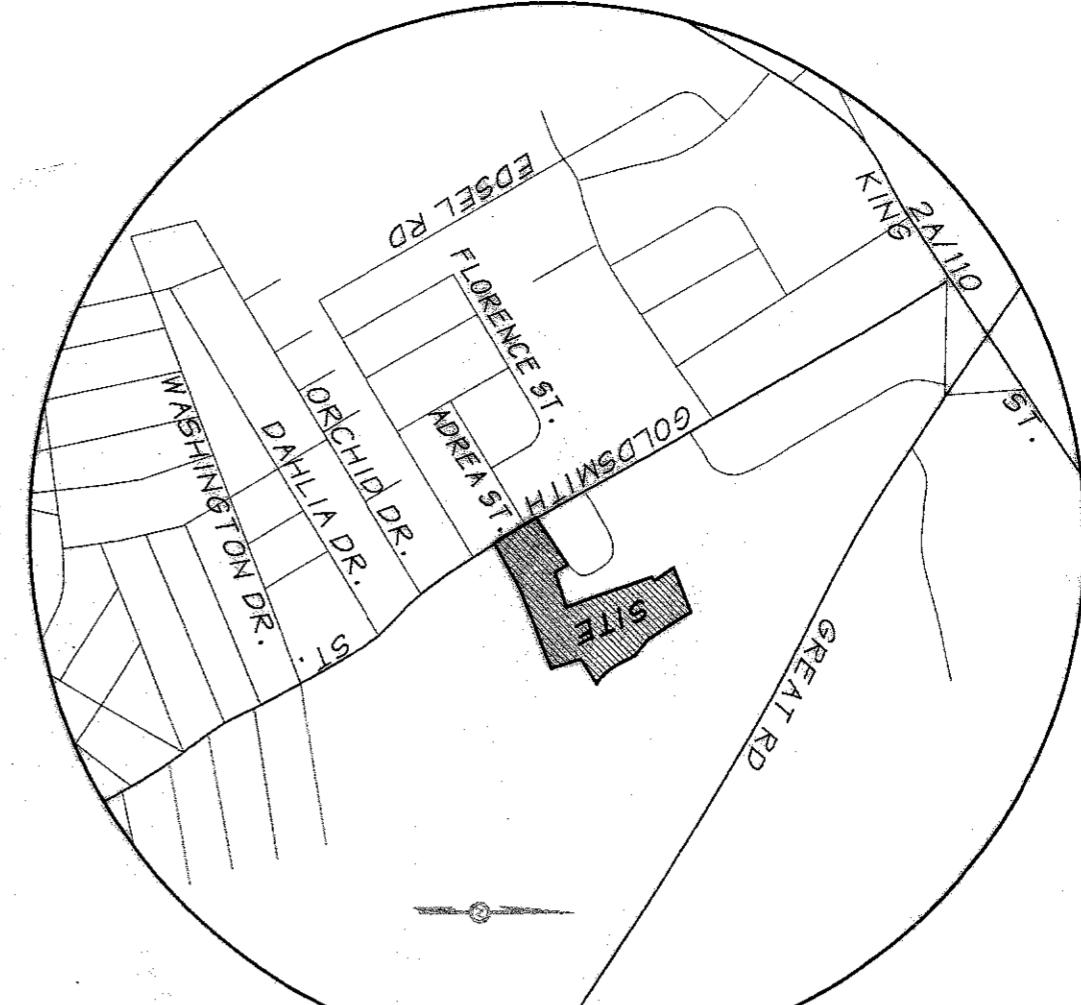
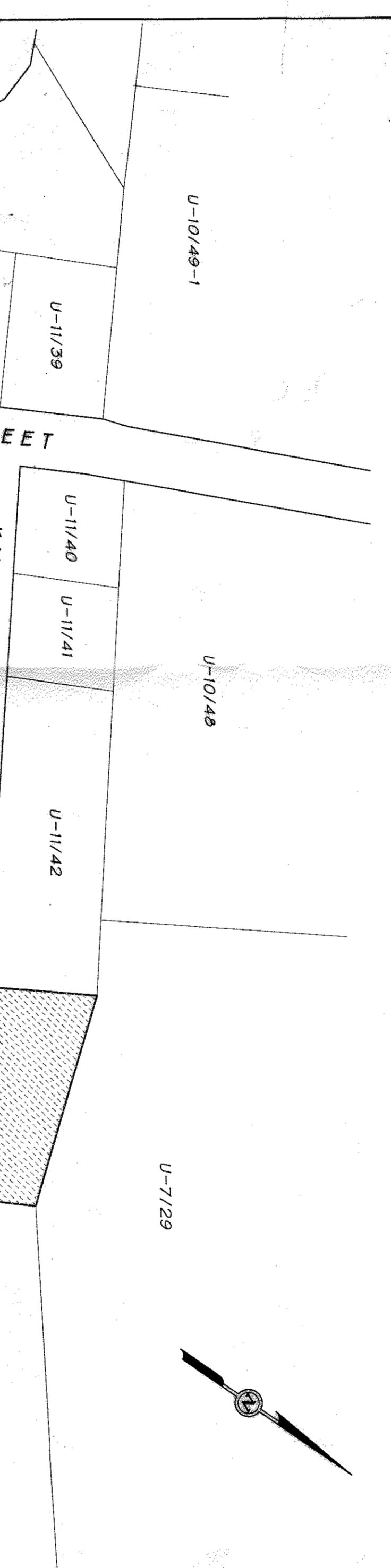


# THE HOMES AT KIMLOCH FARM

A PROPOSED COMPREHENSIVE PERMIT PROJECT UNDER MGL CHAPTER 40B



## LOCUS PLAN NOT TO SCALE



NOTES

1. SITE IS WITHIN ZONE C OF THE FLOOD INSURANCE RATE MAP FOR LITTLETON, MASSACHUSETTS (AREAS OF MINIMAL FLOODING). REF. F.I.R.M. COMMUNITY PANEL NO. 250200 0004 B EFFECTIVE JUNE 13, 1985.
2. A PORTION OF THE SITE IS WITHIN AN ESTIMATED HABITAT OF RARE OR ENDANGERED SPECIES AS DEFINED BY THE NATIONAL HERITAGE AND ENDANGERED SPECIES PROGRAM (REF. MASS G15 11/04/09).
3. THE SITE IS NOT WITHIN A MASSACHUSETTS DEPARTMENT OF ENVIRONMENTAL PROTECTION DEFINED ZONE II OR INTERIM WELLHEAD PROTECTION AREA (IWP) OF A PUBLIC WATER SUPPLY (REF. MASS G15 3/20/08).
4. SITE IS NOT LOCATED WITHIN THE TOWN OF LITTLETON AQUIFER PROTECTION DISTRICT.

## PLAN INDEX

1 OF 3	TITLE SHEET
2 OF 3	RECORD PLAN
3 OF 3	SITE DEVELOPMENT PLAN
4 OF 3	CONSTRUCTION DETAILS 1 OF 2
5 OF 3	CONSTRUCTION DETAILS 2 OF 2
6 OF 3	EROSION & SEDIMENTATION CONTROL PLAN 1 OF 2
7 OF 3	EROSION & SEDIMENTATION CONTROL PLAN 2 OF 2
8 OF 3	LANDSCAPE & TRAFFIC PATTERN PLAN

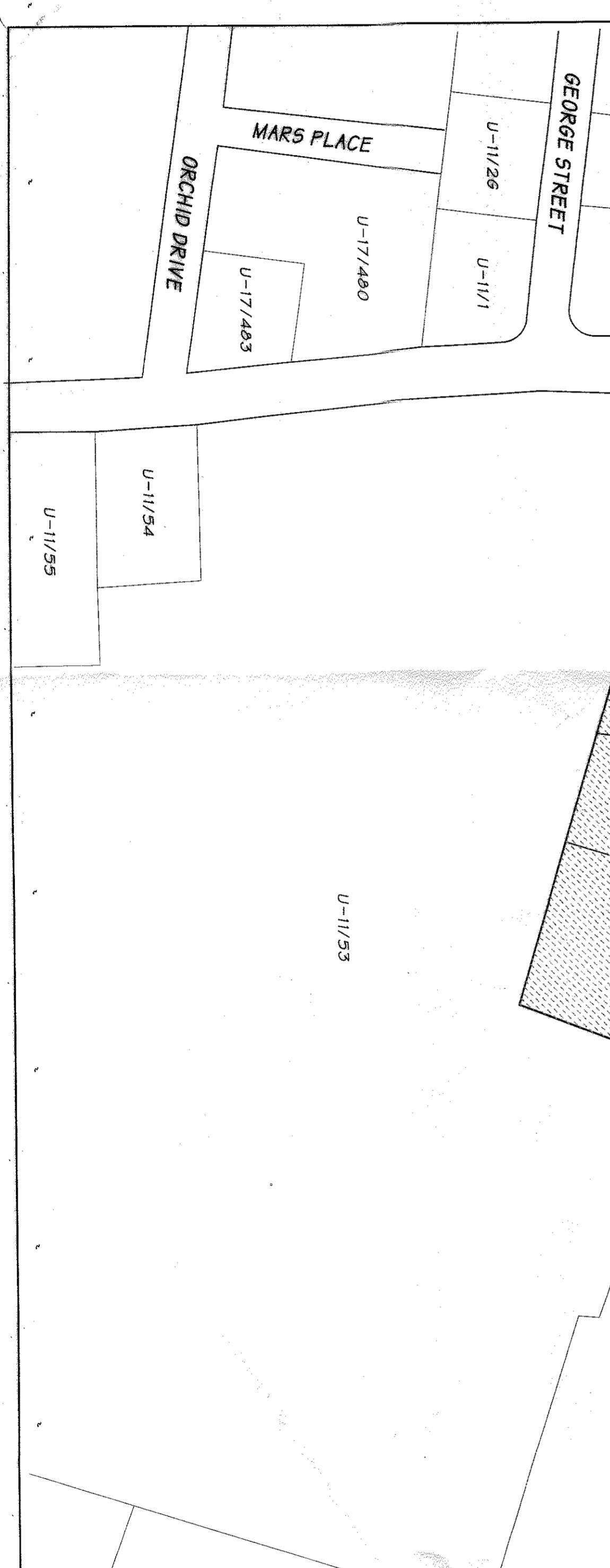
THIS IS TO CERTIFY THAT NOTICE OF APPROVAL OF THIS PLAN BY THE LITTLETON BOARD OF APPEALS WAS RECEIVED AND RECORDED AT THIS OFFICE ON 5/24/11 AND THAT NO APPEAL WAS RECEIVED WITHIN THE TWENTY DAYS NEXT FOLLOWING RECEIPT AND RECORDING OF THIS NOTICE.

LITTLETON TOWN CLERK

DATE

*John D. Lusk*

*5/24/11*



VICINITY PLAN

SCALE: 1:100

<b>"THE HOMES AT KIMLOCH FARM"</b>	
A PROPOSED COMPREHENSIVE PERMIT PROJECT UNDER M.G.L. CH. 40B	
<b>TITLE SHEET</b>	
PREPARED FOR:	KIMLOCH FARMS, LLC
SHEET 1 OF 3	30 NAGOG PARK DRIVE SUITE #225 ACTON, MASSACHUSETTS 01720
DATE: DECEMBER 12, 2009, REV. 5/24/11	
SCALE: 1:20	

NATIONAL GEODETIC VERTICAL DATUM  
OF 1929 (NGVD29)  
BM 2500, MONEL RIVET IN TOP OF STONE BOUND AT  
NORTHEAST CORNER OF LOT AT LITTLETON PUBLIC  
LIBRARY

SEE DECISION ON APPLICATION BY KIMLOCH FARMS,  
LLC FOR A COMPREHENSIVE PERMIT, DECISION DATED  
2/20/09, TO BE RECORDED HEREWITHE.

SCOTT P.  
HANES  
CIVIL  
ENGINEER  
No. 41017  
COMMUNICATED  
BY  
SUSAN E.  
SULLIVAN  
SHEPHERD  
No. 45718

16 Glenside Road Suite 1-1  
Stone, Massachusetts 01775  
Phone: (978) 461-2302  
Fax: (978) 461-4092

Copyright 2011, FORESITE ENGINEERING ASSOCIATES, INC.

www.foresite.com  
12600020

ENGINEERING  
SURVEYING  
PLANNING

**foresite**  
FORESITE  
ENGINEERING  
ASSOCIATES, INC.

N/F LITTLETON REALTY CORP.  
U/I PARCEL 29

1892 COUNTY LAYOUT  
OLDSMITH STREET

1892 COUNTY LAYOUT  
KIMLOCH STREET



N/F LITTLETON REALTY CORP.  
U/I PARCEL 29  
SEE EASEMENT DEED IN  
BOOK 43320 PAGE 285 RECORDED AT THE MIDDLESEX  
SOUTH DISTRICT REGISTRY OF DEEDS.

DEED REFERENCE:  
BOOK 43320 PAGE 285 RECORDED AT THE MIDDLESEX  
SOUTH DISTRICT REGISTRY OF DEEDS.

NOTES:  
ZONING DISTRICT: RESIDENTIAL

ASSESSORS REFERENCES: MAP U-11 PARCEL 53-1  
RECORD OWNER: ON THE RAIL FARM CO. INC.

N/F PAUL D. MAGNEILL

U/I PARCEL 42

N/F JAMES F.  
FOLEY  
U/I PARCEL 43

N/F WILLIAM J. MASON

U/I PARCEL 44

N/F EDGAR P.  
ROMILLY TR.  
U/I PARCEL 45

PARCEL B  
AREA = 3 Acres + 34,639 Sq.Ft.  
(OPEN SPACE)

N/F EMPIRE MANAGEMENT CORP.  
U/I PARCEL 4-4

I CERTIFY THAT THIS PLAN HAS BEEN PREPARED IN  
CONFORMITY WITH THE RULES AND REGULATIONS OF  
THE REGISTERS OF DEEDS OF THE COMMONWEALTH  
OF MASSACHUSETTS.  
RECORD OWNER: ON THE RAIL FARM CO. INC.

SUSAN E.  
SULLIVAN  
RECORDING CLERK  
COMMONWEALTH OF MASSACHUSETTS  
No. 45718

5-24-11

DATE



THIS IS TO CERTIFY THAT THE NOTICE OF APPROVAL  
OF THIS PLAN BY THE LITTLETON ZONING BOARD OF APPEALS  
WAS RECEIVED AND RECORDED AT THIS OFFICE ON  
AT \_\_\_\_\_ AND NO APPEAL WAS RECEIVED DURING THE  
20 DAYS NEXT AFTER SUCH RECEIPT AND RECORDING  
OF SAID NOTICE.

TOWN CLERK - LITTLETON, MASS.

DATE

5-24-11

DATE

LEGEND

- SB/DH(F)
- TONE BOUND W/ DRILL HOLE (FOUND)
- DH(F)
- DRILL HOLE (FOUND)
- EUA 5
- EXCLUSIVE USE AREA

"THE HOMES AT KIMLOCH FARM"

A PROPOSED COMPREHENSIVE PERMIT PROJECT UNDER M.G.L. CH. 40B

RECORD PLAN

PREPARED FOR:  
KIMLOCH FARMS, LLC

30 NAGOG PARK DRIVE SUITE #225  
ACTION, MASSACHUSETTS 01720

DATE: DECEMBER 12, 2009; REV. 5/24/2011

N/F  
ON THE RAIL FARM CO. INC.

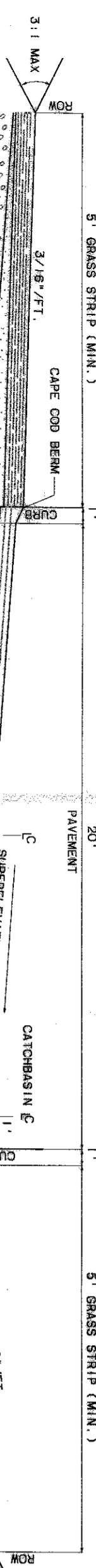
N/F  
MAP U-11 PARCEL 53-46

GRAPHIC SCALE  
0 40 80 120 160  
Ft  
0 200 400 M

ENGINEERING  
SURVEYING  
PLANNING  
**f** FORESITE  
ENGINEERING  
16 Glenside Road Suite 1-1  
Stow, Massachusetts 01775  
www.foresite.com

Phone: (978) 461-2350  
Fax: (978) 461-4102  
SCALE: 1" = 40'





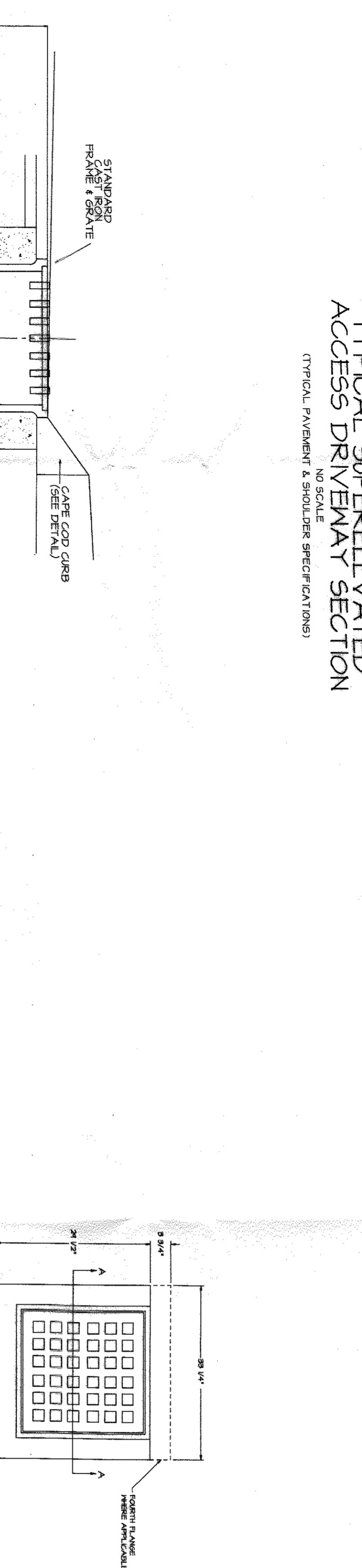
5' GRASS STRIP (MIN.)  
3/8" FT.  
CAPE COD BEAM  
3:1 MAX  
PAVEMENT  
CATCH BASIN 6'  
5' GRASS STRIP (MIN.)  
3/8" FT.  
CAPE COD BEAM  
3:1 MAX  
ROADWAY STRUCTURAL SECTION  
3.0 PAVING CONCRETE TYPE  
COURSE 1: 2", 10", FINISH COURSE  
2: 10", FINISH COURSE  
ROAD BASE  
12" PROCESSED BOUND GRAVEL  
PLACED IN A MIN. OF TWO 6" WELL-COMPACTED LIFTS  
NO SCALE  
TYPICAL PAVEMENT & SHOULDER SPECIFICATIONS  
SHOULDERS (ALL OTHER AREAS)  
6" MIN. DEPTH COMPACTED GOOD QUALITY LOAM  
SEEDED WITH PERENNIAL TURF GRASS.

4' 1" DAM AND SPILL  
7.5' 12'  
6' PARKING LOT  
1' FINISH COURSE  
2" BINDER COURSE  
12" PROCESSED GRAVEL  
(TWO 6" LIFTS)

TO BE PLACED ALONG EDGE OF PAVEMENT AT ALL  
AREAS SHOWN IN PLAN VIEW ON SITE PLAN (SHEET 3 OF 7).

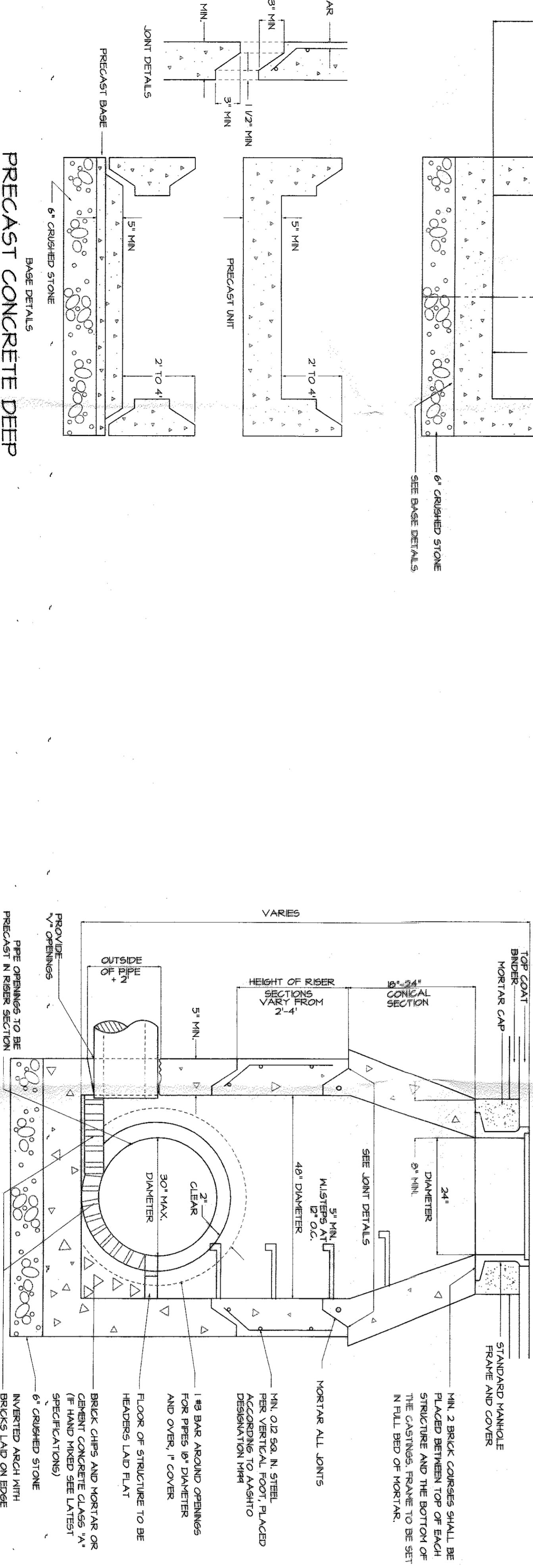
### CAPE COD CURB DETAIL

NO SCALE  
NOT TO SCALE



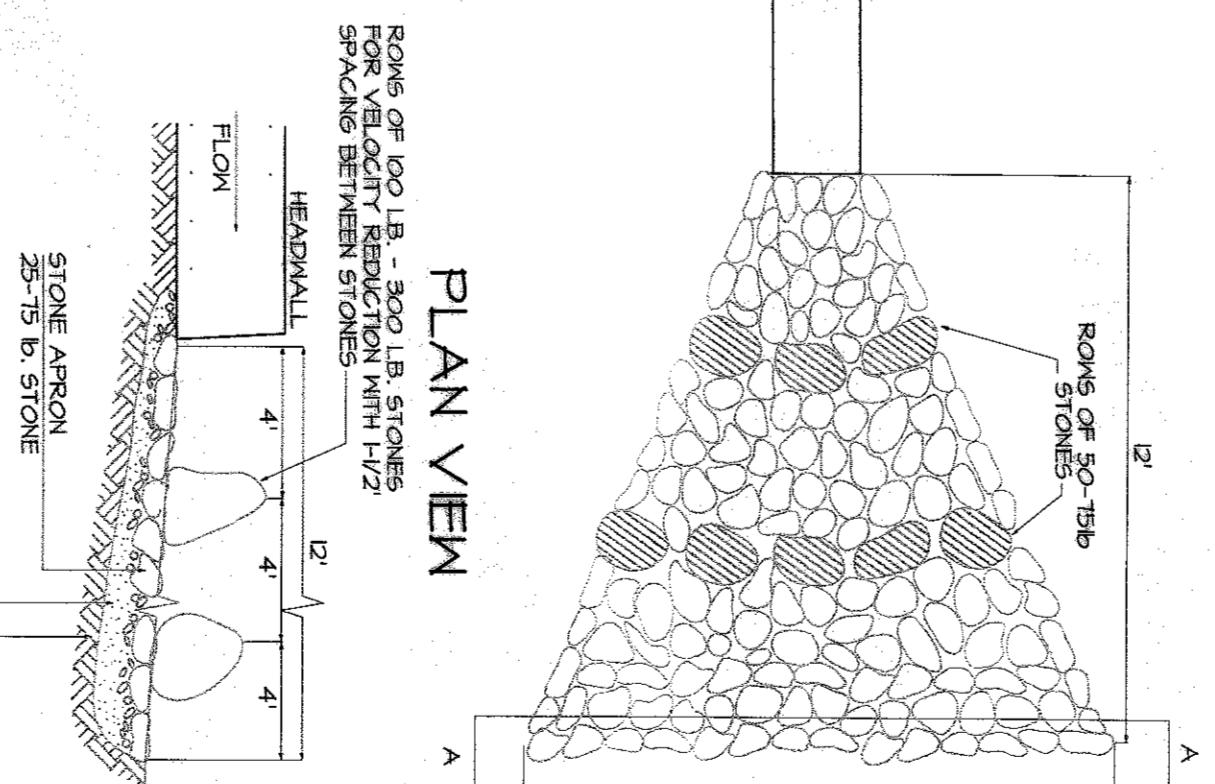
### SQUARE CATCH BASIN LEBARON LV2448

NOT TO SCALE



### DRAIN OUTFALL WITH VELOCITY REDUCER

NO SCALE



### "THE HOMES AT KIMLOCH FARM" A PROPOSED COMPREHENSIVE PERMIT PROJECT UNDER M.G.L. CH. 40B DETAIL SHEET 1 OF 2

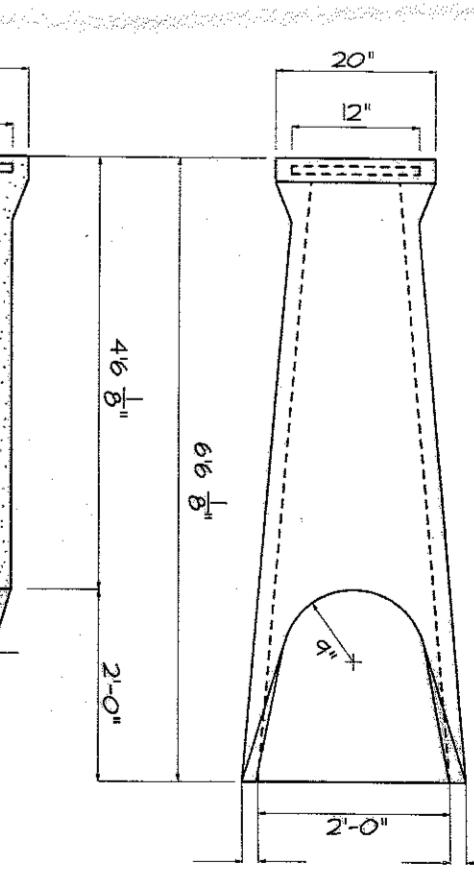
PREPARED FOR:

KIMLOCH FARMS, LLC  
30 NAGOG PARK DRIVE SUITE #225  
ACTION, MASSACHUSETTS 01720

SHEET 4 OF 8

DATE: DECEMBER 12, 2009; REV. 5/24/11

TOP ELEVATION



RIP-RAP AT FLARED-END OUTLET  
SHALL BE SOUND, DURABLE ROCK  
WHICH IS ANGULAR IN SHAPE,  
WHICH IS SMALL, NOT PEBBLE-LESS  
THAN 20 POUNDS NOR MORE THAN  
75 POUNDS.

TOP ELEVATION  
NO SCALE  
SIDE ELEVATION  
NO SCALE  
END ELEVATION  
NO SCALE

### TYPICAL FLARED PIPE END OUTLET

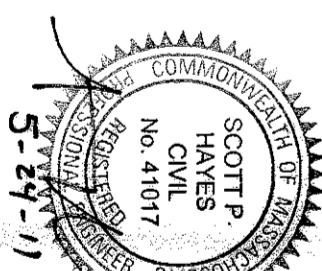
### PRECAST CONCRETE DEEP SUMP CATCH BASIN

NO SCALE

NOTE: FOR DESCRIPTIONS, MATERIALS, AND CONSTRUCTION METHODS SEE LATEST MASS. HIGHWAY SPECIFICATIONS

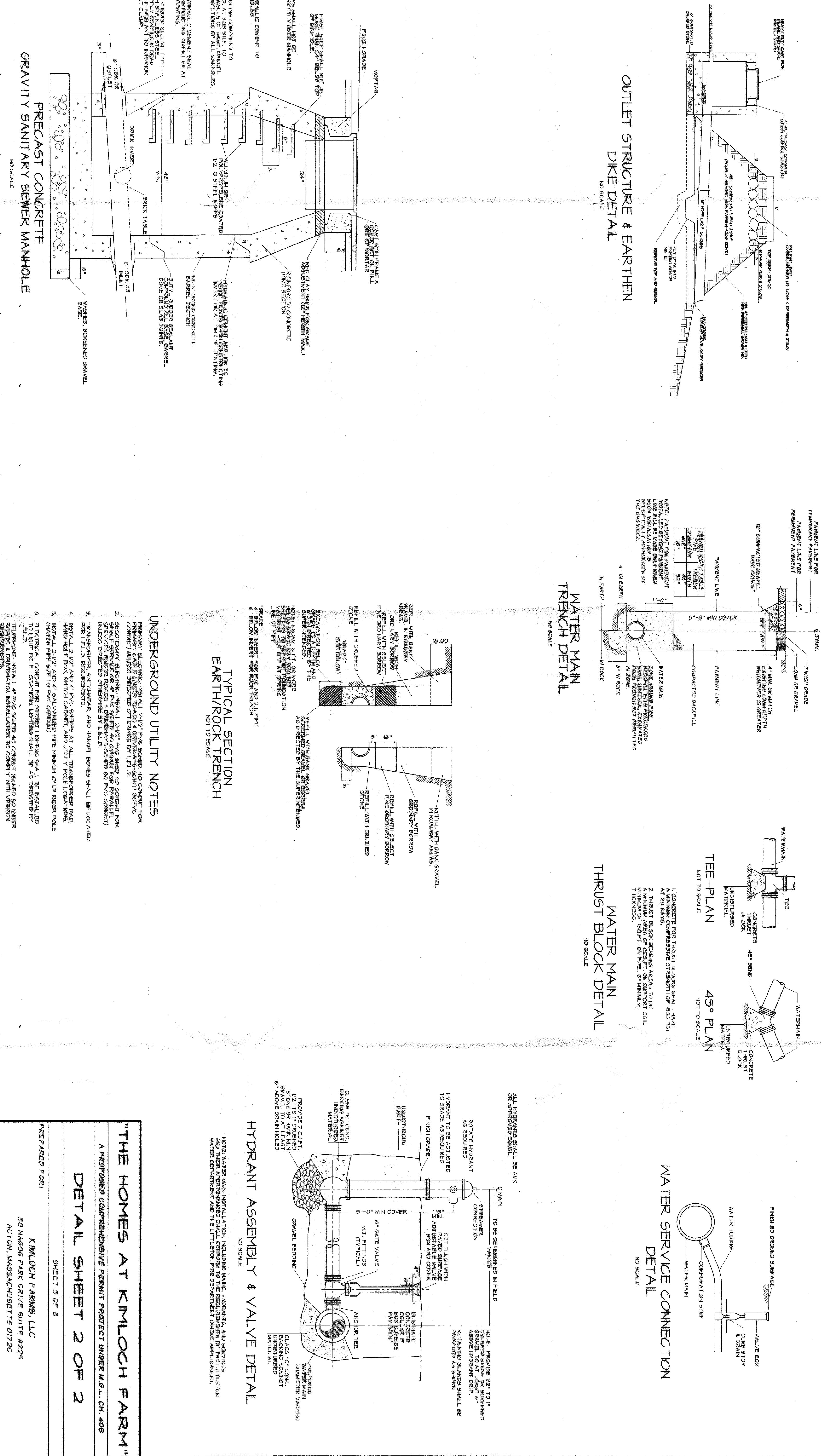
### PRECAST CONCRETE DRAIN MANHOLE

NO SCALE



SCALE: 1/5 NO T.D.

Phone: (978) 481-2350  
Fax: (978) 481-4102





## OPERATION AND MAINTENANCE PLAN

Inspection and maintenance shall be the responsibility of the developer during the construction of the development. After completion of construction, the homeowners association shall be given notification of these inspection and maintenance requirements.

Developer:  
Kimloch Farms, LLC  
30 Nagog Park Drive Suite 225  
Acton, MA 01720

## STORMWATER SYSTEM COMPONENT INSPECTION & MAINTENANCE PROCEDURES

### Deep Sump Hooded Catch Basins:

The actual removal of sediments and associated pollutants and trash occurs only when traps or sumps are cleaned out; therefore, regular maintenance is required. The more frequent the cleaning, the less likely sediments will be re-suspended and subsequently discharged. In addition, frequent cleaning also results in more volume available for future storms and enhances the overall performance.

### Inspection Procedure:

Inspections should occur after every major storm event in the first few months after construction to ensure the amount of sediment is not exceeding the sump volume. Thereafter, the catch basins should be inspected for sediment and trash buildup 4 times a year.

### Maintenance Procedure:

Deep sumps should be cleaned two times per year, or when the amount of sediment and trash exceeds 1/4 the sump volume. Disposal of the accumulated sediment and hydrocarbons must be in accordance with applicable local, state, and federal guidelines and regulations.

### Detention Basin:

Preventive maintenance should be performed at least twice a year, and ideally sediment should be removed from pre-detention catch basins after every major storm event during construction.

### Inspection Procedure:

Once the basin has gone online, inspections should occur after every major storm for the first few months to ensure proper stabilization and function. Attention should be paid to how long water remains standing in the basin after a storm; standing water within the basin 48 to 72 hours after a storm indicates that the outlet orifice may be blocked. Factors responsible for clogging (such as silted sediment erosion, excessive compaction of soils, and low spots) should be repaired immediately.

### Maintenance Procedure:

Thereafter, the infiltration basin should be inspected at least twice per year. Important items to check for include differential settlement, cracking, erosion, leakage, or tree growth on the embankments, condition of riprap, sediment accumulation and the health of the turf.

### Inspection Procedure:

At least twice a year, the buffer area, side slopes and basin bottom should be mowed. Grass clippings and accumulated organic matter should be removed to prevent the formation of an impervious organic mat. Trash and debris should also be removed at this time. Deep tilling can be used to break up a clogged surface area. Any settled areas should be re-vegetated immediately. Removal procedures should not take place until the floor of the basin is thoroughly dry. Light equipment, which will not compact the underlying soil, should be used to remove the top layer. The soil should be deeply tilled and re-vegetated as soon as possible. Protective devices associated with basins should be inspected and cleaned at least twice a year, and ideally construction and annually thereafter.

### Sediment Forebay:

The actual removal of sediments and associated pollutants occurs only when sediment traps and/or sumps are cleaned, therefore, during construction regular maintenance is required. Frequent removal of accumulated sediments will make it less likely that sediments will be resuspended. At a minimum, sediment traps should be cleaned four times per year and inspected monthly during construction and annually thereafter.

GENERAL		
THE PURPOSE OF THIS PLAN IS TO PROVIDE THE DEVELOPER OR CONTRACTOR WITH A MEANS FOR EROSION AND SEDIMENT CONTROL DURING AND AFTER DEVELOPMENT OF THE SITE.		
SITE DEVELOPMENT IS OUTSIDE THE JURISDICTION OF THE LITTLETON CONSERVATION COMMISSION AND THE WETLANDS PROTECTION ACT. SITE IS WITHIN AN ESTIMATED HABITAT OF RARE OR ENDANGERED SPECIES AND WILL REQUIRE A PERMIT FROM THE NATURAL HERITAGE AND ENDANGERED SPECIES PROGRAM PRIOR TO THE START OF CONSTRUCTION.		
NOTE: THE TOWN OF LITTLETON IN WRITING OF INTENT TO BEGIN CONSTRUCTION ACTIVITIES AT LEAST 5 BUSINESS DAYS BEFORE COMMENCING ANY CONSTRUCTION ACTIVITY ON SITE AND RETAIN PROOF OF RECEIPT OF SUCH NOTICE.		
EROSION CONTROL NOTES:		
1. PRIOR TO THE BEGINNING OF CONSTRUCTION, ALL EROSION CONTROL BARRIERS SHALL BE INSTALLED. THE LOCATIONS SHALL BE STAKED IN THE FIELD BY A REGISTERED PROFESSIONAL ENGINEER OR LAND SURVEYOR.		
2. NO WORK SHALL BE DONE WITHIN ANY RESOURCE AREA OR BUFFER ZONE WITHOUT FIRST OBTAINING APPROVAL OF CONDITIONS OF THIS MOUND SHALL BE MAINTAINED AND REPLACED IF NECESSARY.		
3. SUFFICIENT HAYBALES PROPOSED HAYBALES SHALL BE REPLACED WHEN NECESSARY.		
4. A CRUSHED STONE MOUND SHALL BE PLACED THE FULL WIDTH OF THE ENTRANCE WAY, 25 FEET INTO THE SITE AND ONE FOOT DEEP. THE MOUND SHALL BE MAINTAINED AND REPLACED IF NECESSARY.		
5. EXISTING VEGETATION SHALL BE RETAINED WHERE FEASIBLE.		
6. THE EROSION CONTROL BARRIERS SHALL BE INSPECTED AND MAINTAINED REGULARLY.		
7. ALL CLEARED AREAS OF THE STREET NOT PAINTED WITH GRAND COVER SHALL BE LOADED WITH NOT LESS THAN SIX INCHES OF SOIL COMPACTED GOOD QUALITY LOAM AND SEEDED WITH TURF GRASS IN ACCORDANCE WITH GOOD PLANTING PRACTICE.		
CONSTRUCTION SEQUENCE		
DURING THIS SEQUENCE, ALL EROSION CONTROL BARRIERS SHALL BE DUG OUT AND MAINTAIN ANY DISTURBED AREAS SHALL BE STABILIZED AND MAINTAIN ANY CLEARED AREA, WHICH DISTURBING OR SOILING AS SOON AS POSSIBLE. AFTER GRADING IS COMPLETE, ALL EROSION CONTROL BARRIERS SHALL BE INSTALLED IN ONE PHASE.		
1. INSTALL EROSION CONTROL BARRIERS.		
2. CLEAR AND GRUB PROPOSED LIMITS OF CLEARING.		
3. CONSTRUCT CRUSHED STONE CONSTRUCTION ENTRANCE AND STABILIZATION SITE SHALL BE CONSTRUCTED IN ONE PHASE.		
4. ROUGH GRADE ACCESS ROAD AND AREAS TO BE PAVED.		
5. INSTALL STORM DRAINS STARTING AT DETENTION BASIN AND WORKING UPSTREAM.		
6. INSTALL HAYBALES OR FILTER FABRIC AROUND CATCHBASINS.		
7. INSTALL UTILITIES WITHIN PAVED AREAS.		
8. COMPLETE GRADING AND COMPACTION OF AREAS TO BE PAVED.		
9. LAY BINDER COURSE OF PAVEMENT, AND INSTALL CAPE COD BERRMS.		
10. INSTALL HAYBALES OR FILTER FABRIC AROUND CATCHBASINS.		
11. CONSTRUCT DWELLING UNITS.		
12. LAY FINISH COURSE OF PAVEMENT.		
13. LOAD AND SEED ALL DISTURBED AREAS; COMPLETE SITE LANDSCAPING.		
14. FOLLOWING CONSTRUCTION AND AFTER VEGETATION HAS BEEN ESTABLISHED, REMOVE ALL EROSION CONTROL BARRIERS.		
SLOPE STABILIZATION		
1. DENUDED SLOPES SHALL NOT BE MATTENED OR EXPOSED FOR EXCESSIVE PERIODS OF TIME, SUCH AS THE INACTIVE WINTER SEASON.		
2. NO LATER THAN OCTOBER 31 OF EACH CALENDAR YEAR, THE DEVELOPER SHALL STABILIZE ALL EXPOSED SOILS AND OTHER VULNERABLE OR SENSITIVE AREAS, IN A MANNER ACCEPTABLE TO THE CONSERVATION COMMISSION. ADDITIONAL DISRUPTION MAY OCCUR EXCEPT IN ACCORDANCE WITH THE APPROVED CONSTRUCTION PLAN.		
3. TOPSOIL SHALL HAVE A SANDY LOAM TEXTURE, RELATIVELY FREE OF TRASH OR CONSTRUCTION DEBRIS.		
4. THE SEED MIX SHALL BE NOGULATED WITHIN 24 HOURS BEFORE MIXING AND PLANTING, WITH APPROPRIATE NODULUM FOR EACH VARIETY.		
SEED MIXTURES		
MONDED AREAS (ALL FLATS AND SLOPES EQUAL TO OR LESS THAN 3%)		
MIXTURE % BY WEIGHT SEEDING DATES		
RED FESCUE 75 AUGUST 1 - JUNE 15		
KENTUCKY BLUEGRASS 5 AUGUST 15 - OCTOBER 15		
COLONIAL BENTGRASS 5 SPRING OR FALL		
PERENNIAL RYEGRASS 15 SPRING OR FALL		
UNMONDED AREAS (FLAT SLOPES GREATER THAN 3%)		
MIXTURE % BY WEIGHT SEEDING DATES		
RED FESCUE 75 APRIL 1 - JUNE 15		
KENTUCKY BLUEGRASS 5 AUGUST 15 - OCTOBER 15		
COLONIAL BENTGRASS 5 SPRING OR FALL		
EROSION CONTROL BARRIER		
NOT TO SCALE		
N.T.S.		
3" HIGH CRICKET OF PEASTONE OR WOOD CHIPS ON UPGRADEN SIDE OF HAYBALE		
CLAY BERM KEYED INTO IMPERMEABLE SURFACE		
2'-0" SLOPE		
CLAY BERM KEYED INTO IMPERMEABLE SURFACE		
2'-0" SLOPE		
CATCH BASIN WITH HAYBALES		
NOTE: AN APPROVED FILTER SILT SACKS UNDER THE GRATE ARE REQUIRED IN ADDITION TO THE HAYBALES		
(ALL C.B.S.)		
FILTERED CATCH BASIN		
NOTICE: ALL CATCH BASINS SHALL HAVE HAYBALES PLACED AROUND THEM AS SHOWN ON THE CROSS SECTION. THE HAYBALES SHOULD BE STABILIZED AND MAINTAIN ANY DISTURBED AREAS, WHICH DISTURBING OR SOILING AS SOON AS POSSIBLE. AFTER GRADING IS COMPLETE, ALL EROSION CONTROL BARRIERS SHALL BE INSTALLED IN ONE PHASE.		
CLAY BERM KEYED INTO IMPERMEABLE SURFACE		
2'-0" SLOPE		
CLAY BERM KEYED INTO IMPERMEABLE SURFACE		
2'-0" SLOPE		
RE-FUELING STATION DETAIL		
4. RE-FUELING STATION TO BE LOCATED OUTSIDE 100' E/W BUFFER ZONE (SEE PLAN)		
2. REFUELING AND MAINTENANCE OF ALL VEHICLES SHALL BE LIMITED TO THE RE-FUELING STATION.		
3. THE SHADING OF THE RE-FUELING STATION SHALL BE MAINTAINED AND PREVENT THE SPILL OF FUEL OR OTHER CHEMICALS INTO THE GROUND. IN THE EVENT OF A SPILL, THE RE-FUELING STATION SHALL BE REMOVED AND Hauled OFF SITE.		
4. AT THE COMPLETION OF CONSTRUCTION, THE SURFACE OF THE RE-FUELING STATION SHALL BE REMOVED AND Hauled OFF SITE.		
5. IN THE EVENT OF A SPILL, THE RE-FUELING STATION SHALL BE NOTIFIED IMMEDIATELY.		
THE HOMES AT KIMLOCH FARM		
NOT TO SCALE		
PREPARED FOR: KIMLOCH FARMS, LLC		
30 NAGOG PARK DRIVE SUITE 225		
ACTON, MASSACHUSETTS 01720		
DATE: DECEMBER 12, 2009; REV. 5/24/2011		
SCALE: 1"-0" = 20'		
EROSION & SEDIMENT CONTROL PLAN 2 OF 2		
"THE HOMES AT KIMLOCH FARM"		
NOT TO SCALE		
A PROPOSED COMPREHENSIVE PERMIT PROJECT UNDER M.G.L. CH. 40B		
PREPARED FOR: KIMLOCH FARMS, LLC		
30 NAGOG PARK DRIVE SUITE 225		
ACTON, MASSACHUSETTS 01720		
DATE: DECEMBER 12, 2009; REV. 5/24/2011		
SCALE: 1"-0" = 20'		
CRUSHED STONE ENTRANCE DETAIL		
NOT TO SCALE		
A PROPOSED COMPREHENSIVE PERMIT PROJECT UNDER M.G.L. CH. 40B		
PREPARED FOR: KIMLOCH FARMS, LLC		
30 NAGOG PARK DRIVE SUITE 225		
ACTON, MASSACHUSETTS 01720		
DATE: DECEMBER 12, 2009; REV. 5/24/2011		
SCALE: 1"-0" = 20'		
CRUSHED STONE ENTRANCE DETAIL		
NOT TO SCALE		
A PROPOSED COMPREHENSIVE PERMIT PROJECT UNDER M.G.L. CH. 40B		
PREPARED FOR: KIMLOCH FARMS, LLC		
30 NAGOG PARK DRIVE SUITE 225		
ACTON, MASSACHUSETTS 01720		
DATE: DECEMBER 12, 2009; REV. 5/24/2011		
SCALE: 1"-0" = 20'		
CRUSHED STONE ENTRANCE DETAIL		
NOT TO SCALE		
A PROPOSED COMPREHENSIVE PERMIT PROJECT UNDER M.G.L. CH. 40B		
PREPARED FOR: KIMLOCH FARMS, LLC		
30 NAGOG PARK DRIVE SUITE 225		
ACTON, MASSACHUSETTS 01720		
DATE: DECEMBER 12, 2009; REV. 5/24/2011		
SCALE: 1"-0" = 20'		
CRUSHED STONE ENTRANCE DETAIL		
NOT TO SCALE		
A PROPOSED COMPREHENSIVE PERMIT PROJECT UNDER M.G.L. CH. 40B		
PREPARED FOR: KIMLOCH FARMS, LLC		

