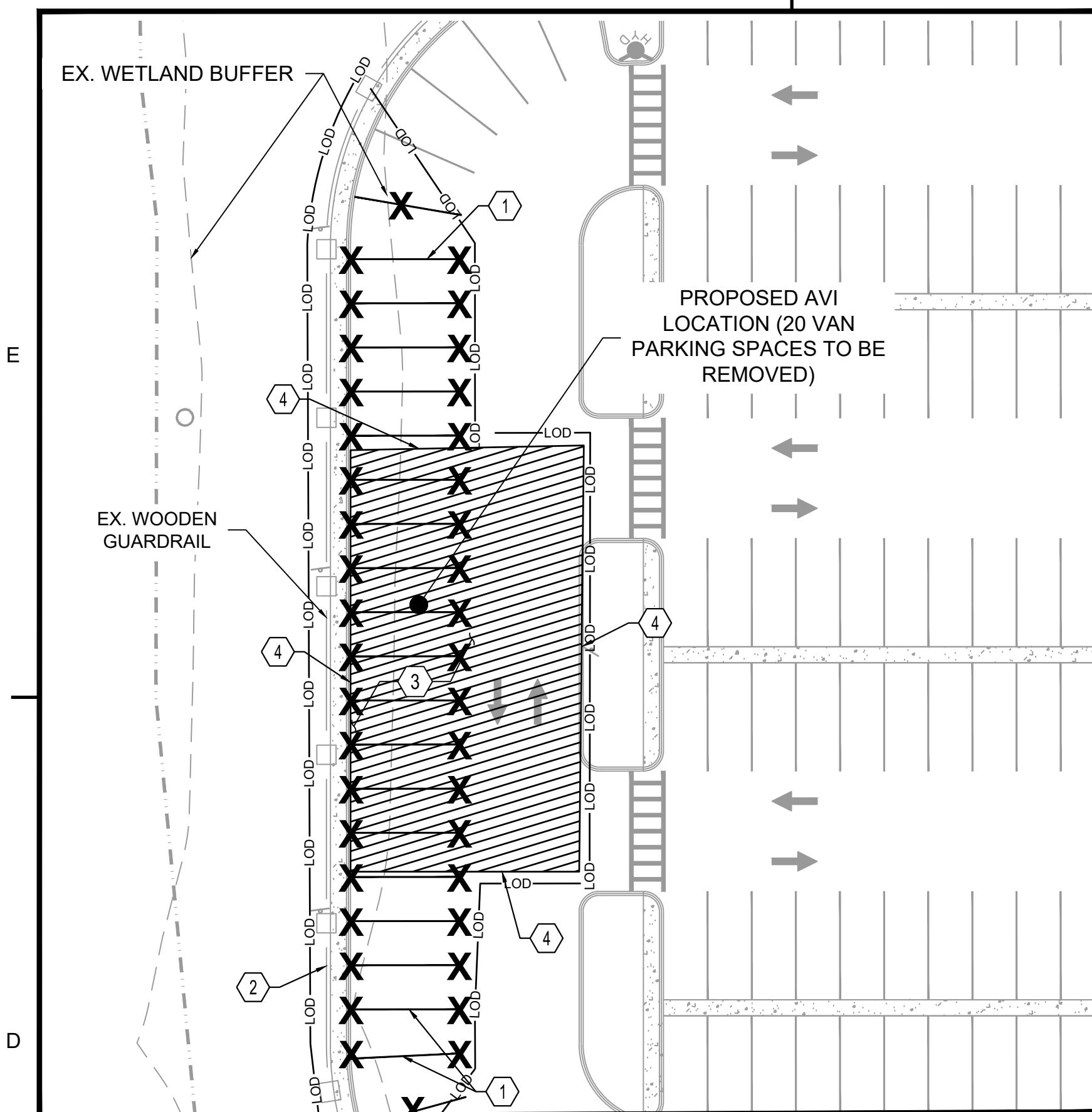
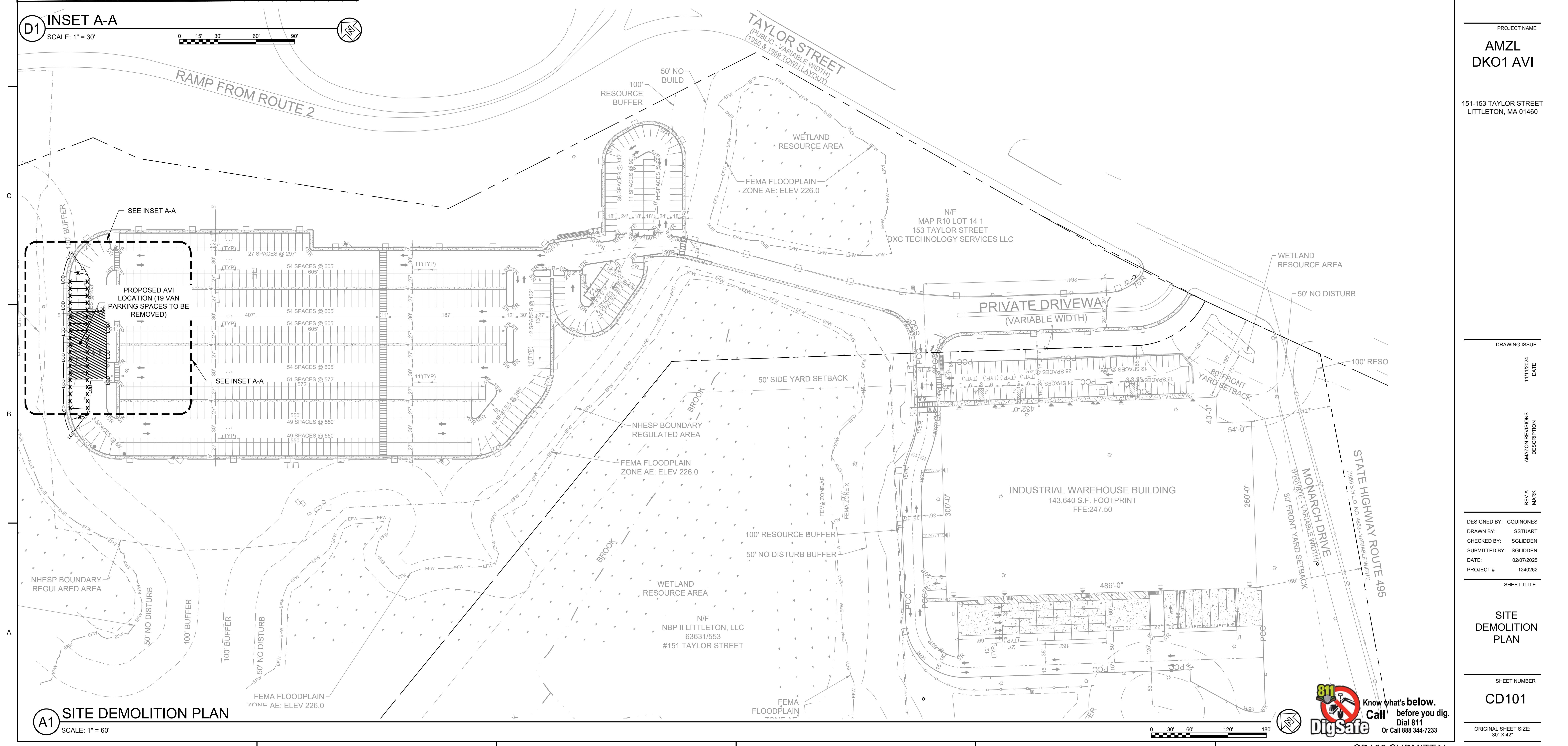


1	2	3	4	5	6																																																																																												
GENERAL NOTES <p>1. NOT ALL ABBREVIATIONS SHOWN WILL BE USED ON THIS PROJECT.</p>		CIVIL GENERAL NOTES: <ol style="list-style-type: none"> THE CONTRACTOR SHALL COMPLY WITH ALL CITY, COUNTY, STATE, AND FEDERAL REGULATIONS APPLICABLE TO CONSTRUCTION OF THIS SITE. ALL DIMENSIONS ARE TAKEN FROM/T0 FENCE LINES, CENTERLINE OF UTILITY, CENTER OF MANHOLE OR CATCH BASIN, CENTERLINE OF ROAD, FACE OF BUILDING, FACE OF CURB, FACE OF WALL, OR CENTERLINE OF STRIPING UNLESS OTHERWISE NOTED. EXISTING CONDITIONS SHOWN ARE BASED UPON TOPOGRAPHIC SURVEY PROVIDED BY R.E. CAMERON & ASSOCIATES, INC. UTILITY INFORMATION SHOWN WAS SUPPLEMENTED BY GIS INFORMATION. EXISTING UTILITY INFORMATION SHOULD BE CONSIDERED APPROXIMATE AND MUST BE VERIFIED BY THE CONTRACTOR PRIOR TO CONSTRUCTION OR ORDERING MATERIALS. ALL REQUIRED EROSION AND SEDIMENT CONTROL MEASURES SHALL BE PROVIDED, INSTALLED, AND MAINTAINED AS REQUIRED BY LOCAL, STATE, AND FEDERAL REQUIREMENTS. CONTRACTOR TO MOVE ALL CONSTRUCTION DEBRIS OFF THE AMAZON PROPERTY AND DISPOSE DEBRIS AT A LEGAL, PERMITTED LANDFILL CONSISTENT WITH ALL LOCAL, STATE, AND FEDERAL REQUIREMENTS. NO BURNING IS ALLOWED ON AMAZON PROPERTY. CONTRACTOR TO ENSURE ALL EXISTING TOPS OF MANHOLES AND VALVE BOXES ARE RAISED OR LOWERED TO BE FLUSH WITH FINISHED GRADES, UNLESS NOTED OTHERWISE. ALL NEW PAVEMENT AND SIDEWALKS SHALL BE CONSTRUCTED FLUSH WITH EXISTING, WITH NO PONDING OF STORMWATER, UNLESS NOTED OTHERWISE. CONTRACTOR SHALL GRADE ALL DISTURBED AREAS TO ENSURE POSITIVE DRAINAGE AWAY FROM BUILDINGS AND TO DRAINAGE STRUCTURES OR DITCHES. NATURAL FLOW OF SURROUNDING WATERS SHALL NOT BE DISTURBED DURING CONSTRUCTION, UNLESS SHOWN OTHERWISE. CONTRACTOR SHALL VERIFY ALL EXISTING CONDITIONS, COORDINATES, AND DIMENSIONAL INFORMATION PRIOR TO CONSTRUCTION. THE CONTRACTOR SHALL BRING ALL DISCREPANCIES TO THE ATTENTION OF THE COR PRIOR TO STARTING CONSTRUCTION. ALL TRAFFIC SIGNS AND PAVEMENT MARKINGS SHALL BE IN ACCORDANCE WITH THE MASSACHUSETTS DEPARTMENT OF TRANSPORTATION (MASSDOT) AND "MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES" (MUTCD), LATEST EDITION. THE CONTRACTOR SHALL BE RESPONSIBLE FOR COORDINATING INSTALLATION OF NEW UTILITIES WITH THOSE THAT ARE EXISTING. IF EXISTING UTILITIES ARE IN CONFLICT WITH NEW UTILITIES, THE SITE CONTRACTOR SHALL NOTIFY THE COR BEFORE PROCEEDING WITH CONSTRUCTION. THE LOCATION OF EXISTING UTILITIES AND STORM DRAINAGE SHOWN ON THE PLANS HAVE BEEN DETERMINED FROM THE BEST INFORMATION AVAILABLE AND ARE PROVIDED FOR THE CONTRACTOR'S CONVENIENCE. THE ENGINEER ASSUMES NO RESPONSIBILITY FOR INACCURACY. PRIOR TO THE START OF ANY CONSTRUCTION ACTIVITY IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO NOTIFY THE VARIOUS UTILITY COMPANIES AND TO MAKE THE NECESSARY ARRANGEMENTS FOR RELOCATION OF ANY UTILITIES WITH THE OWNER. THE CONTRACTOR SHALL EXERCISE CAUTION WHEN CROSSING UNDERGROUND UTILITIES, WHETHER SHOWN ON THE PLAN OR LOCATED BY THE UTILITY COMPANY. ALL UTILITIES WHICH INTERFERE WITH THE PROPOSED CONSTRUCTION SHALL BE BROUGHT TO THE ATTENTION OF THE OWNER. ANY FEES ASSOCIATED WITH UTILITY RELOCATIONS SHALL BE BORNE BY THE CONTRACTOR IN ACCORDANCE WITH RESPECTIVE UTILITY COMPANY STANDARDS. THE CONTRACTOR SHALL COORDINATE DISCONNECTION OF EXISTING UTILITIES WITH THE APPROPRIATE UTILITY PROVIDER. UTILITIES INDICATED SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE APPLICABLE PROVISIONS OF THE SPECIFICATIONS. GRADING SHALL BE AS INDICATED, AND SHALL PRODUCE A FINISHED SURFACE WITH NO PONDING OF WATER, READY TO RECEIVE PLANTING MATERIALS OR GRASSING. IT WILL BE THE RESPONSIBILITY OF THE CONTRACTOR TO ENSURE THAT ALL REQUIRED PERMITS ARE OBTAINED IN HAND BEFORE BEGINNING CONSTRUCTION. NO CONSTRUCTION OR FABRICATION SHALL BEGIN UNTIL THE CONTRACTOR HAS RECEIVED PLANS AND OTHER DOCUMENTATION FROM ALL OF THE PERMITTING AND ANY OTHER REGULATORY AUTHORITIES. ANY PENALTIES, STOP WORK ORDERS OR ADDITIONAL WORK RESULTING FROM THE CONTRACTOR BEING IN VIOLATION OF THE ABOVE REQUIREMENTS, SHALL BE FULLY BORNE BY THE CONTRACTOR. CONTRACTORS/SUBCONTRACTORS THAT WILL BE ENGAGED IN LAND DISTURBING ACTIVITIES SHALL COMPLY WITH ALL EROSION, SEDIMENTATION AND POLLUTION CONTROL AND STORMWATER POLLUTION PREVENTION REQUIREMENTS CONTAINED THROUGHOUT THE DRAWINGS, SPECIFICATIONS, AND PERMITS. THE CONTRACTOR'S MEANS, METHODS, SEQUENCE, TECHNIQUES OR PROCEDURES IN PERFORMING THE WORK IS SOLELY THE RESPONSIBILITY OF THE CONTRACTOR, WHO IS ALSO RESPONSIBLE FOR COMPLYING WITH ALL HEALTH AND SAFETY PRECAUTIONS AS REQUIRED BY THE APPLICABLE REGULATORY AGENCY. THE DESIGN ADEQUACY AND SAFETY OF BRACING, SHORING 		CIVIL ABBREVIATIONS <table border="0"> <tr><td>@</td><td>AT</td></tr> <tr><td>&</td><td>AND</td></tr> <tr><td>APPROX</td><td>APPROXIMATELY</td></tr> <tr><td>AVI</td><td>AUTOMATED VEHICLE INSPECTION</td></tr> <tr><td>BLDG</td><td>BUILDING</td></tr> <tr><td>BM</td><td>BENCHMARK</td></tr> <tr><td>BOT</td><td>BOTTOM</td></tr> <tr><td>CONC</td><td>CONCRETE</td></tr> <tr><td>DI</td><td>DROP INLET</td></tr> <tr><td>DSP</td><td>DELIVERY SERVICE PARTNER</td></tr> <tr><td>EG</td><td>EXISTING GRADE</td></tr> <tr><td>ELEV</td><td>ELEVATION</td></tr> <tr><td>EP</td><td>EDGE OF PAVEMENT</td></tr> <tr><td>ESMT</td><td>EASEMENT</td></tr> <tr><td>EX</td><td>EXISTING</td></tr> <tr><td>FEMA</td><td>FEDERAL EMERGENCY MANAGEMENT AGENCY</td></tr> <tr><td>FFE</td><td>FINISHED FLOOR ELEVATION</td></tr> <tr><td>FG</td><td>FINISHED GRADE</td></tr> <tr><td>FH</td><td>FIRE HYDRANT</td></tr> <tr><td>FT</td><td>FEET</td></tr> <tr><td>GIS</td><td>GEOGRAPHIC INFORMATION SYSTEM</td></tr> <tr><td>HORZ</td><td>HORIZONTAL</td></tr> <tr><td>ID</td><td>IDENTIFICATION</td></tr> <tr><td>IN</td><td>INCH</td></tr> <tr><td>INC</td><td>INCORPORATED</td></tr> <tr><td>INV</td><td>INVERT</td></tr> <tr><td>LF</td><td>LINEAR FEET</td></tr> <tr><td>LOD</td><td>LIMITS OF DISTURBANCE</td></tr> <tr><td>M.E.</td><td>MATCH EXISTING</td></tr> <tr><td>MIN</td><td>MINIMUM</td></tr> <tr><td>N</td><td>NORTHING</td></tr> <tr><td>NHESP</td><td>NATURAL HERITAGE & ENDANGERED SPECIES PROGRAM</td></tr> <tr><td>NTS</td><td>NOT TO SCALE</td></tr> <tr><td>PROP</td><td>PROPOSED</td></tr> <tr><td>R/W</td><td>RIGHT OF WAY</td></tr> <tr><td>SD</td><td>STORM DRAIN</td></tr> <tr><td>SF</td><td>SQUARE FEET</td></tr> <tr><td>SPEC</td><td>SPECIFICATIONS</td></tr> <tr><td>SQ</td><td>SQUARE</td></tr> <tr><td>SS</td><td>SANITARY SEWER</td></tr> <tr><td>SSMH</td><td>SANITARY SEWER MANHOLE</td></tr> <tr><td>STD</td><td>STANDARD</td></tr> <tr><td>TBM</td><td>TEMPORARY BENCHMARK</td></tr> <tr><td>TYP</td><td>TYPICAL</td></tr> <tr><td>WM</td><td>WATER METER</td></tr> <tr><td>W/</td><td>WITH</td></tr> </table>		@	AT	&	AND	APPROX	APPROXIMATELY	AVI	AUTOMATED VEHICLE INSPECTION	BLDG	BUILDING	BM	BENCHMARK	BOT	BOTTOM	CONC	CONCRETE	DI	DROP INLET	DSP	DELIVERY SERVICE PARTNER	EG	EXISTING GRADE	ELEV	ELEVATION	EP	EDGE OF PAVEMENT	ESMT	EASEMENT	EX	EXISTING	FEMA	FEDERAL EMERGENCY MANAGEMENT AGENCY	FFE	FINISHED FLOOR ELEVATION	FG	FINISHED GRADE	FH	FIRE HYDRANT	FT	FEET	GIS	GEOGRAPHIC INFORMATION SYSTEM	HORZ	HORIZONTAL	ID	IDENTIFICATION	IN	INCH	INC	INCORPORATED	INV	INVERT	LF	LINEAR FEET	LOD	LIMITS OF DISTURBANCE	M.E.	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PROJECT CONTACTS <p>CIVIL ENGINEER FOR THIS PROJECT IS: POND & COMPANY 3500 PARKWAY LANE, SUITE 500 PEACHTREE CORNERS, GEORGIA 30092 PHONE: (678) 336-7740 FAX: (678) 336-7744 CONTACT: CLEMENTE QUINONES, P.E. EMAIL: CLEMENTE.QUINONES@PONDCO.COM</p> <p>SURVEYOR FOR THIS PROJECT IS: R.E. CAMERON & ASSOCIATES, INC. 681 WASHINGTON STREET NORWOOD, MA 02062 T: 781.769.1777</p> <p>24-HOUR EROSION AND SEDIMENTATION CONTROL CONTACT: TBD</p>		CIVIL DEMOLITION NOTES <ol style="list-style-type: none"> "DEMOLISH" MEANS TO REMOVE AN OBJECT IN ITS ENTIRETY. RESTORE GRADES AND SURFACE IMPROVEMENTS TO MATCH EXISTING CONDITIONS OR PER REQUIREMENTS OF NEW WORK, WHICHEVER IS APPLICABLE. EROSION AND SEDIMENTATION CONTROL MEASURES AND TEMPORARY CONSTRUCTION FENCING SHALL BE IN PLACE PRIOR TO COMMENCEMENT OF DEMOLITION WORK. CONTRACTOR SHALL ESTABLISH SURVEY CONTROL NETWORK OUTSIDE LIMITS OF DEMOLITION PRIOR TO COMMENCEMENT OF WORK. THIS WORK MUST BE PERFORMED BY A LICENSED & REGISTERED MASSACHUSETTS LAND SURVEYOR. ALL DEMOLITION WORK SHALL BE COORDINATED WITH CONTRACTOR'S SCHEDULE, LOGISTICS PLAN (APPROVED BY OWNER), EROSION, SEDIMENTATION AND POLLUTION CONTROL PLAN PRIOR TO WORK. 		 <p>VICINITY MAP D5 SCALE: N.T.S.</p>																																																																																													
SHEET LEGEND <table border="1"> <thead> <tr> <th>DESCRIPTION</th> <th>EXISTING</th> <th>PROPOSED</th> </tr> </thead> <tbody> <tr> <td>BOLLARD</td> <td>N/A</td> <td>●</td> </tr> <tr> <td>BUFFER</td> <td>—</td> <td>N/A</td> </tr> <tr> <td>CATCH BASIN</td> <td>○</td> <td>N/A</td> </tr> <tr> <td>CONCRETE PAVEMENT</td> <td>□</td> <td>□</td> </tr> <tr> <td>ELEVATION</td> <td>N/A</td> <td>100.00'</td> </tr> <tr> <td>EXISTING CONTOUR</td> <td>—</td> <td>N/A</td> </tr> <tr> <td>FEMA FLOODPLAIN ZONE</td> <td>—</td> <td>EFW</td> </tr> <tr> <td>FILTER SOCK</td> <td>N/A</td> <td>▨</td> </tr> <tr> <td>FIRE HYDRANT</td> <td>HYD</td> <td>N/A</td> </tr> <tr> <td>GUARDRAIL</td> <td>—</td> <td>N/A</td> </tr> <tr> <td>LIMITS OF DISTURBANCE</td> <td>N/A</td> <td>—LOD—</td> </tr> <tr> <td>PROPERTY LINE</td> <td>—</td> <td>N/A</td> </tr> <tr> <td>SIGN</td> <td>N/A</td> <td>✓</td> </tr> <tr> <td>SIDEWALK</td> <td>□</td> <td>N/A</td> </tr> <tr> <td>SPEED BUMP</td> <td>N/A</td> <td>—</td> </tr> <tr> <td>SILT FENCE</td> <td>N/A</td> <td>—SF—</td> </tr> <tr> <td>WETLAND</td> <td>—</td> <td>N/A</td> </tr> </tbody> </table>		DESCRIPTION	EXISTING	PROPOSED	BOLLARD	N/A	●	BUFFER	—	N/A	CATCH BASIN	○	N/A	CONCRETE PAVEMENT	□	□	ELEVATION	N/A	100.00'	EXISTING CONTOUR	—	N/A	FEMA FLOODPLAIN ZONE	—	EFW	FILTER SOCK	N/A	▨	FIRE HYDRANT	HYD	N/A	GUARDRAIL	—	N/A	LIMITS OF DISTURBANCE	N/A	—LOD—	PROPERTY LINE	—	N/A	SIGN	N/A	✓	SIDEWALK	□	N/A	SPEED BUMP	N/A	—	SILT FENCE	N/A	—SF—	WETLAND	—	N/A	GRADING AND DRAINAGE NOTES <ol style="list-style-type: none"> POSITIVE DRAINAGE SHALL BE MAINTAINED AT ALL TIMES TO PREVENT SATURATION OF EXPOSED SOILS IN CASE OF SUDDEN RAINS, AND FOR ALL FINISHED GRADING. CONTRACTOR SHALL LOCATE ALL EXISTING UTILITIES PRIOR TO EXCAVATION. CONTRACTOR SHALL INSTALL PERIMETER EROSION AND SEDIMENT CONTROL MEASURES PRIOR TO SITE CLEARING OR EXCAVATION. CONTRACTOR SHALL INSPECT SEDIMENT AND EROSION CONTROL MEASURES DAILY DURING PROLONGED RAINFALLS AND CONTINUOUS RAINFALL EVENTS TO ENSURE THAT CONTROLS ARE FUNCTIONING PROPERLY. DAMAGED CONTROLS SHALL BE REPLACED BY THE END OF THE WORKDAY. BACKFILL AND FILL MATERIAL SHALL BE FREE OF ORGANIC MATTER AND WASTE. THE CONTRACTOR SHALL REMOVE ALL EROSION CONTROL FENCING FROM THE SITE PRIOR TO FINAL PROJECT ACCEPTANCE, AND SHALL SMOOTH THE GROUND SURFACE WHERE THE FENCE WAS REMOVED THEN MULCH OR SEED & STRAW (SEASON APPROPRIATE GRASS) THE RESTORED SURFACE AS SUNLIGHT CONDITIONS WARRANT. CONTRACTOR SHALL MARK, PRESERVE AND PROTECT ALL SURVEY BENCHMARKS. IF BENCHMARK MUST BE DEMOLISHED FOR CONSTRUCTION, CONTRACTOR SHALL RELOCATE BENCHMARK AND PROVIDE NEW DATA ON AS-BUILTS. ALL CUT AND FILL SLOPES SHALL BE 3:1 OR FLATTER (SEE PLANS). ALL SPOT ELEVATIONS NOTED ARE FINISH GRADE. 		GENERAL NOTES <p>PROJECT INFORMATION:</p> <p>PURPOSE OF PROJECT: CONSTRUCTION OF A 1,500 SQ.FT. AUTOMATED VEHICLE INSPECTION (AVI) BUILDING WITH PROPOSED ELECTRICAL SERVICE FROM EXISTING EV SYSTEMS AND REVISIONS TO EXISTING PAVEMENT MARKINGS FOR TRAFFIC CONTROL WITHIN THE SITE.</p> <p>PROJECT ADDRESS: 151-153 TAYLOR STREET LITTLETON, MA 01460</p> <p>PROPERTY ID: 0037-0001-0002</p> <p>SITE AREA: ± 80 ACRES</p> <p>DISTURBED AREA: 0.18 ACRES</p> <p>ZONING CLASSIFICATION: IND (INDUSTRIAL DISTRICT)</p> <p>BUILDING SETBACKS:</p> <p>FRONT: MIN. 80 FT REQUIRED</p> <p>SIDE: MIN. 50 FT REQUIRED</p> <p>REAR: MIN. 50 FT REQUIRED</p> <p>BUILDING SUMMARY: MAXIMUM BUILDING HEIGHT: 40'</p> <p>DESIGNED BY: QUINONES DRAWN BY: SSTUART CHECKED BY: SGULDEN SUBMITTED BY: SGULDEN DATE: 02/07/2025 PROJECT #: 1240262</p> <p>GENERAL CIVIL NOTES, LEGEND, AND ABBREVIATIONS</p> <p>Sheet Number: C-001 Original Sheet Size: 30' x 42'</p> <p>811 Know what's below. Call before you dig. Dial 811 DigSafe Or Call 888.344.7233</p>																																							
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INSET A-A

SCALE: 1" = 30'



POND

3500 Parkway Lane
Suite 500
Peachtree Corners
Georgia 30092

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EOR/AOR SEAL

CONSULTANT

CLIENT INFORMATION

PROJECT NAME

1-153 TAYLOR STREET
LITTLETON, MA 01460

DRAWING ISSUE 24

AMAZON REVISIONS DESCRIPTION

DESIGNED BY: CQUINONES
DRAWN BY: SSTUART
CHECKED BY: SGLIDDEN
SUBMITTED BY: SGLIDDEN
DATE: 02/07/2025
PROJECT #: 1240262

SITE DEMOLITION PLAN

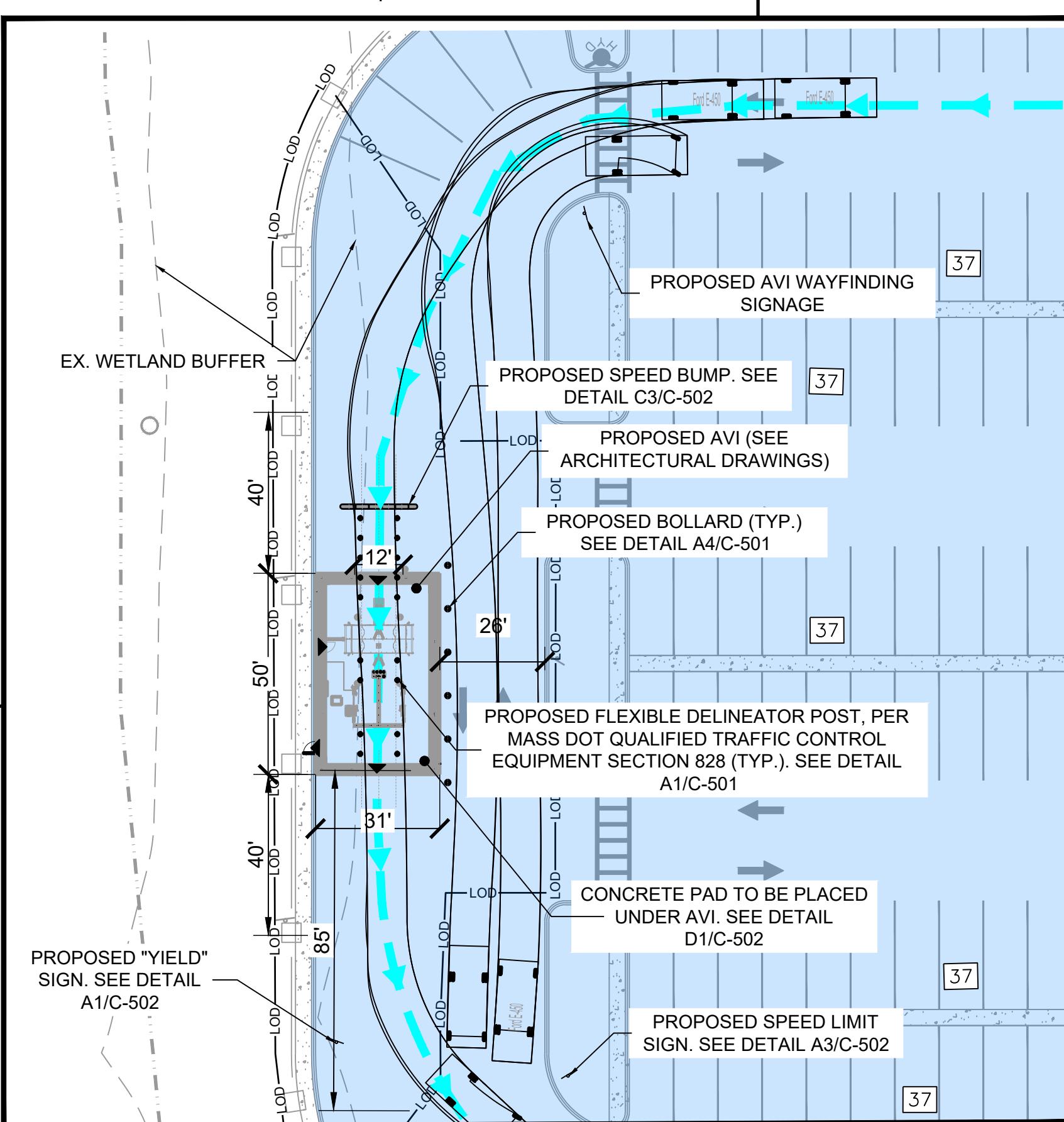
SHEET NUMBER

CD101

ORIGINAL SHEET SIZE:
30" X 42"

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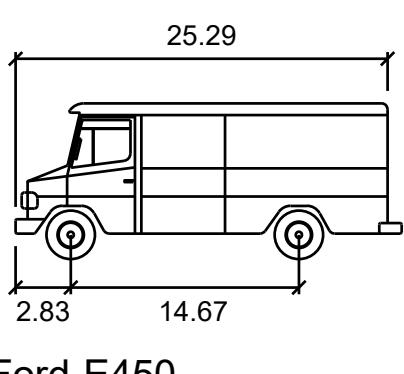
D1 INSET A-A
SCALE: 1" = 30'
0 15' 30' 60' 90'

GENERAL SHEET NOTES

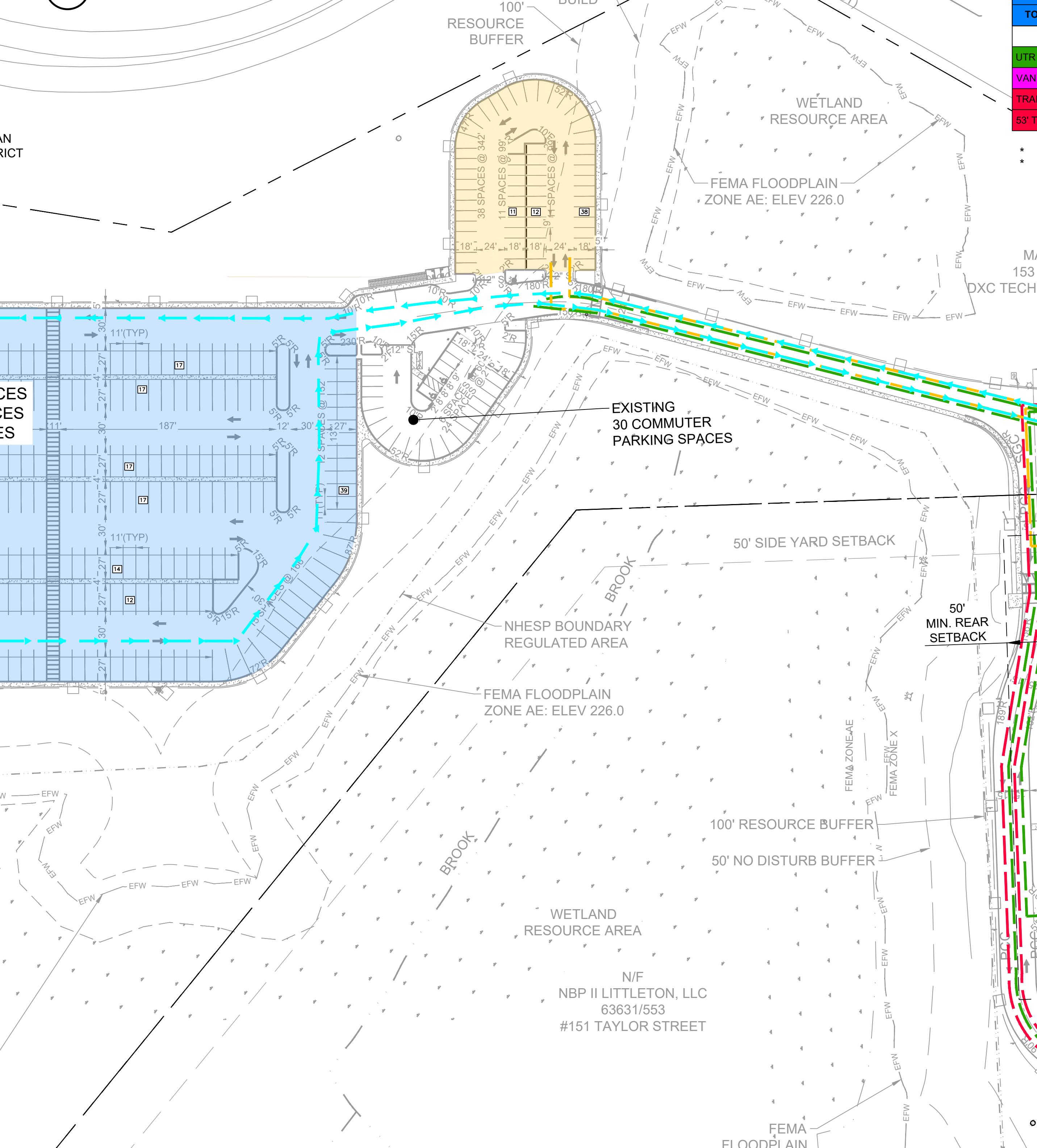
1. THIS SHEET IS PART OF A MULTI-SHEET SET OF CONSTRUCTION PLAN AND SHALL BE READ WITH THE FULL SET TO BEST ENSURE PROPER INTERPRETATION.
2. EXISTING CONDITIONS SHOWN HAVE BEEN PROVIDED BY THE OWNER AND ARE ASSUMED CORRECT. CONTRACTOR TO FIELD VERIFY EXISTING CONDITIONS AND NOTIFY OWNER OF ANY DISCREPANCIES.
3. REFER TO THE AMZL DESIGN CRITERIA AND "OUTLINE SPECIFICATIONS" FOR FURTHER INFORMATION REGARDING THE SITE PLAN ELEMENTS KEYNOTED ON PLANS.
4. SITE PLAN LAYOUT TO GRAPHICALLY ILLUSTRATE INTENT ONLY. DEVELOPERS AND DESIGN TEAMS ARE RESPONSIBLE FOR RECONCILING WITH SITE SPECIFIC CONSTRAINTS AND JURISDICTIONAL REQUIREMENTS.
5. ALL STRIPING SHALL BE LONG LIFE EPOXY RESIN AND 4" WIDE UNLESS OTHERWISE NOTED. ALL PAVEMENT GRAPHICS SHALL BE HOT-APPLIED THERMOPLASTIC UNLESS OTHERWISE NOTED. ALL PAVEMENT MARKINGS SHALL BE REFLECTIVE.
6. COLOR SHALL BE WHITE ON ASPHALT AND YELLOW ON CONCRETE, UNLESS OTHERWISE NOTED.

SHEET LEGEND

- AVI ROUTE
- ASSOCIATE TRAFFIC FLOW DIRECTION
- DSP/FLEX TRAFFIC FLOW DIRECTION
- TRUCK TRAFFIC FLOW DIRECTION
- BUILDING ENTRANCE/EXIT



D2 VAN CLASSIFICATION



151 TAYLOR ST ZONING INFORMATION

LOCATION: LITTLETON, MASSACHUSETTS

ZONE: IA (INDUSTRIAL A DISTRICT) & AQUIFER PROTECTION DISTRICT

USE: WAREHOUSE AND DISTRIBUTION CENTER (SPECIAL PERMITTED USE) (1)

ITEM #	ITEM	REQUIREMENTS	EXISTING	VARIANCE
1	MIN. LOT AREA	NONE REQUIRED	±1,252,922 SF ±28.8 AC	NO
2	MIN. LOT WIDTH	NONE REQUIRED	±849 FT	YES (2)
3	MIN. LOT FRONTRAGE	NONE REQUIRED	±198 FT	NO
4	MIN. FRONT SETBACK	80 FT	±129 FT	NO
5	MIN. SIDE SETBACK	50 FT	±85 FT	NO
6	MIN. REAR SETBACK	50 FT	±608 FT	NO
7	MAX BUILDING HEIGHT	40 FT	<40 FT	NO
8	MAXIMUM BUILDING COVERAGE	30 PERCENT (2)	±11.5 PERCENT/ ±12.7 PERCENT (2)	NO
9	MAXIMUM LOT COVERAGE	80 PERCENT (3)	±398 FT	NO

(1) THE INDUSTRIAL/WAREHOUSE USE LOCATED AT 151 TAYLOR STREET WAS PREVIOUSLY APPROVED ON FEBRUARY 19, 2020 BY SPECIAL PERMIT FOR "MAJOR INDUSTRIAL USE" PER SECTION 173-36. BY SPECIAL PERMIT FOR 30% IMPERVIOUS COVER AND EXCLUDING 10% TOTAL FOR AQUIFER PROTECTION DISTRICT AND BY SPECIAL PERMIT DUE TO THE 100+ PARKING SPACES WITHIN THE AQUIFER PROTECTION DISTRICT PER SECTION 173-61. WAREHOUSE/DISTRIBUTION CENTER IS PERMITTED PER SECTION 173-26, BUT MAY REQUIRE ADDITIONAL PUBLIC HEARINGS DUE TO UPDATED USE AND PROPOSED MODIFICATIONS TO APPROVED PLANS, WHICH WILL BE DETERMINED BY TOWN STAFF UPON INITIAL REVIEW OF THESE CHANGES.

(2) HE TOTAL OF THE GROSS FLOOR AREA ON ALL FLOORS, NOT INCLUDING CELLARS, SHALL NOT EXCEED 0.4 TIMES THE COMBINED LAND AREA OF THE SITE, PLUS ANY OFF-SITE AREAS USED FOR ANCILLARY PARKING.

(3) MAXIMUM IMPERVIOUS COVERAGE IN AQUIFER PROTECTION DISTRICT OF GREATER THAN 15% BUT LESS THAN 30% REQUIRES A SPECIAL PERMIT.

151 TAYLOR ST PARKING INFORMATION

LOCATION: LITTLETON, MASSACHUSETTS

ZONE: IA (INDUSTRIAL A DISTRICT) & AQUIFER PROTECTION DISTRICT

USE: WAREHOUSE AND DISTRIBUTION CENTER (SPECIAL PERMITTED USE) (1)

ITEM #	ITEM	REQUIREMENTS	EXISTING	VARIANCE
1	BUILDING SIZE	NONE REQUIRED	±159,600 SF	NO
2	PARKING REQUIRED	OFFICE: 1 SPACE PER 250 SF (8,000 SF) INDUSTRIAL WAREHOUSE: 1 SPACE PER 125 EMPLOYEES OFFICES: 100 SF (20,000 SF) TOTAL REQUIRED = 192 SPACES	79 SPACES	YES (2)
3	MINIMUM HANDICAPPED PARKING SPACES REQUIRED	6 SPACES	6 SPACES	NO
4	MINIMUM PARKING DIMENSIONS	NONE REQUIRED	9 FT X 18 FT	NO
5	MINIMUM LOADING DIMENSIONS	NONE REQUIRED	13 FT X 60 FT	NO
6	MINIMUM AISLE WIDTH	NONE REQUIRED	24 FT - 2-WAY	NO
7	MINIMUM FRONT SETBACK	20 FT	±127 FT	NO
8	MINIMUM SIDE SETBACK	NONE REQUIRED	±61 FT	NO
9	MINIMUM REAR SETBACK	50 FT RESIDENTIAL	±398 FT	NO
10	MINIMUM INTERIOR LANDSCAPING	NONE REQUIRED	T.B.D.	NO

(1) HE PROPOSED PARKING USE WILL REQUIRE A SPECIAL PERMIT DUE TO THE 100+ PARKING SPACES WITHIN THE AQUIFER OVERLAY DISTRICT PER SECTION 173-61.

(2) 30% IMPERVIOUS COVERAGE IN AQUIFER PROTECTION DISTRICT OF GREATER THAN 15% BUT LESS THAN 30% REQUIRES A SPECIAL PERMIT.

153 TAYLOR ST ZONING INFORMATION

LOCATION: LITTLETON, MASSACHUSETTS

ZONE: IA (INDUSTRIAL A DISTRICT) & AQUIFER PROTECTION DISTRICT

USE: WAREHOUSE AND DISTRIBUTION CENTER (SPECIAL PERMITTED USE) (1)

ITEM #	ITEM	REQUIREMENTS	EXISTING	VARIANCE
1	MIN. LOT AREA	NONE REQUIRED	±1,252,922 SF ±28.8 AC	NO
2	MIN. LOT WIDTH	NONE REQUIRED	±849 FT	YES (2)
3	MIN. LOT FRONTRAGE	NONE REQUIRED	±198 FT	NO
4	MIN. FRONT SETBACK	80 FT	±129 FT	NO
5	MIN. SIDE SETBACK	50 FT	±85 FT	NO
6	MIN. REAR SETBACK	50 FT	±608 FT	NO
7	MAX BUILDING HEIGHT	40 FT	<40 FT	NO
8	MAXIMUM BUILDING COVERAGE	30 PERCENT (2)	±11.5 PERCENT/ ±12.7 PERCENT (2)	NO
9	MAXIMUM LOT COVERAGE	80 PERCENT (3)	±398 FT	NO

(1) HE PROPOSED PARKING USE WILL REQUIRE A SPECIAL PERMIT DUE TO THE 100+ PARKING SPACES WITHIN THE AQUIFER OVERLAY DISTRICT PER SECTION 173-61.

(2) 30% IMPERVIOUS COVERAGE IN AQUIFER PROTECTION DISTRICT OF GREATER THAN 15% BUT LESS THAN 30% REQUIRES A SPECIAL PERMIT.

153 TAYLOR ST PARKING INFORMATION

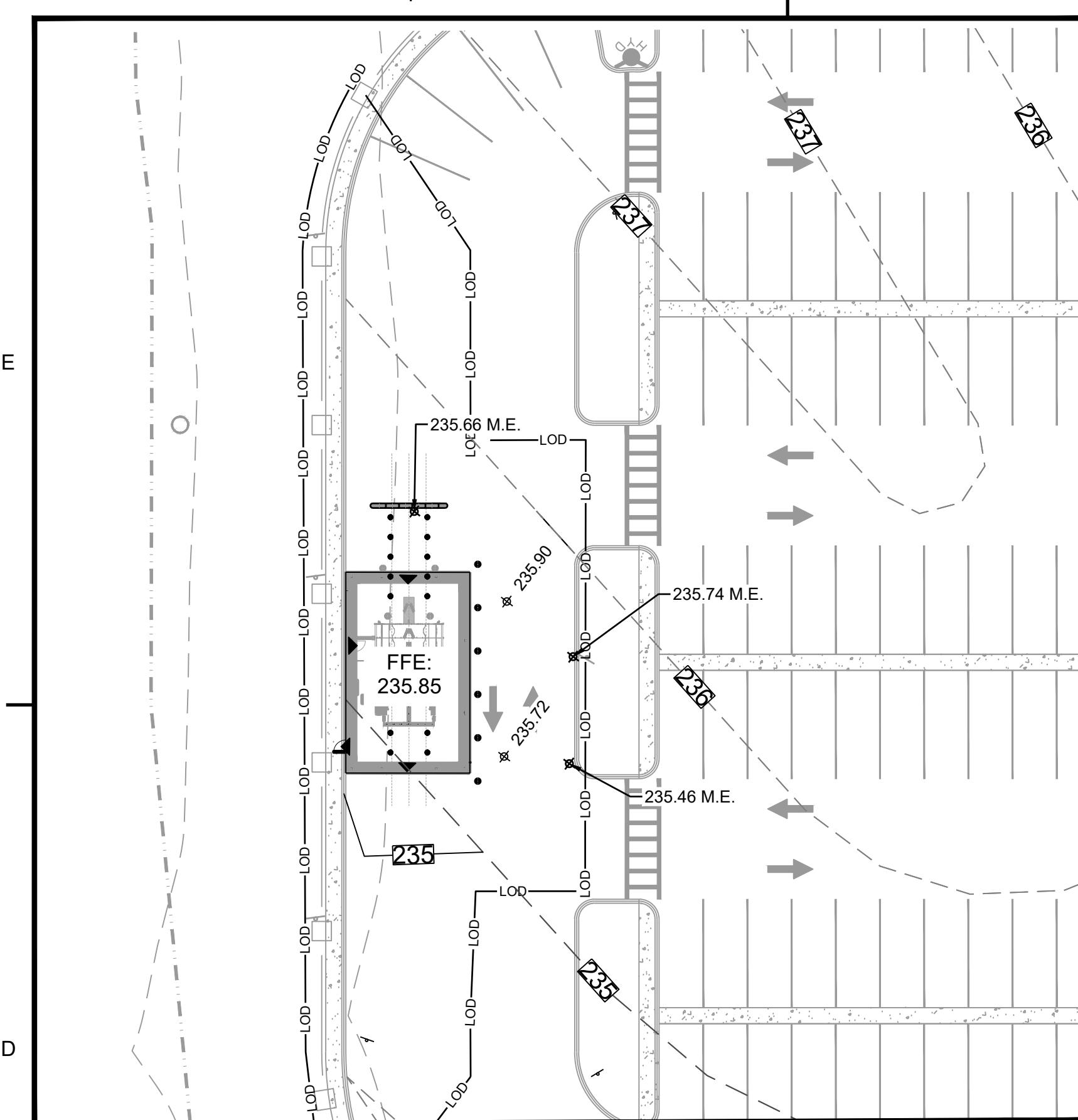
ITEM #

ITEM

REQUIREMENTS

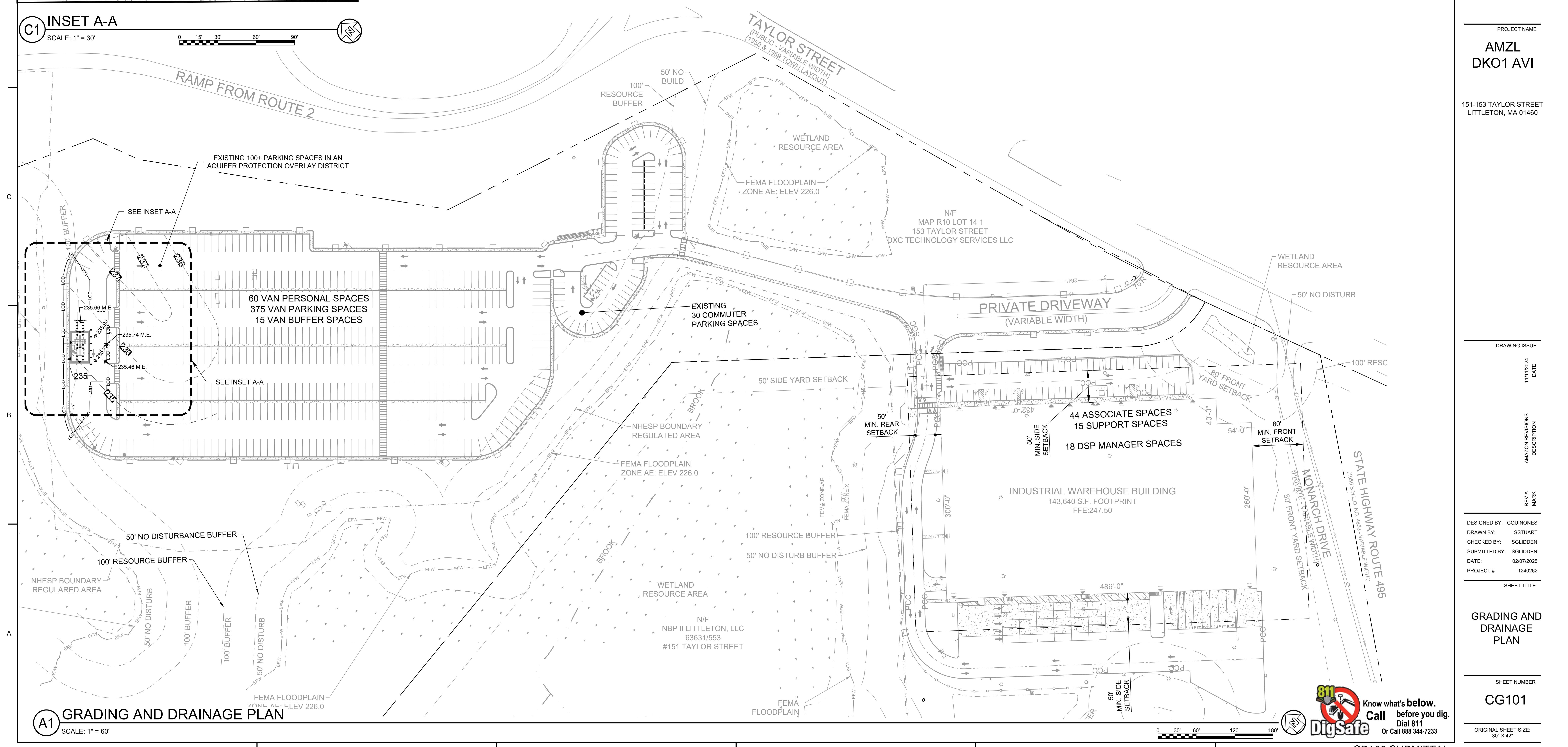
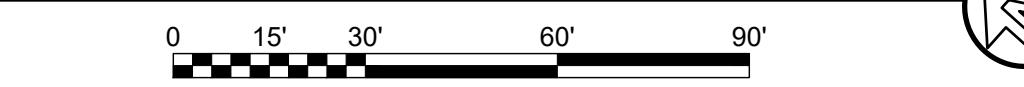
EXISTING

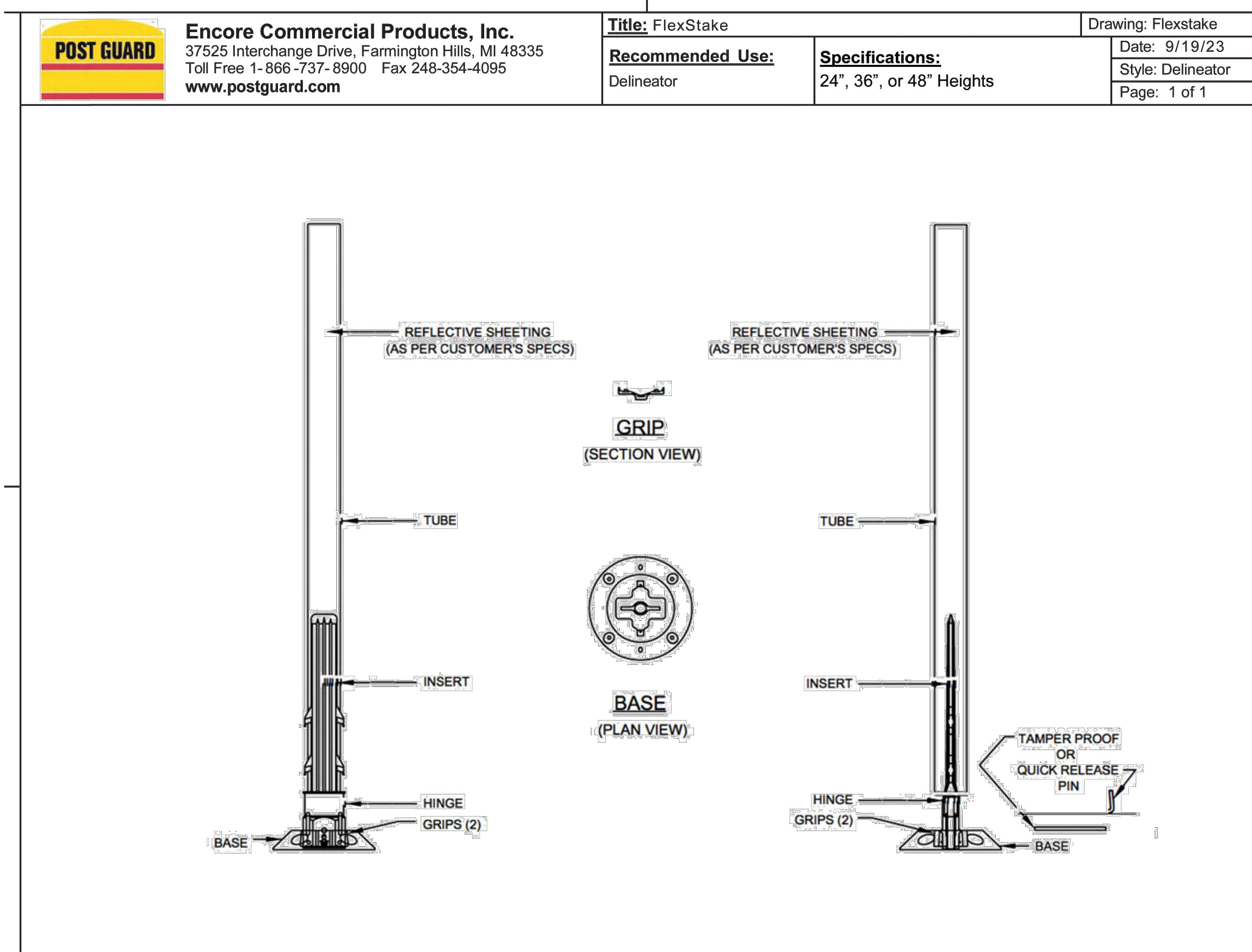
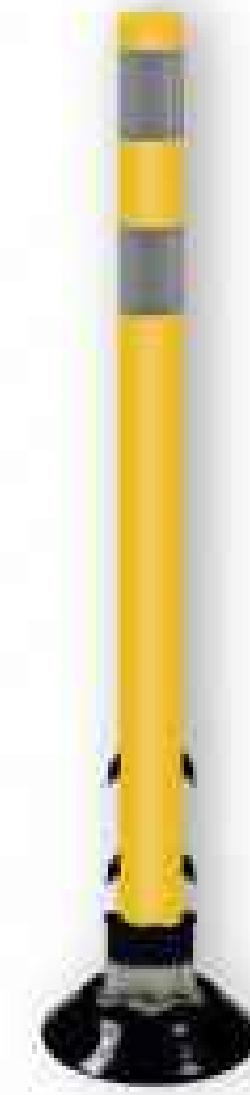
VARIANCE



C1 INSET A-A

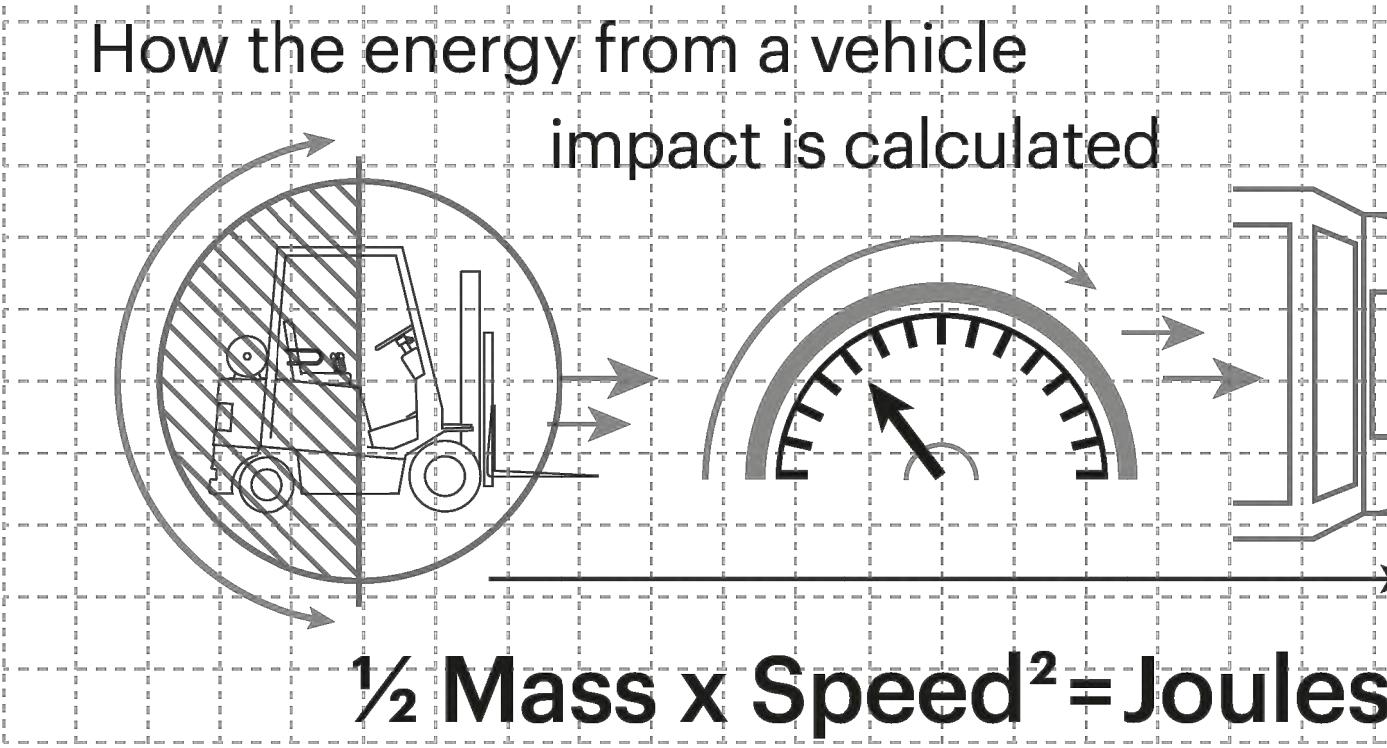
SCALE: 1" = 30'





A1 FLEXSTAKE FLEXIBLE DELINEATOR POST

Technical Information



Tested Impact Energy

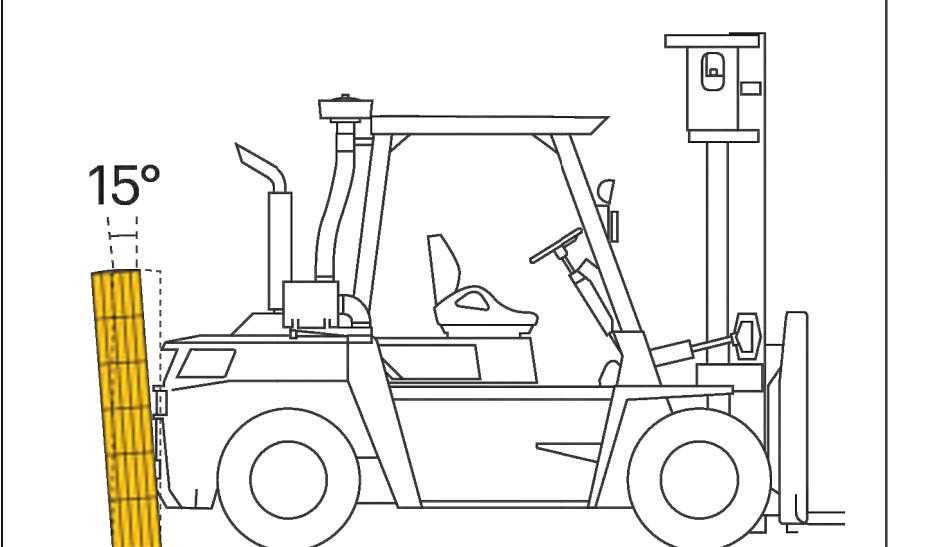
8,800 Joules

Equivalent vehicle and speed
11 ton X 3 mph impact
90° Impact on Bollard

Impact Test

Max Energy (Joules) at 90° **8,800**

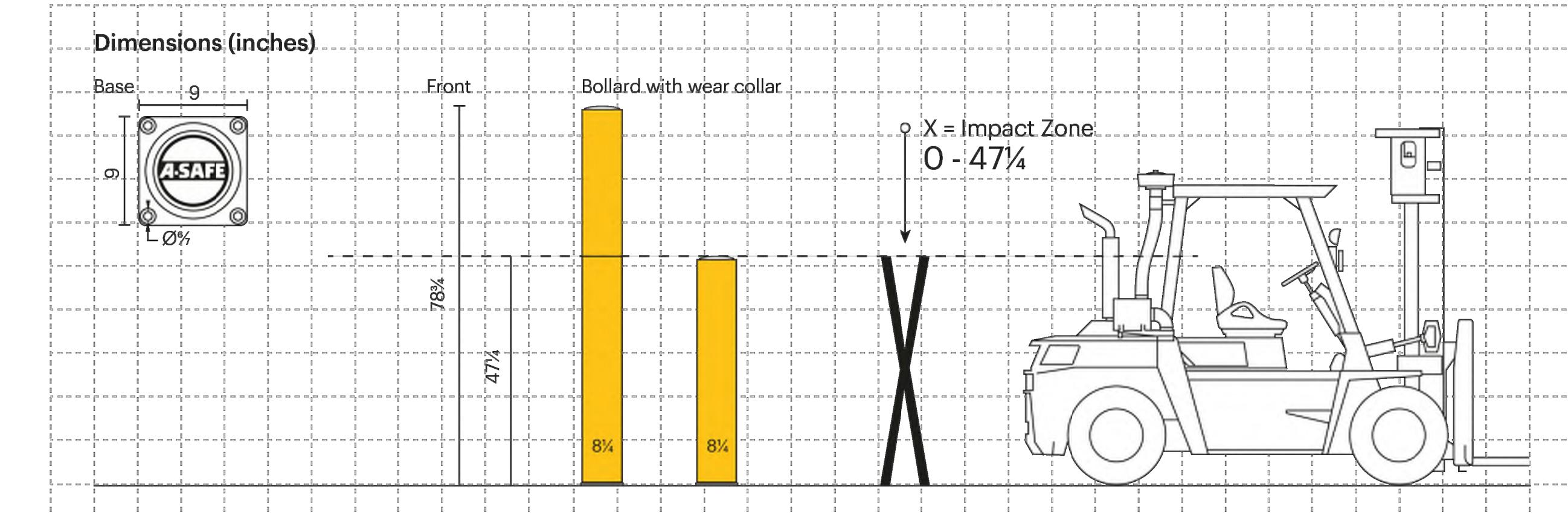
Deflection at Max Energy
15° Lean



Force to Bolt
35kN

Material Properties	MEMAPLEX™
Temperature Range	-10°C to 50°C
Ignition Temperature	370°C to 390°C
Flash Point	350°C to 370°C
Toxicity	Not Hazardous
Chemical Resistance	Excellent - ISO/TR 10358
Weathering Stability (Grey Scale)	5/5*
Light Stability (Blue Wool Scale)	7/8**
Static Rating (Surface Resistivity)	1015 - 1016 Ω
Hygiene Seals	No

* Weathering scale 1 is very poor and 5 is excellent
** Light stability scale 1 is very poor and 8 is excellent



Color Combinations

*Please note that the RAL and PANTONE colors listed are the closest match to standard A-SAFE colors, but may not be exact matches of the actual product color and should be used for guidance only.

A-SAFE Headquarters
Habergham Works, Ainleys Industrial Estate, Elland, HX5 9JP, West Yorkshire, United Kingdom.
www.asafe.com



A4 IFLEX HEAVY DUTY BOLLARD



C-501

ORIGINAL SHEET SIZE:
30" X 42"

SHEET NUMBER

IF CD100 SUBMITTAL

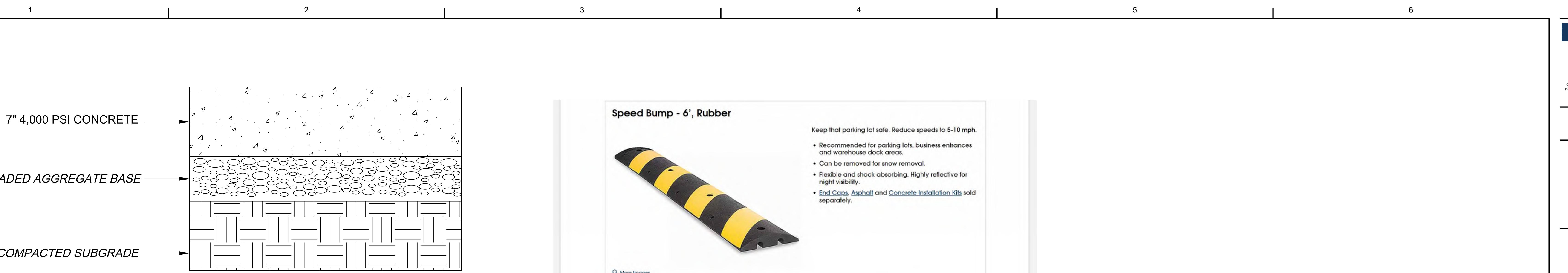
30" X 42"

11/11/2024
08/19/2024
DATE

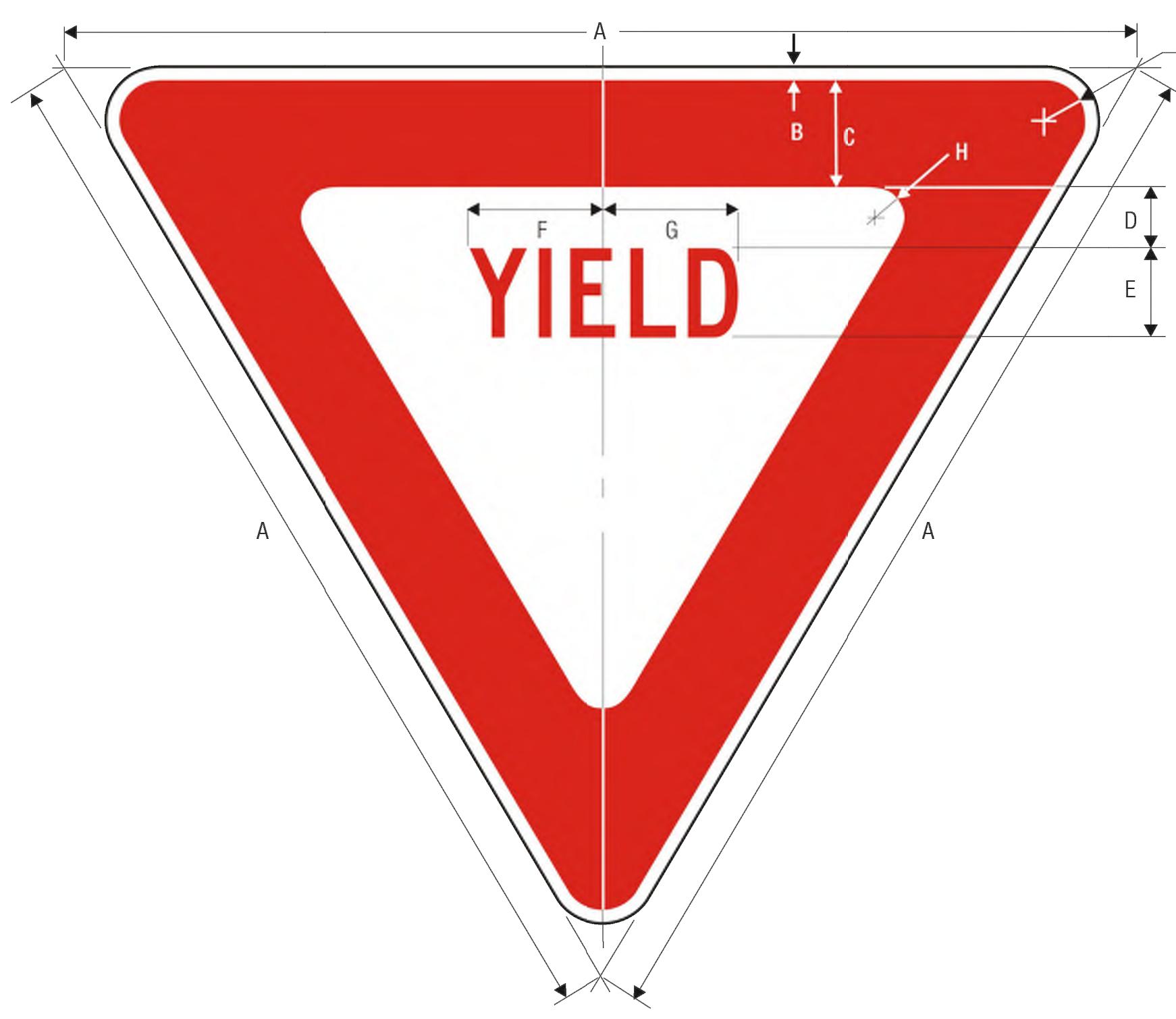
AMZL DASS
AVI
110 FORDHAM RD
WILLINGTON, MA 01887
AMZL COMMENTS
AMZL COMMENT
DESCRIPTION

REV A
REV B
REV C
REV D
REV E
REV F
REV G
REV H
REV I
REV J
REV K
REV L
REV M
REV N
REV O
REV P
REV Q
REV R
REV S
REV T
REV U
REV V
REV W
REV X
REV Y
REV Z
DESIGNED BY: COUINONES
DRAWN BY: KLITTLES
CHECKED BY: COUINONES
SUBMITTED BY: SGULIDEN
DATE: 01/10/2024
PROJECT #: 1240264
SHEET TITLE

CONSTRUCTION
DETAILS



D1 CONCRETE PAVEMENT



A	B	C	D	E	F	G	H	J
18	.375	2	1	1.5 C	2.375	2.188	.625	1.5
24	.375	3	1.375	2 C	3.25	3	.875	1.5
30	.625	4	1.75	2.5 C	3.938	3.625	.875	1.5
36	.75	5	2	3 C	4.688	4.375	1.25	2
48	1	6	2.75	4 C	6.25	5.875	2	3
60	1.5	8	3.5	5 C	7.875	7.25	2.5	4

COLORS: LEGEND — RED (RETROREFLECTIVE)
BACKGROUND — WHITE (RETROREFLECTIVE)

1-2

A1 MUTCD R1-2 SIGN

Speed Bump - 6', Rubber

Keep that parking lot safe. Reduce speeds to 5-10 mph.

- Recommended for parking lots, business entrances and warehouse dock areas.
- Can be removed for snow removal.
- Flexible and shock absorbing. Highly reflective for night visibility.
- [End Caps, Asphalt and Concrete Installation Kits](#) sold separately.

[View Product](#)

[More Images](#)

MODEL NO.	DESCRIPTION	DIMENSIONS L x W x H	COLOR	WT. CAP. (LBS.)	WT. (OZ.)	PRICE EACH	IN STOCK	SHIPS TODAY
H-2394	6' Rubber	72 x 12 x 2"	Yellow/Blk	40,000	42	\$210	1	ADD

[Additional Info](#) [Shopping Lists](#) [Request a Catalog](#)

DIMENSIONS:

- Actual: 72 x 12 x 2 1/4"
- Channels: 1 3/8 x 1 1/4" (W x H)
- Mounting Holes (Diameter): 1 3/8"

MATERIAL:

- 100% Recycled rubber/Polyurethane pre-polymer

CAPACITY:

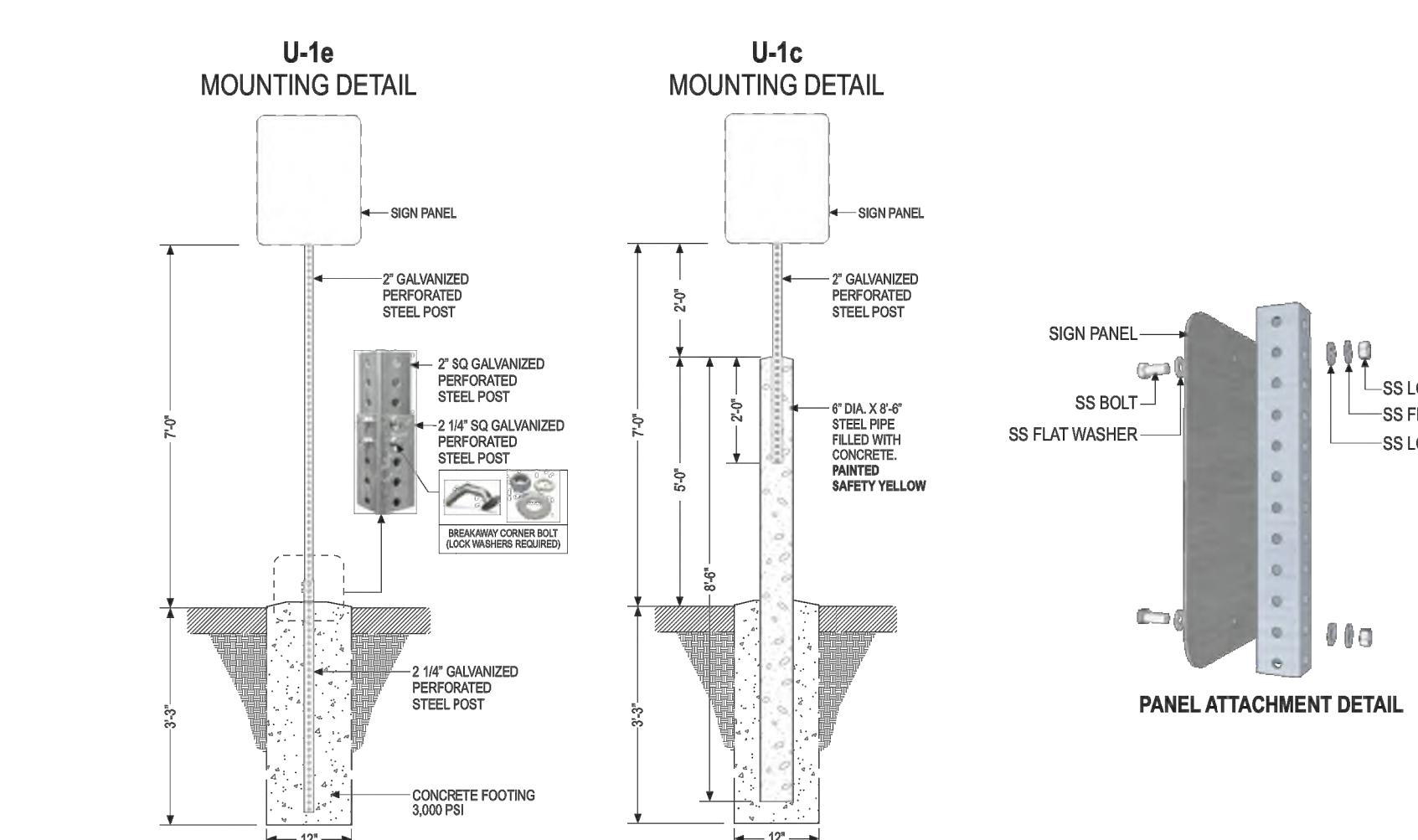
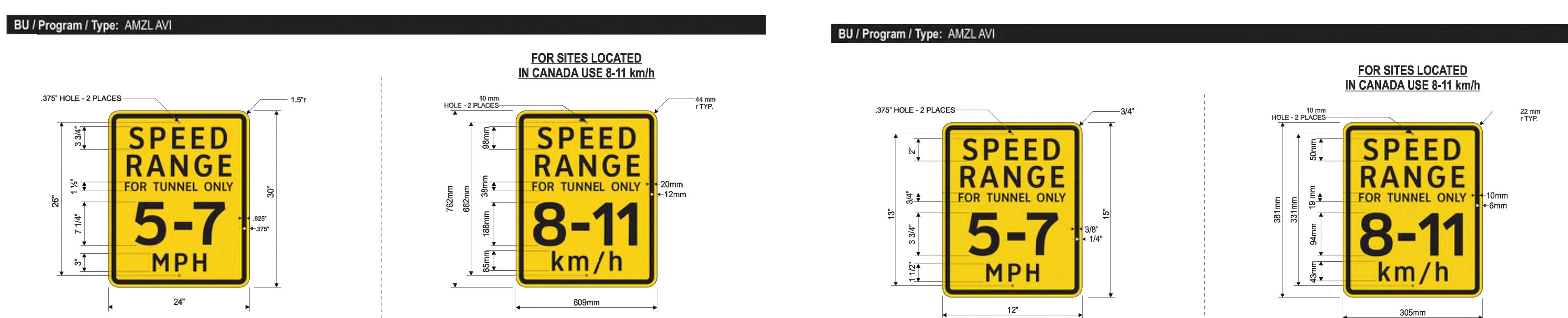
- 40,000 lbs

INSTALLATION:

- Speed bump requires 4 spikes/lag bolts.
- Each end cap requires 1 spike/lag bolt.
- If installing speed bump and 2 end caps, two installation kits are needed.

Availability: In Stock
Unit Weight: 41 lbs.
[Instructions](#)
[Catalog Page 760](#)
[Email Item](#)
Country of Origin: USA

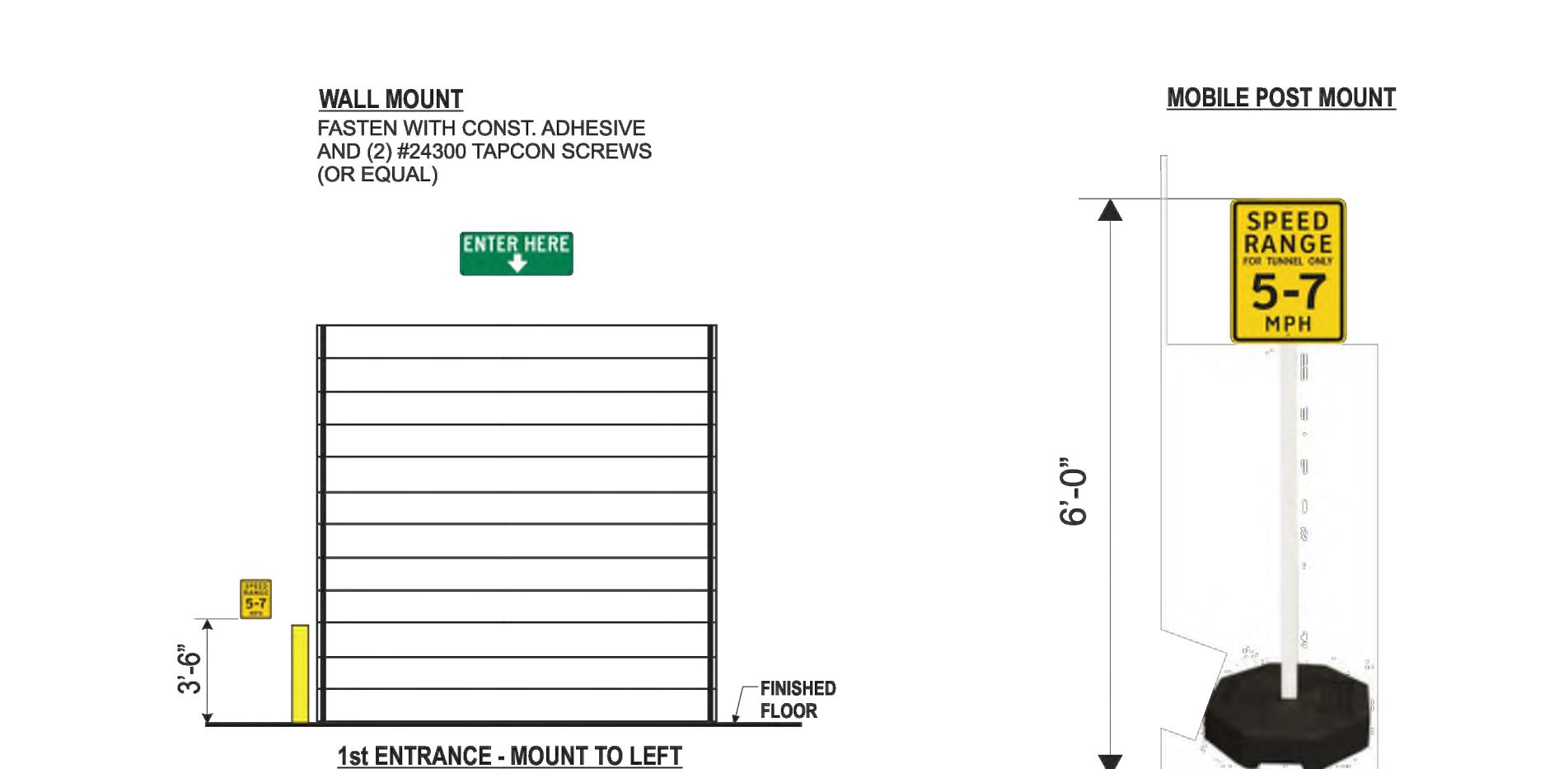
C3 SPEED BUMP

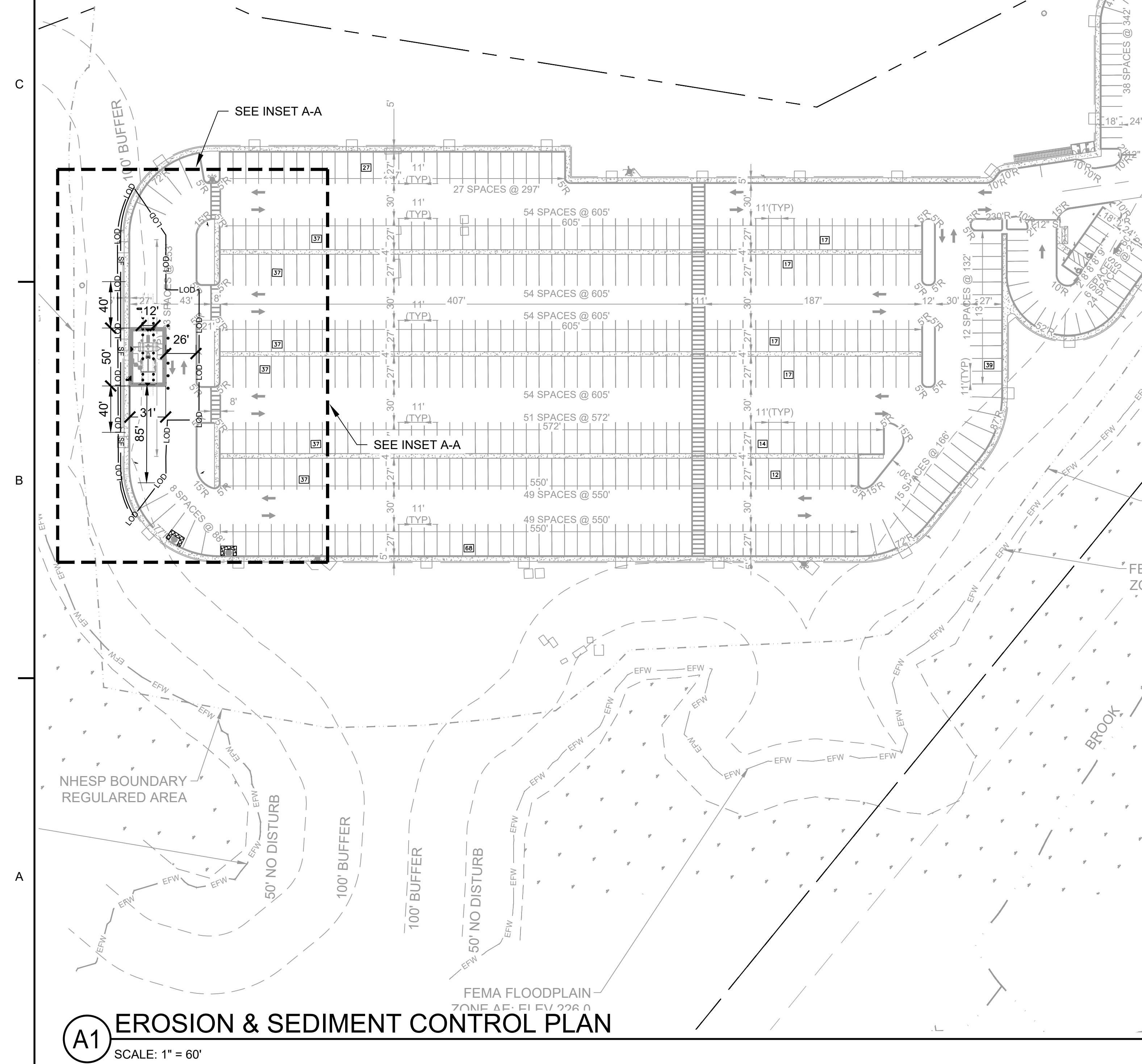
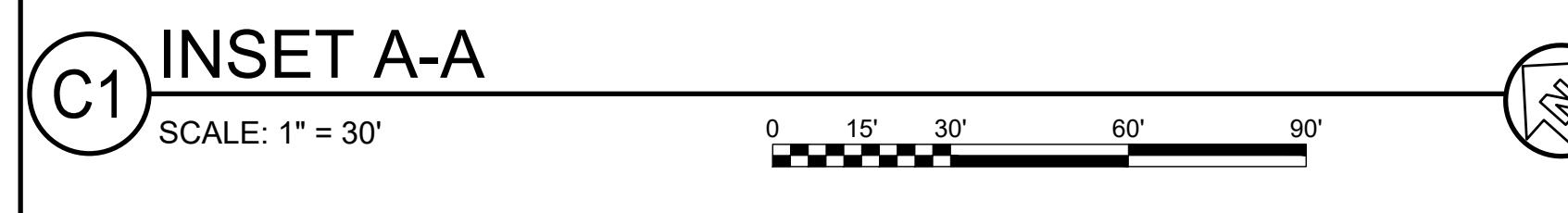
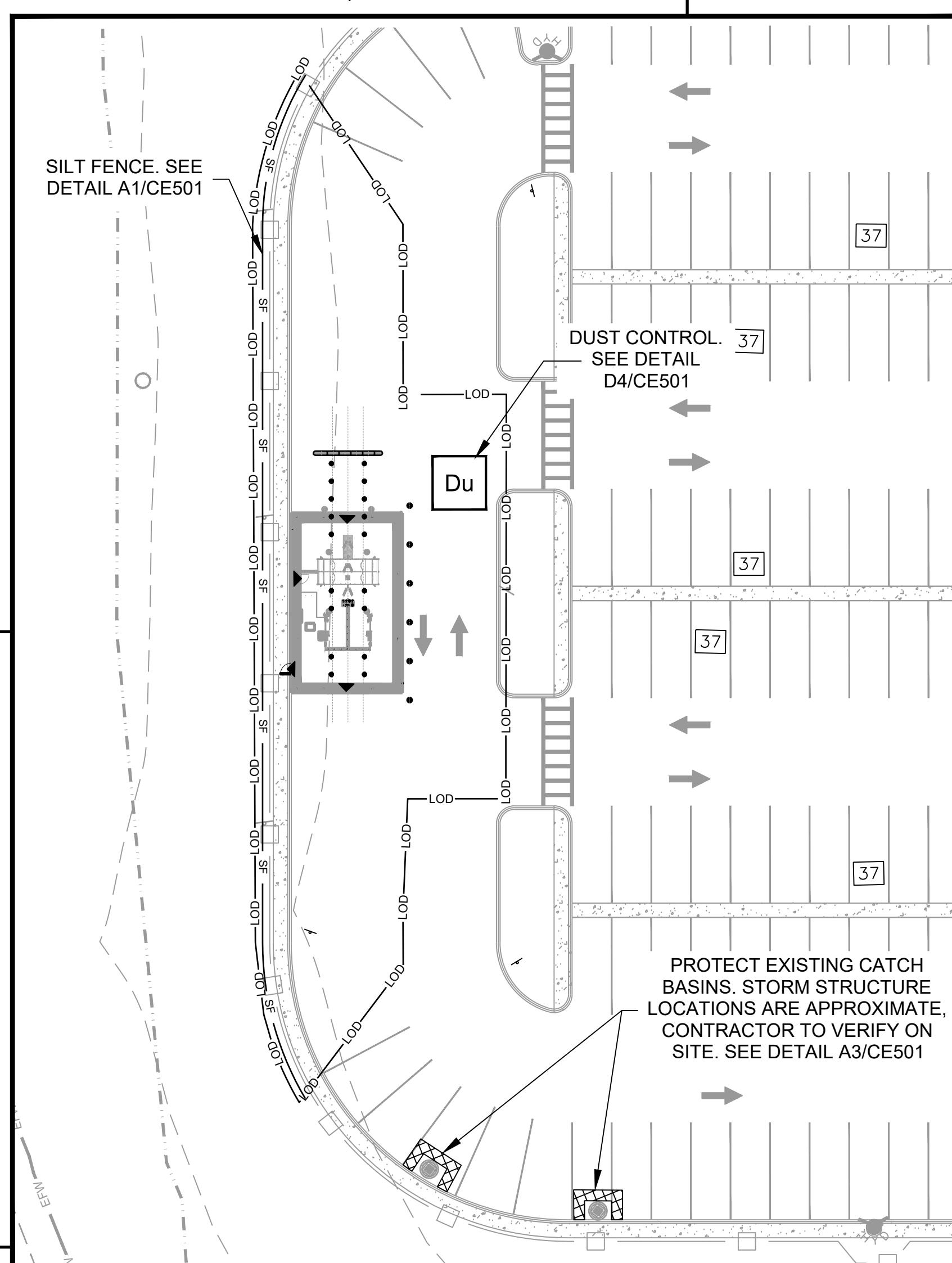


INSTALLED BY CONSTRUCTION		INSTALLED BY CONSTRUCTION	
Designation:	S-6	Notes:	For use at AVI facilities only. Install sign adjacent to inbound door at exterior AVI facilities and minimum 10 feet in front of interior AVI facilities.
Description:	AVI Speed Range Sign, 30"	Designer note:	S-6 and S-6c may be used interchangeably depending on site conditions, only one sign/sign size is needed.
Substrate:	.080" Alum.	Colors:	OPAQUE BLACK REFLECTIVE YELLOW
Graphics:	Digitally printed graphics on high intensity reflective sheeting		

INSTALLED BY CONSTRUCTION		INSTALLED BY CONSTRUCTION	
Designation:	S-6c	Notes:	For use at AVI facilities only. Install sign adjacent to inbound door at exterior AVI facilities and minimum 10 feet in front of interior AVI facilities.
Description:	AVI Speed Range Sign, 15"	Designer note:	Mount to wall, on the side of first entrance roll up doors. Mount at 3'-4" from bottom of signage to finish grade level. Mount to nearby column or wall at interior queuing lane at a visible height to drivers, in the absence of a nearby column or a wall, mount sign to a post with bolt base at 6' from top of signage to finish grade.
Substrate:	.080" Alum.	Colors:	OPAQUE BLACK REFLECTIVE YELLOW
Graphics:	Digitally printed graphics on high intensity reflective sheeting		

A3 SPEED SIGNAGE





GENERAL SHEET NOTES:

- REFER TO SHEET CE-001 FOR GENERAL CIVIL NOTES, LEGEND, AND ABBREVIATIONS.
- THIS SHEET IS PART OF A MULTI-SHEET SET OF EROSION CONTROL PLANS AND SHALL BE READ WITH THE FULL SET TO BEST ENSURE PROPER INTERPRETATION.
- THERE ARE KNOWN WETLANDS LOCATED ONSITE.
- STATE WATERS DO EXIST ON SITE.
- THE ESCAPE OF SEDIMENT FROM THE SITE SHALL BE PREVENTED BY THE INSTALLATION OF EROSION AND SEDIMENT CONTROL MEASURES AND PRACTICES PRIOR TO OR CONCURRENT WITH, LAND DISTURBING ACTIVITIES.
- EROSION CONTROL MEASURES WILL BE MAINTAINED AT ALL TIMES. IF FULL IMPLEMENTATION OF THE APPROVED PLAN DOES NOT PROVIDE FOR EFFECTIVE EROSION CONTROL, ADDITIONAL EROSION AND SEDIMENT CONTROL MEASURES SHALL BE IMPLEMENTED TO CONTROL OR TREAT THE SEDIMENT SOURCE.
- ANY DISTURBED AREA LEFT EXPOSED FOR A PERIOD GREATER THAN 14 DAYS SHALL BE STABILIZED WITH MULCH OR TEMPORARY SEEDING.
- ANY DISTURBED AREA LEFT IDLE FOR MORE THAN 30 DAYS SHALL BE STABILIZED WITH PERMANENT SEEDING.
- THE CONTRACTOR SHALL NOTIFY THE CONSERVATION COMMISSION AND ANY OTHER ASSIGNED COMMISSIONER AT LEAST 5 BUSINESS DAYS PRIOR TO THE COMMENCEMENT OF CONSTRUCTION THAT ALL EROSION CONTROL MEASURES HAVE BEEN INSTALLED.
- ALL STAKED STRAW BALES AND SILT FENCE SHALL REMAIN IN PLACE AS SHOWN ON PLANS UNTIL THE END OF CONSTRUCTION.
- ANY EROSION PROBLEMS SHALL BE IMMEDIATELY CORRECTED ON SITE DURING THE COURSE OF CONSTRUCTION.

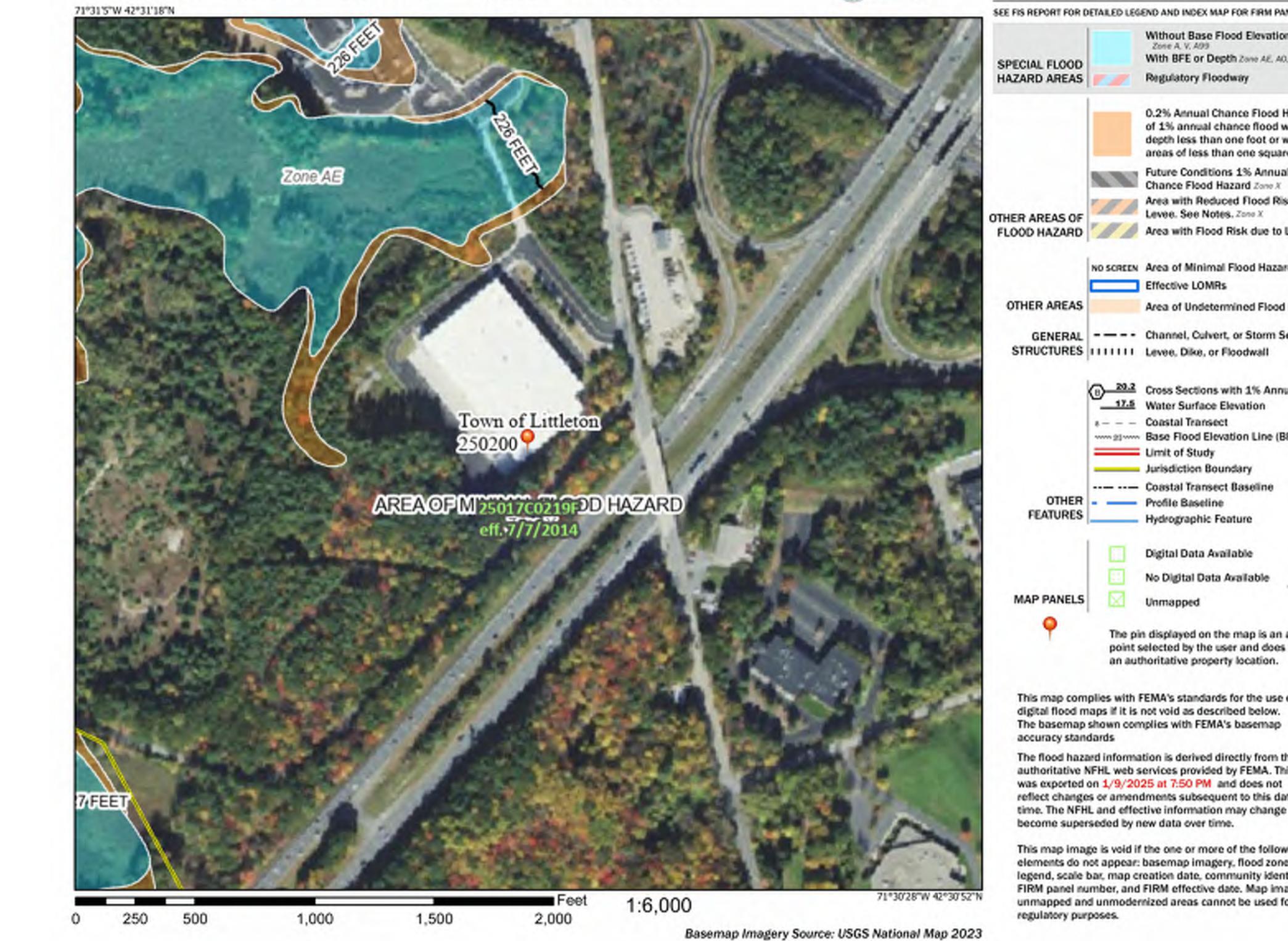
LEGEND

LOD	LOD	LIMITS OF DISTURBANCE
		DRAIN INLET PROTECTION (DETAIL A3/CE501)
SF		SILT FENCE (DETAIL A1/CE501)
Du		DUST CONTROL (DETAIL D4/CE501)

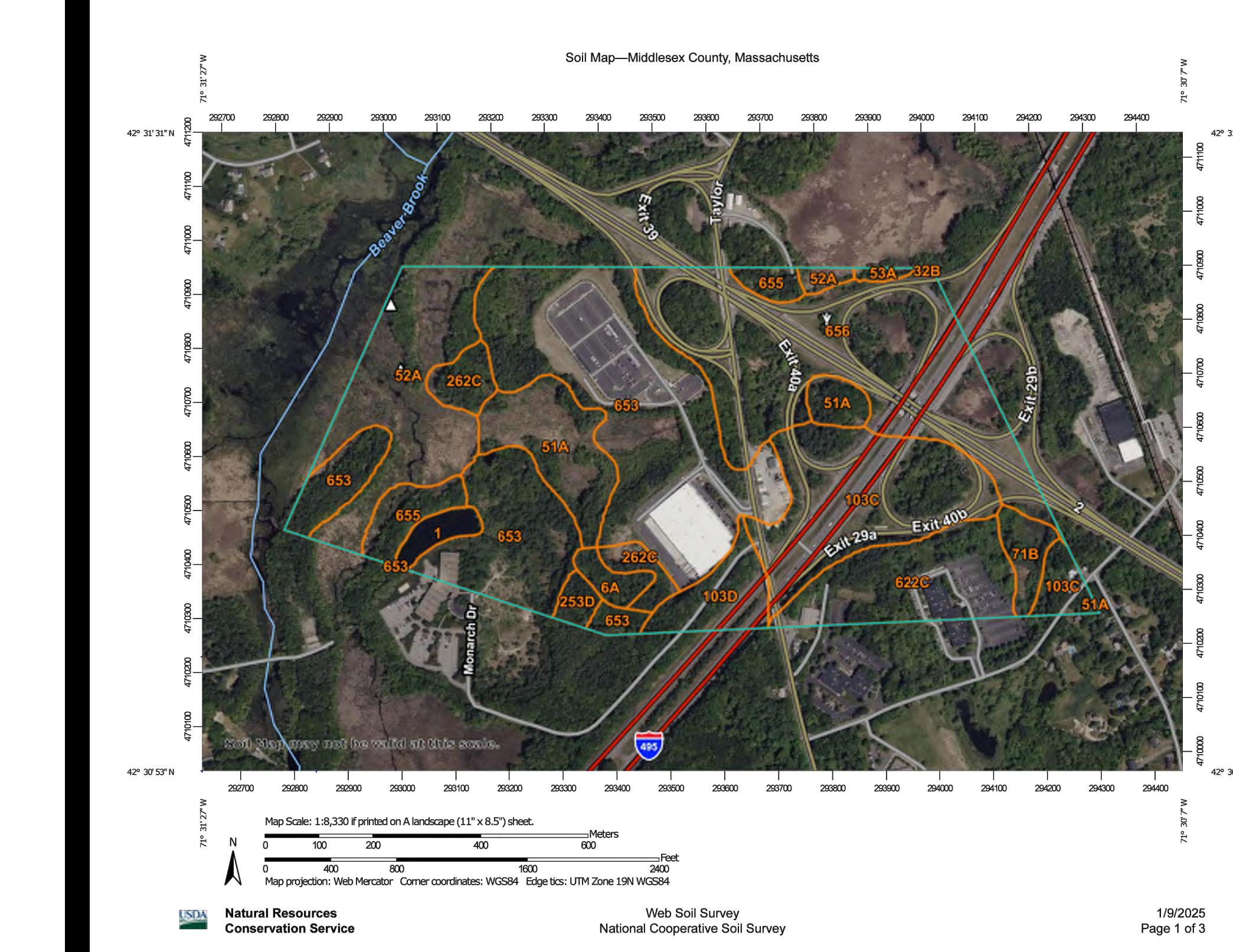
FLOC

FLOC

National Flood Hazard Layer FIRMette



FEMA FLOOD MAP - 25017C0219F EFFECTIVE JULY 7, 2014

D5
NO SCALE

WEB SOIL SURVEY MAP

B5
NO SCALE

Map Unit Symbol	Map Unit Name
1	Water
6A	Scarboro mucky fine sandy loam, 0 to 3 percent slopes
32B	Wareham loamy fine sand, 0 to 5 percent slopes
51A	Swansea muck, 0 to 1 percent slopes
52A	Freetown muck, 0 to 1 percent slopes
53A	Freetown muck, ponded, 0 to 1 percent slopes
71B	Ridgebury fine sandy loam, 3 to 8 percent slopes, extremely stony
103C	Charlton-Hollis-Rock outcrop complex, 8 to 15 percent slopes
103D	Charlton-Hollis-Rock outcrop complex, 15 to 25 percent slopes
253D	Hinckley loamy sand, 15 to 25 percent slopes
262C	Quonset sandy loam, 8 to 15 percent slopes
622C	Paxton-Urban land complex, 3 to 15 percent slopes
653	Udorthents, sandy
655	Udorthents, wet substratum
656	Udorthents-Urban land complex

N/F
NBP II LITTLETON, LLC
63631/553
#151 TAYLOR STREETA1
SCALE: 1" = 60'

CD100 SUBMITTAL

METHODS AND MATERIALS

A. TEMPORARY METHODS

MULCHES
SEE MULCHING. SYNTHETIC RESINS MAY BE USED INSTEAD OF ASPHALT TO BIND MULCH MATERIAL.

VEGETATIVE COVER
SEE TEMPORARY SEEDING.

SPRAY-ON ADHESIVES
THESE ARE USED ON MINERALS SOILS. KEEP TRAFFIC OFF THESE AREAS.

SPRINKLING
THE SITE IS SPRINKLED WITH WATER UNTIL THE SURFACE IS WET. REPEAT AS NEEDED. THIS METHOD IS ESPECIALLY EFFECTIVE ON HAUL ROADS AND OTHER TRAFFIC ROUTES.

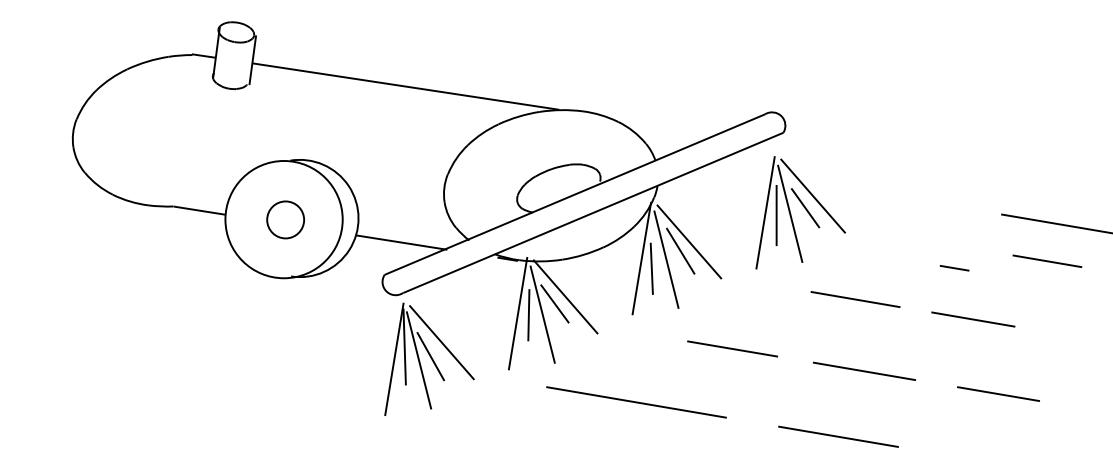
BARRIERS
SOLID BOARD FENCES, BURLAP FENCES, CRATE WALLS, BALES OF HAY AND SIMILAR MATERIAL CAN BE USED TO CONTROL AIR CURRENTS AND SOIL BLOWING. BARRIERS PLACED AT RIGHT ANGLES TO PREVAILING CURRENTS AT INTERVALS OF ABOUT 15 TIMES THEIR HEIGHT ARE EFFECTIVE IN CONTROLLING WIND EROSION.

B. PERMANENT METHODS

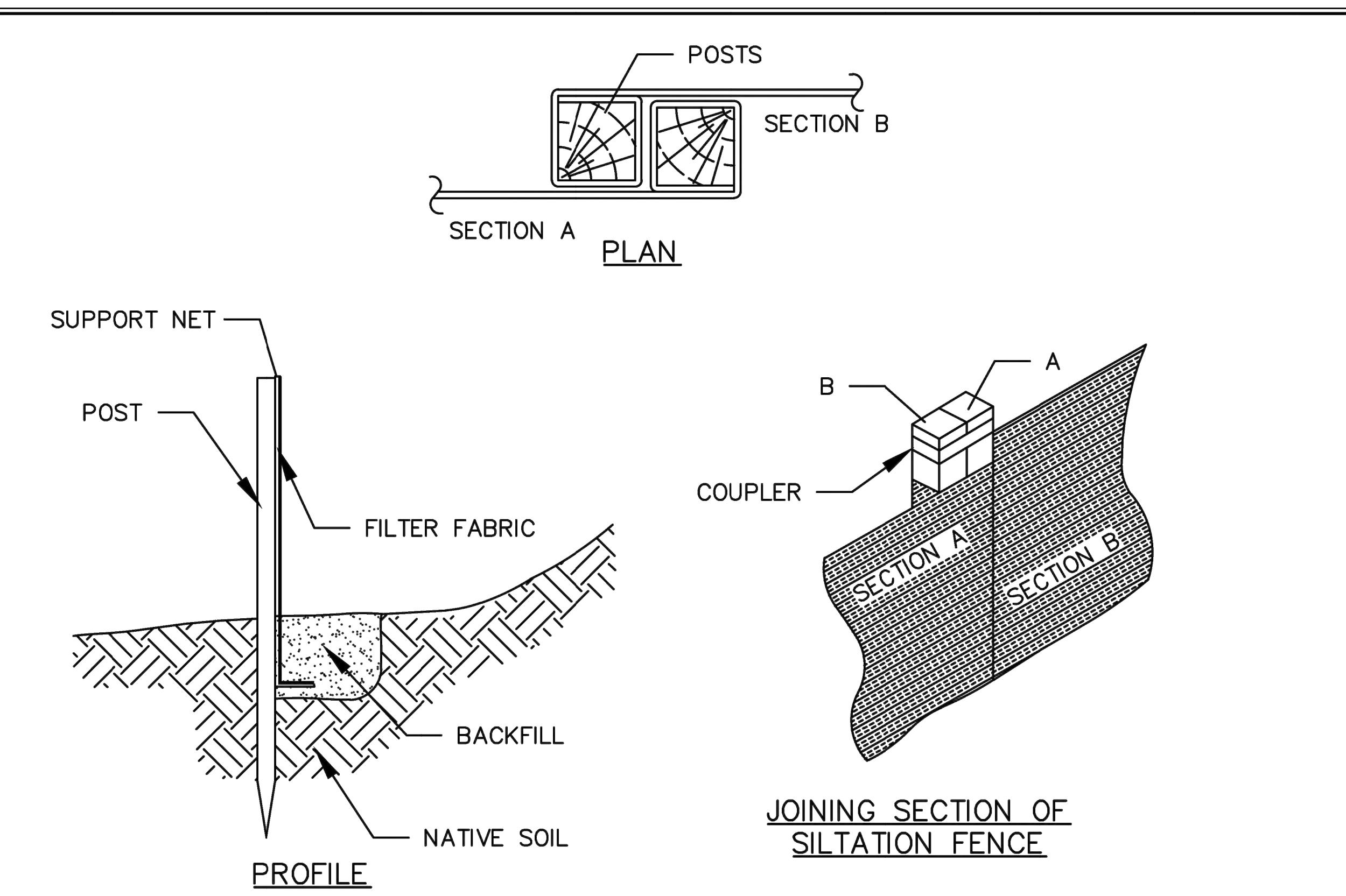
PERMANENT VEGETATION
SEE STANDARD FOR PERMANENT SEEDING. AND PERMANENT STABILIZATION WITH SOD. EXISTING TREES AND LARGE SHRUBS MAY AFFORD VALUABLE PROTECTION IF LEFT IN PLACE.

TOPSOILING
THIS ENTAILS COVERING THE SURFACE WITH LESS EROSION SOIL MATERIAL. SEE TOPSOILING.

STONE
COVER SURFACE WITH CRUSHED STONE OR COARSE GRAVEL.


D4 DUST CONTROL
NO SCALE

Du



CONSTRUCTION NOTES

1. WOVEN WIRE FENCE TO BE FASTENED SECURELY TO FENCE POST WITH WIRE TIES OR STAPLES.
2. FILTER FABRIC TO BE FASTENED SECURELY TO WOVEN WIRE FENCE WITH TIES SPACED EVERY 24" AT TOP AND MID SECTION.
3. WHEN TWO SECTIONS OF FILTER FABRIC ADJOIN EACH OTHER, THEY SHALL BE OVERLAPPED BY 6 INCHES AND FOLDED.
4. MAINTENANCE SHALL BE PERFORMED AS NEEDED AND MATERIAL REMOVED WHEN "BULGES" DEVELOP IN THE SILT FENCE.
5. INSPECTION SHALL BE FREQUENT AND REPAIR REPLACEMENT SHALL BE MADE PROMPTLY AS NEEDED.
6. FENCES SHALL BE REMOVED WHEN THEY HAVE SERVED THEIR USEFULNESS SO AS NOT TO BLOCK OR IMPEDE STORM FLOW OR DRAINAGE.

TOWN OF CONCORD—PUBLIC WORKS
DESIGN AND CONSTRUCTION
STANDARDS

SILTATION FENCE

SCALE: N.T.S. DATE: 01/08/2015

JOB NO.\FILE NAME:	DESIGNED BY: JCZ DRAWN BY: JCZ CHECKED BY: W.J.R.	PLAN NO. FILE.DWG EC-3
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A1 SILT FENCE
NO SCALE
TOWN OF CONCORD—PUBLIC WORKS
DESIGN AND CONSTRUCTION
STANDARDS

DRAIN INLET PROTECTION

SCALE: N.T.S. DATE: 01/08/2015

JOB NO.\FILE NAME:	DESIGNED BY: JCZ DRAWN BY: JCZ CHECKED BY: W.J.R.	PLAN NO. FILE.DWG EC-6
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A3 COMPOST FILTER SOCK
NO SCALE
