

1

GENERAL NOTES

1. NOT ALL ABBREVIATIONS SHOWN WILL BE USED ON THIS PROJECT.

SHEET NAMING CONVENTION

C-001

2 DIGIT DESCRIPTOR DESIGNATOR (IF ONLY ONE LETTER IS USED, THE SECOND LETTER IS REPLACED WITH A DASH "-" AS A PLACEHOLDER)

1 DIGIT SHEET TYPE DESIGNATOR
0 - GENERAL
1 - PLANS
2 - PROFILES
3 - SECTIONS
4 - ENLARGED PLANS
5 - DETAILS
6 - SCHEDULES AND DIAGRAMS
7 - USER DEFINED
8 - USER DEFINED
9 - 3D VIEWS (ISO, PERSPECTIVES, PHOTOS)

2 DIGIT SEQUENTIAL # (01-99) (FIRST DIGIT INDICATES PLAN TYPE, SECOND DIGIT INDICATES FLOOR)



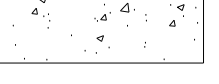
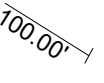






PROJECT CONTACTS

CIVIL ENGINEER FOR THIS PROJECT IS:
POND & COMPANY
3500 PARKWAY LANE, SUITE 500
PEACHTREE CORNERS, GEORGIA 30092
PHONE: (678) 336-7740
FAX: (678) 336-7744
CONTACT: CLEMENTE QUINONES, P.E.
EMAIL: CLEMENTE.QUINONES@POND.CO.COM

SURVEYOR FOR THIS PROJECT IS:
R.E. CAMERON & ASSOCIATES, INC.
681 WASHINGTON STREET
NORWOOD, MA 02062
T: 781.769.1777

24-HOUR EROSION AND SEDIMENTATION CONTROL
CONTACT:
TBD

SHEET LEGEND

DESCRIPTION	EXISTING	PROPOSED
BOLLARD	N/A	●
BUFFER	---	N/A
CATCH BASIN		N/A
CONCRETE PAVEMENT		
ELEVATION	N/A	
EXISTING CONTOUR	----	N/A
FEMA FLOODPLAIN ZONE	-----EPW-----	N/A
FILTER SOCK	N/A	
FIRE HYDRANT		N/A
GUARDRAIL	—□—	N/A
LIMITS OF DISTURBANCE	N/A	—LOD—LOD—
PROPERTY LINE	—- - - -	N/A
SIGN	N/A	
SIDEWALK		N/A
SPEED BUMP	N/A	
SILT FENCE	N/A	—SF—
WETLAND		N/A

2

CIVIL GENERAL NOTES:

1. THE CONTRACTOR SHALL COMPLY WITH ALL CITY, COUNTY, STATE, AND FEDERAL REGULATIONS APPLICABLE TO CONSTRUCTION OF THIS SITE.

2. ALL DIMENSIONS ARE TAKEN FROM/TO FENCE LINES, CENTERLINE OF UTILITY, CENTER OF MANHOLE OR CATCH BASIN, CENTERLINE OF ROAD, FACE OF BUILDING, FACE OF CURB, FACE OF WALL, OR CENTERLINE OF STRIPING UNLESS OTHERWISE NOTED.

3. EXISTING CONDITIONS SHOWN ARE BASED UPON TOPOGRAPHIC SURVEY PROVIDED BY R.E. CAMERON & ASSOCIATES, INC. UTILITY INFORMATION SHOWN WAS SUPPLEMENTED BY GIS INFORMATION. EXISTING UTILITY INFORMATION SHOULD BE CONSIDERED APPROXIMATE AND MUST BE VERIFIED BY THE CONTRACTOR PRIOR TO CONSTRUCTION OR ORDERING MATERIALS.

4. ALL REQUIRED EROSION AND SEDIMENT CONTROL MEASURES SHALL BE PROVIDED, INSTALLED, AND MAINTAINED AS REQUIRED BY LOCAL, STATE, AND FEDERAL REQUIREMENTS.

5. CONTRACTOR TO MOVE ALL CONSTRUCTION DEBRIS OFF THE AMAZON PROPERTY AND DISPOSE DEBRIS AT A LEGAL, PERMITTED LANDFILL CONSISTENT WITH ALL LOCAL, STATE, AND FEDERAL REQUIREMENTS.

6. NO BURNING IS ALLOWED ON AMAZON PROPERTY.

7. CONTRACTOR TO ENSURE ALL EXISTING TOPS OF MANHOLES AND VALVE BOXES ARE RAISED OR LOWERED TO BE FLUSH WITH FINISHED GRADES, UNLESS NOTED OTHERWISE.

8. ALL NEW PAVEMENT AND SIDEWALKS SHALL BE CONSTRUCTED FLUSH WITH EXISTING, WITH NO PONDING OF STORMWATER, UNLESS NOTED OTHERWISE.

9. CONTRACTOR SHALL GRADE ALL DISTURBED AREAS TO ENSURE POSITIVE DRAINAGE AWAY FROM BUILDINGS AND TO DRAINAGE STRUCTURES OR DITCHES. NATURAL FLOW OF SURROUNDING WATERS SHALL NOT BE DISTURBED DURING CONSTRUCTION, UNLESS SHOWN OTHERWISE.

10. CONTRACTOR SHALL VERIFY ALL EXISTING CONDITIONS, COORDINATES, AND DIMENSIONAL INFORMATION PRIOR TO CONSTRUCTION. THE CONTRACTOR SHALL BRING ALL DISCREPANCIES TO THE ATTENTION OF THE COR PRIOR TO STARTING CONSTRUCTION.

11. ALL TRAFFIC SIGNS AND PAVEMENT MARKINGS SHALL BE IN ACCORDANCE WITH THE MASSACHUSETTS DEPARTMENT OF TRANSPORTATION (MASSDOT) AND "MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES" (MUTCD), LATEST EDITION.

12. THE CONTRACTOR SHALL BE RESPONSIBLE FOR COORDINATING INSTALLATION OF NEW UTILITIES WITH THOSE THAT ARE EXISTING. IF EXISTING UTILITIES ARE IN CONFLICT WITH NEW UTILITIES, THE SITE CONTRACTOR SHALL NOTIFY THE COR BEFORE PROCEEDING WITH CONSTRUCTION.

13. THE LOCATION OF EXISTING UTILITIES AND STORM DRAINAGE SHOWN ON THE PLANS HAVE BEEN DETERMINED FROM THE BEST INFORMATION AVAILABLE AND ARE PROVIDED FOR THE CONTRACTOR'S CONVENIENCE. THE ENGINEER ASSUMES NO RESPONSIBILITY FOR INACCURACY. PRIOR TO THE START OF ANY CONSTRUCTION ACTIVITY IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO NOTIFY THE VARIOUS UTILITY COMPANIES AND TO MAKE THE NECESSARY ARRANGEMENTS FOR RELOCATION OF ANY UTILITIES WITH THE OWNER. THE CONTRACTOR SHALL EXERCISE CAUTION WHEN CROSSING UNDERGROUND UTILITIES, WHETHER SHOWN ON THE PLAN OR LOCATED BY THE UTILITY COMPANY. ALL UTILITIES WHICH INTERFERE WITH THE PROPOSED CONSTRUCTION SHALL BE BROUGHT TO THE ATTENTION OF THE OWNER. ANY FEES ASSOCIATED WITH UTILITY RELOCATIONS SHALL BE BORNE BY THE CONTRACTOR IN ACCORDANCE WITH RESPECTIVE UTILITY COMPANY STANDARDS. THE CONTRACTOR SHALL COORDINATE DISCONNECTION OF EXISTING UTILITIES WITH THE APPROPRIATE UTILITY PROVIDER.

14. UTILITIES INDICATED SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE APPLICABLE PROVISIONS OF THE SPECIFICATIONS. GRADING SHALL BE AS INDICATED, AND SHALL PRODUCE A FINISHED SURFACE WITH NO PONDING OF WATER, READY TO RECEIVE PLANTING MATERIALS OR GRASSING.

15. IT WILL BE THE RESPONSIBILITY OF THE CONTRACTOR TO ENSURE THAT ALL REQUIRED PERMITS ARE OBTAINED AND IN HAND BEFORE BEGINNING CONSTRUCTION. NO CONSTRUCTION OR FABRICATION SHALL BEGIN UNTIL THE CONTRACTOR HAS RECEIVED PLANS AND OTHER DOCUMENTATION FROM ALL OF THE PERMITTING AND ANY OTHER REGULATORY AUTHORITIES. ANY PENALTIES, STOP WORK ORDERS OR ADDITIONAL WORK RESULTING FROM THE CONTRACTOR BEING IN VIOLATION OF THE ABOVE REQUIREMENTS, SHALL BE FULLY BORNE BY THE CONTRACTOR.

16. CONTRACTORS/SUBCONTRACTORS THAT WILL BE ENGAGED IN LAND DISTURBING ACTIVITIES SHALL COMPLY WITH ALL EROSION, SEDIMENTATION AND POLLUTION CONTROL AND STORMWATER POLLUTION PREVENTION REQUIREMENTS CONTAINED THROUGHOUT THE DRAWINGS, SPECIFICATIONS, AND PERMITS.

17. THE CONTRACTOR'S MEANS, METHODS, SEQUENCE, TECHNIQUES OR PROCEDURES IN PERFORMING THE WORK IS SOLELY THE RESPONSIBILITY OF THE CONTRACTOR, WHO IS ALSO RESPONSIBLE FOR COMPLYING WITH ALL HEALTH AND SAFETY PRECAUTIONS AS REQUIRED BY THE APPLICABLE REGULATORY AGENCY.

18. THE DESIGN ADEQUACY AND SAFETY OF BRACING, SHORING

3

AND TEMPORARY SUPPORTS, ETC. ARE THE SOLE RESPONSIBILITY OF THE CONTRACTOR.

19. PROTECT EXISTING FEATURES AND EXISTING LANDSCAPING THAT WILL REMAIN. ITEMS DAMAGED DURING THE PERFORMANCE OF THE WORK WILL BE RESTORED TO ORIGINAL CONDITION, OR REPLACED WITH NEW AT THE CONTRACTOR'S EXPENSE. CONTRACTOR SHALL TAKE PRECAUTIONS TO AVOID OVERLOADING PAVEMENTS WHICH WILL REMAIN.

20. EACH SHEET IS PART OF A MULTI-SHEET SET OF CONSTRUCTION PLANS AND SHALL BE READ WITH THE FULL SET TO BEST ENSURE PROPER INTERPRETATION

21. SHEET KEYNOTES ON THE PLANS ARE SPECIFIC TO THAT SHEET ONLY. MISSING SEQUENTIAL NUMBERS DO NOT APPLY TO THAT SHEET.

CIVIL DEMOLITION NOTES

1. "DEMOLISH" MEANS TO REMOVE AN OBJECT IN ITS ENTIRETY, RESTORE GRADES AND SURFACE IMPROVEMENTS TO MATCH EXISTING CONDITIONS OR PER REQUIREMENTS OF NEW WORK, WHICHEVER IS APPLICABLE.

2. EROSION AND SEDIMENTATION CONTROL MEASURES AND TEMPORARY CONSTRUCTION FENCING SHALL BE IN PLACE PRIOR TO COMMENCEMENT OF DEMOLITION WORK.

3. CONTRACTOR SHALL ESTABLISH SURVEY CONTROL NETWORK OUTSIDE LIMITS OF DEMOLITION PRIOR TO COMMENCEMENT OF WORK. THIS WORK MUST BE PERFORMED BY A LICENSED & REGISTERED MASSACHUSETTS LAND SURVEYOR

4. ALL DEMOLITION WORK SHALL BE COORDINATED WITH CONTRACTOR'S SCHEDULE, LOGISTICS PLAN (APPROVED BY OWNER), EROSION, SEDIMENTATION AND POLLUTION CONTROL PLAN PRIOR TO WORK.

CIVIL SITE NOTES

1. CONTRACTOR SHALL FURNISH AND MAINTAIN NECESSARY BARRICADES AROUND THE WORK AND PROVIDE PROTECTION AGAINST WATER DAMAGE AND SOIL EROSION.

2. ALL BUILDING DIMENSIONS SHALL BE VERIFIED AND COORDINATED WITH THE ARCHITECTURAL PLANS.

3. PAVEMENT MARKINGS, INCLUDING STANDARD HANDICAP SYMBOLS, PARKING STRIPING AND TRAFFIC ARROWS, SHALL BE PAINTED ON PAVEMENT AT LOCATIONS SHOWN.

4. SIGNAGE SHALL CONFORM TO THE MOST RECENT MASSDOT AND MUTCD STANDARDS AND SPECIFICATIONS.

GRADING AND DRAINAGE NOTES

1. POSITIVE DRAINAGE SHALL BE MAINTAINED AT ALL TIMES TO PREVENT SATURATION OF EXPOSED SOILS IN CASE OF SUDDEN RAINS, AND FOR ALL FINISHED GRADING. CONTRACTOR SHALL LOCATE ALL EXISTING UTILITIES PRIOR TO ANY EXCAVATION.

2. CONTRACTOR SHALL INSTALL PERIMETER EROSION AND SEDIMENT CONTROL MEASURES PRIOR TO SITE CLEARING OR EXCAVATION. CONTRACTOR SHALL INSPECT SEDIMENT AND EROSION CONTROL MEASURES DAILY AND DURING PROLONGED PERIODS OF CONTINUOUS RAINFALL EVENTS TO ENSURE THAT CONTROLS ARE FUNCTIONING PROPERLY. DAMAGED CONTROLS SHALL BE REPLACED BY THE END OF THE WORKDAY.

3. BACKFILL AND FILL MATERIAL SHALL BE FREE OF ORGANIC MATTER AND WASTE.

4. THE CONTRACTOR SHALL REMOVE ALL EROSION CONTROL FENCING FROM THE SITE PRIOR TO FINAL PROJECT ACCEPTANCE, AND SHALL SMOOTH THE GROUND SURFACE WHERE THE FENCE WAS REMOVED THEN MULCH OR SEED & STRAW (SEASON APPROPRIATE GRASS) THE RESTORED SURFACE AS SUNLIGHT CONDITIONS WARRANT.

5. CONTRACTOR SHALL MARK, PRESERVE AND PROTECT ALL SURVEY BENCHMARKS. IF BENCHMARK MUST BE DEMOLISHED FOR CONSTRUCTION, CONTRACTOR SHALL RELOCATE BENCHMARK AND PROVIDE NEW DATA ON AS-BUILTS.

6. ALL CUT AND FILL SLOPES SHALL BE 3:1 OR FLATTER (SEE PLANS).

7. ALL SPOT ELEVATIONS NOTED ARE FINISH GRADE.

4

CIVIL ABBREVIATIONS

@ &
APPROX
AVI
BLDG
BM
BOT
CONC
DI
DSP
EG
ELEV
EP
ESMT
EX
FEMA

FFE
FG
FH
FT
GIS
HORZ
ID
IN
INC
INV
LF
LOD
M.E.
MIN
N
NHESP

NTS
PROP
R/W
SD
SF
SPEC
SQ
SS
SSMH
STD
TBM
TYP
WM
W/

AT
AND
APPROXIMATELY
AUTOMATED VEHICLE INSPECTION
BUILDING
BENCHMARK
BOTTOM
CONCRETE
DROP INLET
DELIVERY SERVICE PARTNER
EXISTING GRADE
ELEVATION
EDGE OF PAVEMENT
EASEMENT
EXISTING
FEDERAL EMERGENCY MANAGEMENT AGENCY
FINISHED FLOOR ELEVATION
FINISHED GRADE
FIRE HYDRANT
FEET
GEOGRAPHIC INFORMATION SYSTEM
HORIZONTAL
IDENTIFICATION
INCH
INCORPORATED
INVERT
LINEAR FEET
LIMITS OF DISTURBANCE
MATCH EXISTING
MINIMUM
NORTHING
NATURAL HERITAGE & ENDANGERED SPECIES PROGRAM
NOT TO SCALE
PROPOSED
RIGHT OF WAY
STORM DRAIN
SQUARE FEET
SPECIFICATIONS
SQUARE
SANITARY SEWER
SANITARY SEWER MANHOLE
STANDARD
TEMPORARY BENCHMARK
TYPICAL
WATER METER
WITH

5

6

VICINITY MAP

SCALE: N.T.S.

GENERAL NOTES

PROJECT INFORMATION:

PURPOSE OF PROJECT:
CONSTRUCTION OF A 1,500 SQ.FT. AUTOMATED VEHICLE INSPECTION (AVI) BUILDING WITH PROPOSED ELECTRICAL SERVICE FROM EXISTING EV SYSTEMS AND REVISIONS TO EXISTING PAVEMENT MARKINGS FOR TRAFFIC CONTROL WITHIN THE SITE.

PROJECT ADDRESS:
151-153 TAYLOR STREET LITTLETON, MA 01460

PROPERTY ID : 0037-0001-0002

SITE AREA:
± 80 ACRES

DISTURBED AREA:

0.18 ACRES

ZONING CLASSIFICATION:
IND (INDUSTRIAL DISTRICT)
BUILDING SETBACKS:
FRONT: MIN. 80 FT REQUIRED
SIDE : MIN. 50 FT REQUIRED
REAR: MIN. 50 FT REQUIRED

BUILDING SUMMARY:
MAXIMUM BUILDING HEIGHT: 40'

11/11/2024
DATE

AMAZON REVISIONS
DESCRIPTION

REV/A
MARK

DESIGNED BY: CQUINONES
DRAWN BY: SSTUART
CHECKED BY: SGLIDDEN
SUBMITTED BY: SGLIDDEN
DATE: 02/07/2025
PROJECT # 1240262

SHEET TITLE

GENERAL CIVIL NOTES, LEGEND, AND ABBREVIATIONS

SHEET NUMBER

C-001

ORIGINAL SHEET SIZE:
30" X 42"

CD100 SUBMITTAL

811 Know what's below. Call before you dig. Dial 811 Or Call 888 344-7233

POND

3500 Parkway Lane
Suite 500
Peachtree Corners
Georgia 30092

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CONSULTANT

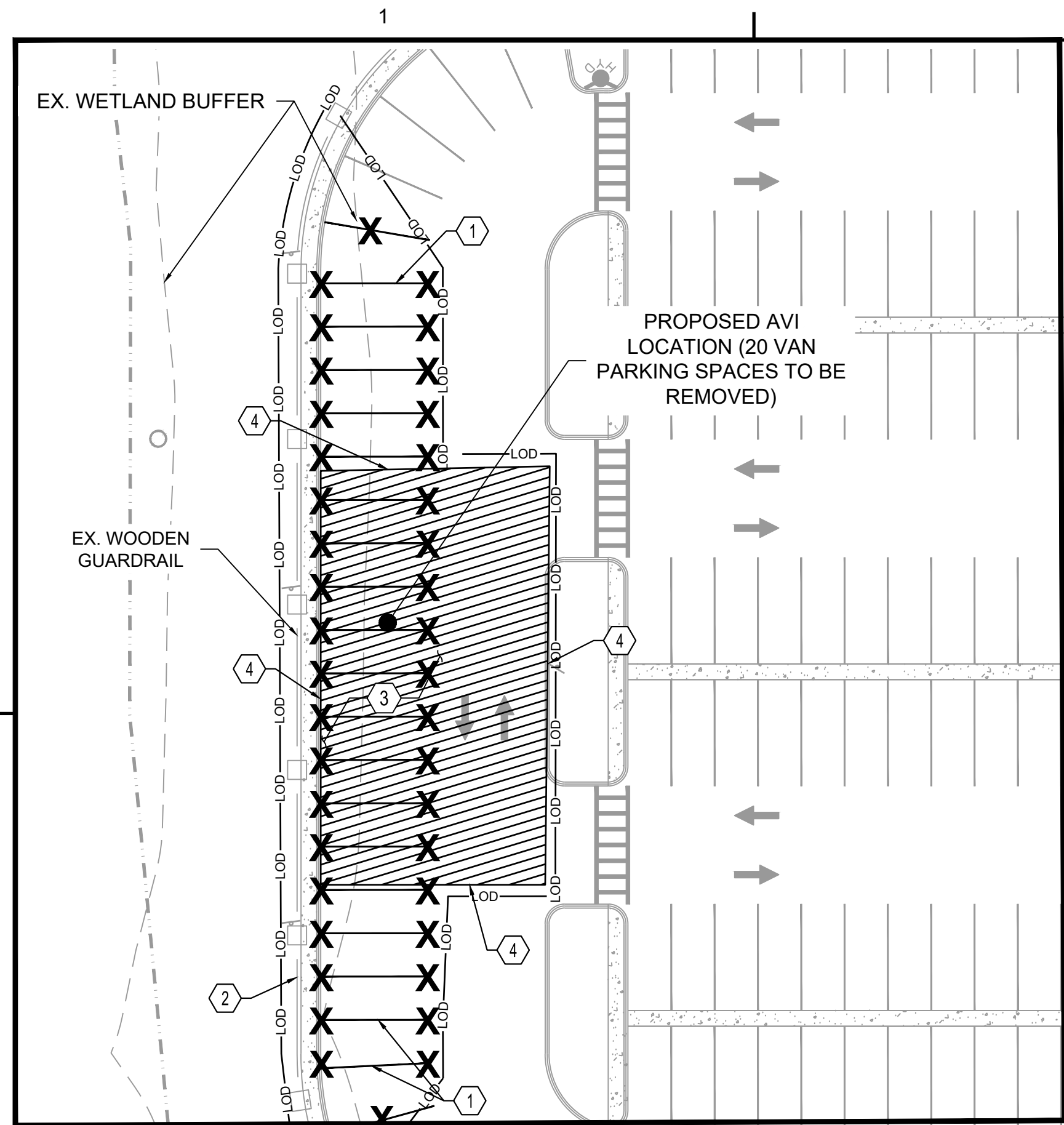
CLIENT INFORMATION

amazon

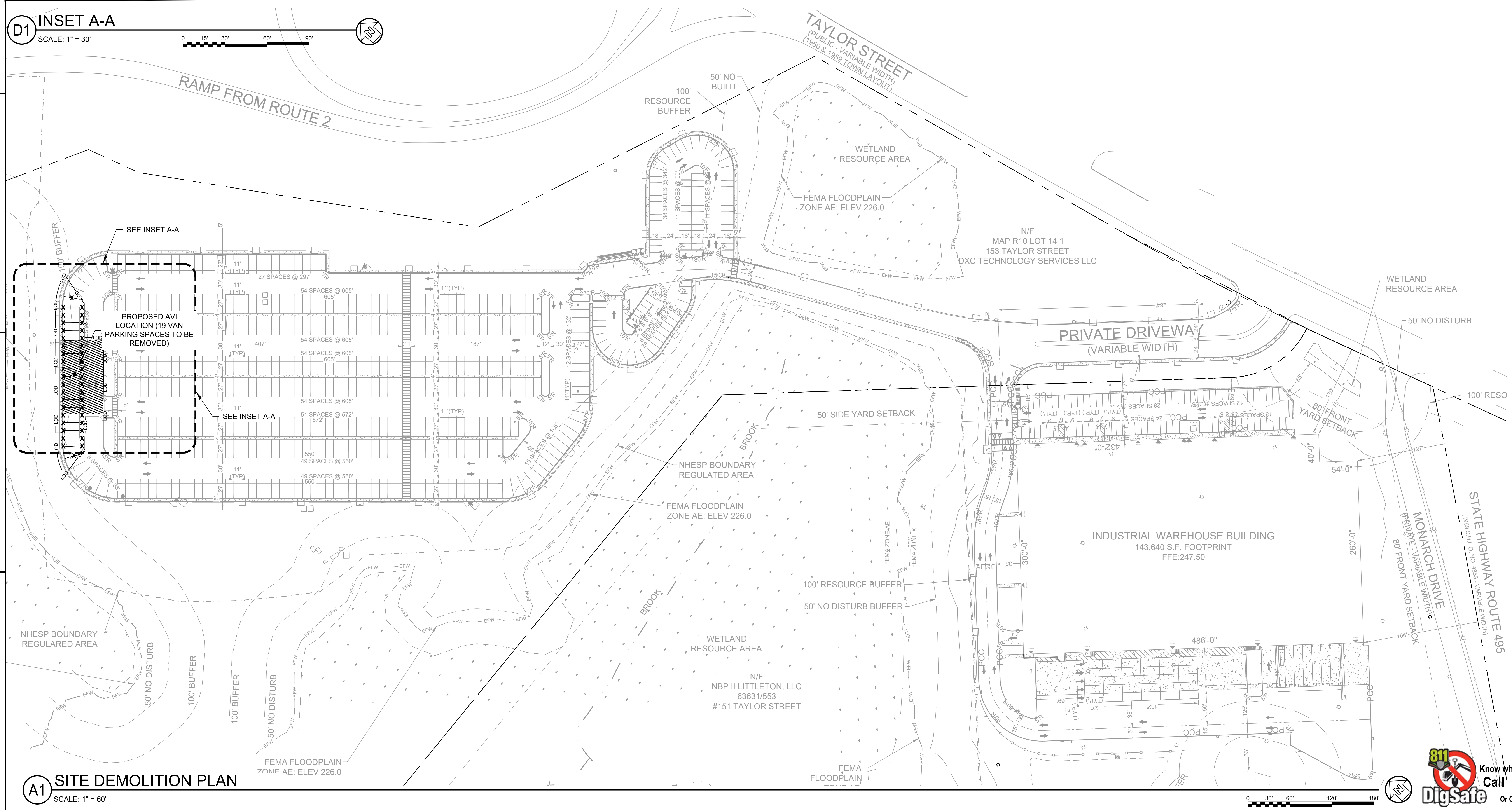
PROJECT NAME

AMZL
DKO1 AVI

151-153 TAYLOR STREET
LITTLETON, MA 01460



D1 **INSET A-A**
SCALE: 1" = 30'



A1 **SITE DEMOLITION PLAN**
SCALE: 1" = 60'

SHEET LEGEND

- SURFACE IMPROVEMENTS (WALLS, SLABS, PAVEMENTS, CURBING, GRAVEL, ETC.) TO BE DEMOLISHED UNLESS OTHERWISE NOTED.
- EXISTING GUARDRAIL
- LIMITS OF CONSTRUCTION
- STRIPPING AND PAVEMENT MARKING TO BE REMOVED

KEYNOTES

- EXISTING STRIPING TO BE REMOVED. (TYP.)
- EXISTING WOODEN GUARDRAIL TO REMAIN. CONTRACTOR TO PRESERVE AND PROTECT DURING ALL PHASES OF CONSTRUCTION.
- EXISTING ASPHALT PAVEMENT TO BE DEMOLISHED.
- CLEANLY SAWCUT EXISTING ASPHALT PAVEMENT.

GENERAL SHEET NOTES:

- REFER TO SHEET C-001 FOR LEGENDS, ABBREVIATIONS, AND CIVIL NOTES.
- THIS SHEET IS PART OF A MULTI-DISCIPLINE, MULTI-SHEET SET OF CONSTRUCTION PLANS AND SHALL BE READ AND COORDINATED WITH THE FULL SET TO BEST ENSURE PROPER INTERPRETATION.
- "DEMOLISH" SHALL MEAN TO REMOVE AN OBJECT IN ITS ENTIRETY. RESTORE GRADES AND SURFACE IMPROVEMENTS TO MATCH EXISTING CONDITIONS OR PER REQUIREMENTS OF NEW WORK, WHICHEVER IS APPLICABLE.
- EROSION AND SEDIMENTATION CONTROL MEASURES AND TEMPORARY CONSTRUCTION FENCING MUST BE INSTALLED PRIOR TO OR CONCURRENTLY WITH DEMOLITION ACTIVITIES.
- CONTRACTOR SHALL ESTABLISH SURVEY CONTROL NETWORK OUTSIDE LIMITS OF DEMOLITION PRIOR TO COMMENCEMENT OF WORK. THIS WORK MUST BE PERFORMED BY LICENSED & REGISTERED MASSACHUSETTS LAND SURVEYOR.
- ALL DEMOLITION WORK SHALL BE COORDINATED WITH CONTRACTOR'S SCHEDULE, LOGISTICS PLAN (APPROVED BY OWNER), EROSION, SEDIMENTATION AND POLLUTION CONTROL PLAN PRIOR TO WORK.
- ALL INTERNAL FENCING, TRASH, AND LITTER TO BE FULLY DEMOLISHED AND REMOVED FROM SITE (TO A LEGAL LANDFILL). PERIMETER FENCING TO REMAIN UNLESS NOTED OTHERWISE.

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Peachtree Corners
Georgia 30092
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FOR AOR SEAL

CONSULTANT

CLIENT INFORMATION

PROJECT NAME

**AMZL
DKO1 AVI**

151-153 TAYLOR STREET
LITTLETON, MA 01460

DRAWING ISSUE

DATE	DESCRIPTION	REV/A	MARK
11/11/2024			

DESIGNED BY: CQUINONES
DRAWN BY: SSTUART
CHECKED BY: SGLIDDEN
SUBMITTED BY: SGLIDDEN
DATE: 02/07/2025
PROJECT #: 1240262

SHEET TITLE

**SITE
DEMOLITION
PLAN**

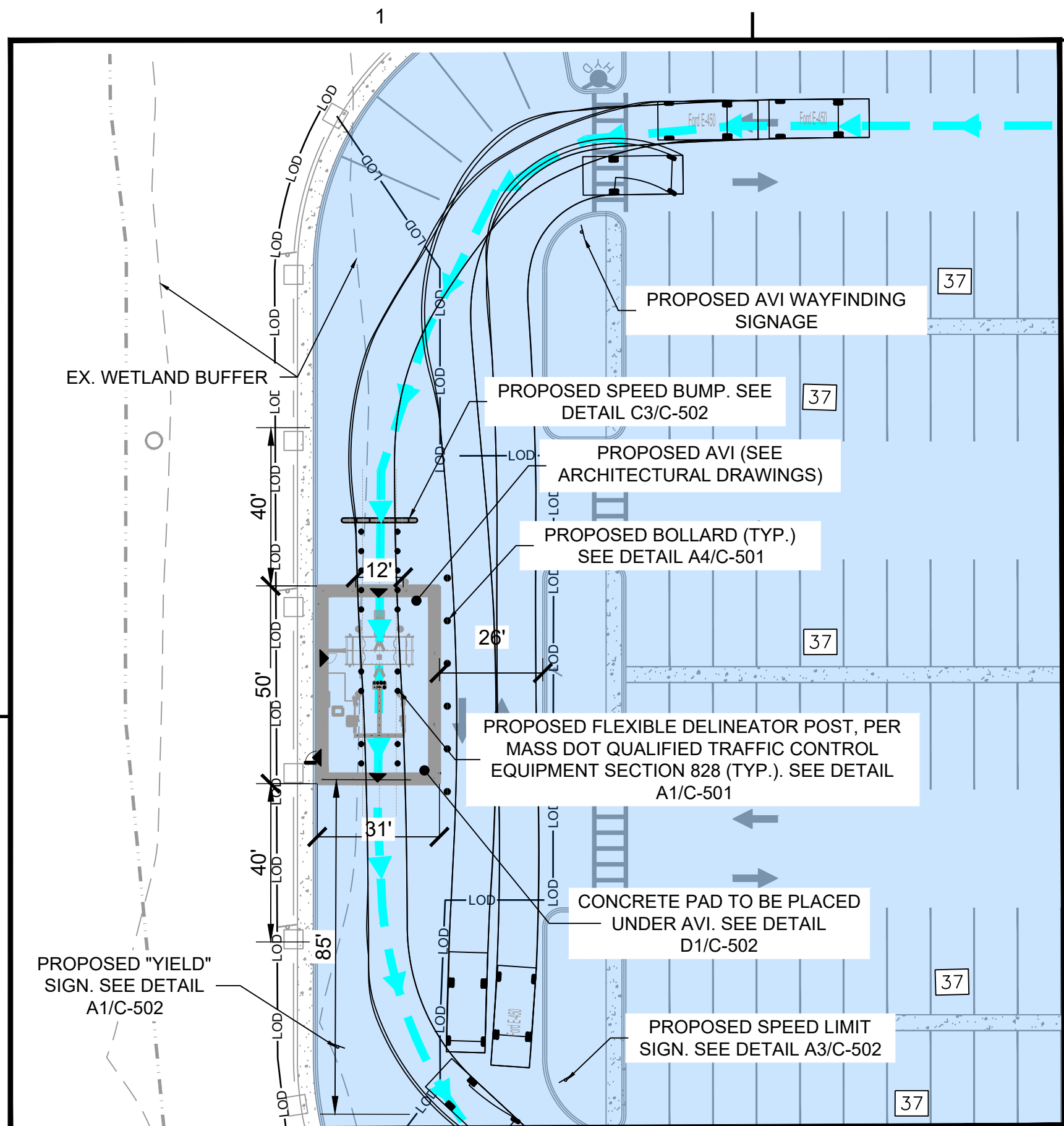
SHEET NUMBER

CD101

ORIGINAL SHEET SIZE:
30" X 42"

CD100 SUBMITTAL

Know what's below.
Call before you dig.
Dial 811
Or Call 888 344-7233

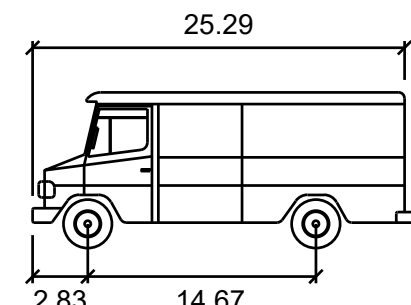


D1 INSET A-A
SCALE: 1" = 30'

- ### GENERAL SHEET NOTES
- THIS SHEET IS PART OF A MULTI-SHEET SET OF CONSTRUCTION PLANS AND SHALL BE READ WITH THE FULL SET TO BEST ENSURE PROPER INTERPRETATION.
 - EXISTING CONDITIONS SHOWN HAVE BEEN PROVIDED BY THE OWNER AND ARE ASSUMED CORRECT. CONTRACTOR TO FIELD VERIFY EXISTING CONDITIONS AND NOTIFY OWNER OF ANY DISCREPANCIES.
 - REFER TO THE AMZL DESIGN CRITERIA AND "OUTLINE SPECIFICATIONS" FOR FURTHER INFORMATION REGARDING THE SITE PLAN ELEMENTS KEYNOTED ON PLANS.
 - SITE PLAN LAYOUT TO GRAPHICALLY ILLUSTRATE INTENT ONLY. DEVELOPERS AND DESIGN TEAMS ARE RESPONSIBLE FOR RECONCILING WITH SITE SPECIFIC CONSTRAINTS AND JURISDICTIONAL REQUIREMENTS.
 - ALL STRIPING SHALL BE LONG LIFE EPOXY RESIN AND 4" WIDE UNLESS OTHERWISE NOTED. ALL PAVEMENT GRAPHICS SHALL BE HOT-APPLIED THERMOPLASTIC UNLESS OTHERWISE NOTED. ALL PAVEMENT MARKINGS SHALL BE REFLECTIVE.
 - COLOR SHALL BE WHITE ON ASPHALT AND YELLOW ON CONCRETE, UNLESS OTHERWISE NOTED.

SHEET LEGEND

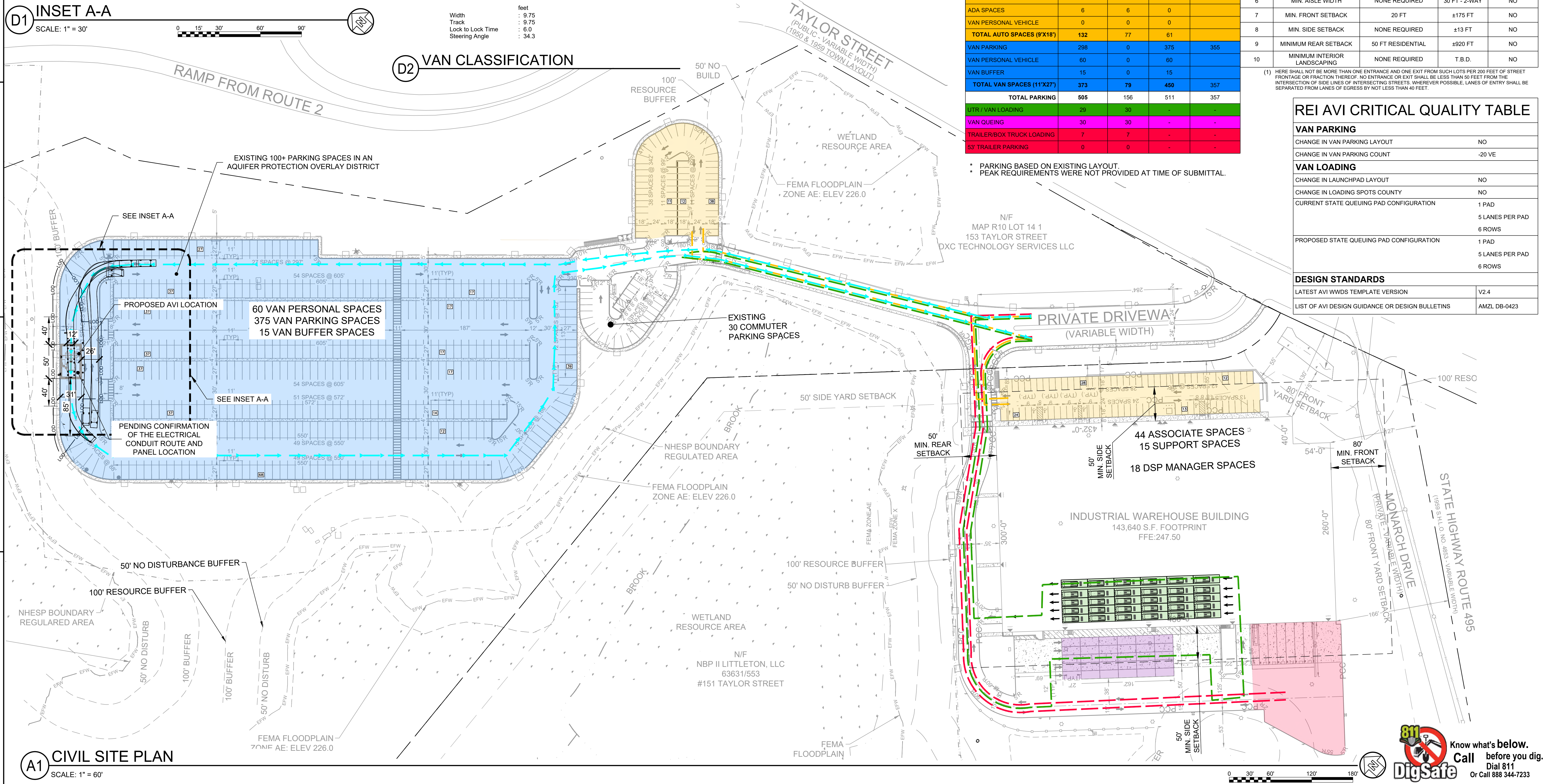
- AVI ROUTE
- ASSOCIATE TRAFFIC FLOW DIRECTION
- DSP/FLEX TRAFFIC FLOW DIRECTION
- TRUCK TRAFFIC FLOW DIRECTION
- BUILDING ENTRANCE/EXIT



Ford E-450

Width	feet
Track	9.75
Lock to Lock Time	9.75
Steering Angle	6.0
	34.3

D2 VAN CLASSIFICATION



A1 CIVIL SITE PLAN
SCALE: 1" = 60'

151 TAYLOR ST ZONING INFORMATION

LOCATION: LITTLETON, MASSACHUSETTS				
ZONE: IA (INDUSTRIAL A DISTRICT) & AQUIFER PROTECTION DISTRICT				
USE: WAREHOUSE AND DISTRIBUTION CENTER (SPECIAL PERMITTED USE) (1)				
ITEM #	ITEM	REQUIREMENTS	EXISTING	VARIANCE
1	MIN. LOT AREA	NONE REQUIRED	±1,252,922 SF ±28.8 AC	NO
2	MIN. LOT WIDTH	NONE REQUIRED	±849 FT	YES (2)
3	MIN. LOT FRONTAGE	NONE REQUIRED	±198 FT	NO
4	MIN. FRONT SETBACK	80 FT	±129 FT	NO
5	MIN. SIDE SETBACK	50 FT	±85 FT	NO
6	MIN. REAR SETBACK	50 FT	±608 FT	NO
7	MAX BUILDING HEIGHT	40 FT	<40 FT	NO
8	MAXIMUM BUILDING COVERAGE	30 PERCENT (2)	±11.5 PERCENT/ ±12.7 PERCENT (2)	NO
9	MAXIMUM LOT COVERAGE	80 PERCENT (3)	±398 FT	NO

- (1) THE INDUSTRIAL/WAREHOUSE USE LOCATED AT 151 TAYLOR STREET WAS PREVIOUSLY APPROVED ON FEBRUARY 19, 2020 BY SPECIAL PERMIT FOR "MAJOR INDUSTRIAL USE" PER SECTION 173-46 BY SPECIAL PERMIT FOR IMPERVIOUS COVERAGE EXCEEDING 15% OF TOTAL LOT AREA FOR AQUIFER PROTECTION DISTRICT, AND BY SPECIAL PERMIT DUE TO THE 100+ PARKING SPACES WITHIN THE AQUIFER OVERLAY DISTRICT PER SECTION 173-41. WAREHOUSING/DISTRIBUTION CENTER IS PERMITTED PER SECTION 173-26, BUT MAY REQUIRE ADDITIONAL PUBLIC HEARINGS DUE TO UPDATED USE AND PROPOSED MODIFICATIONS TO APPROVED PLANS, WHICH WILL BE DETERMINED BY TOWN STAFF UPON INITIAL REVIEW OF THESE CHANGES.
- (2) THE TOTAL OF THE GROSS FLOOR AREA ON ALL FLOORS, NOT INCLUDING CELLARS, SHALL NOT EXCEED 0.4 TIMES THE COMBINED LAND AREA OF THE SITE, PLUS ANY OFF-SITE AREAS USED FOR ANCILLARY PARKING.
- (3) MAXIMUM IMPERVIOUS COVERAGE IN AQUIFER PROTECTION DISTRICT OF GREATER THAN 15% BUT LESS THAN 30% REQUIRES A SPECIAL PERMIT.

151 TAYLOR ST PARKING INFORMATION

ITEM #	ITEM	REQUIREMENTS	EXISTING	VARIANCE
1	BUILDING SIZE	NONE REQUIRED	±159,600 SF	NO
2	PARKING REQUIRED	OFFICE: 1 SPACE PER 250 SF (8,000 SF) INDUSTRIAL/WAREHOUSE: 1 SPACE PER 1.25 EMPLOYEES ON LARGEST SHIFT (200) TOTAL REQUIRED = 192 SPACES	79 SPACES	YES (2)
3	MINIMUM HANDICAPPED PARKING SPACES REQUIRED	6 SPACES	6 SPACES	NO
4	MINIMUM PARKING DIMENSIONS	NONE REQUIRED	9 FT X 18 FT	NO
5	MINIMUM LOADING DIMENSIONS	NONE REQUIRED	13 FT X 60 FT	NO
6	MINIMUM AISLE WIDTH	NONE REQUIRED	24 FT - 2-WAY	NO
7	MINIMUM FRONT SETBACK	20 FT	±127 FT	NO
8	MINIMUM SIDE SETBACK	NONE REQUIRED	±61 FT	NO
9	MINIMUM REAR SETBACK	50 FT RESIDENTIAL	±398 FT	NO
10	MINIMUM INTERIOR LANDSCAPING	NONE REQUIRED	T.B.D.	NO

- (1) THERE SHALL NOT BE MORE THAN ONE ENTRANCE AND ONE EXIT FROM SUCH LOTS PER 200 FEET OF STREET FRONTAGE OR FRACTION THEREOF. NO ENTRANCE OR EXIT SHALL BE LESS THAN 50 FEET FROM THE INTERSECTION OF SIDE LINES OF INTERSECTING STREETS. WHEREVER POSSIBLE, LANES OF ENTRY SHALL BE SEPARATED FROM LANES OF EGRESS BY NOT LESS THAN 40 FEET.
- (2) THE INDUSTRIAL/WAREHOUSE USE LOCATED AT 151 TAYLOR STREET WAS PREVIOUSLY APPROVED ON FEBRUARY 19, 2020 FOR 200 PARKING SPACES. THE REQUIRED PARKING WAS 200 SPACES REQUIRED FOR A 15,900 S.F. OFFICE AREA (64 SPACES) AND 170 EMPLOYEES (136 SPACES). THE NEW TENANT WILL HAVE A SMALLER OFFICE, MORE EMPLOYEES, AND WILL ONLY REQUIRE 192 PARKING SPACES. HOWEVER, THERE WILL STILL BE A DEFICIT IN PARKING REQUIRING A POSSIBLE VARIANCE OR ADMINISTRATIVE APPROVAL CONTINGENT ON TOWN STAFF REVIEW.

PARKING BREAKDOWN

PARKING	REQUIRED	EXISTING ON-SITE	EXISTING OFF-SITE	PROPOSED OFF-SITE
ASSOCIATE	93	38	61	
DSP MANAGER	18	18	0	
SUPPORT	15	15	0	
ADA SPACES	6	6	0	
VAN PERSONAL VEHICLE	0	0	0	
TOTAL AUTO SPACES (9'X18')	132	77	61	
VAN PARKING	298	0	375	355
VAN PERSONAL VEHICLE	60	0	60	
VAN BUFFER	15	0	15	
TOTAL VAN SPACES (11'X27')	373	79	450	357
TOTAL PARKING	505	156	511	357
UTR / VAN LOADING	29	30	-	-
VAN QUEING	30	30	-	-
TRAILER/BOX TRUCK LOADING	7	7	-	-
53' TRAILER PARKING	0	0	-	-

- * PARKING BASED ON EXISTING LAYOUT.
- * PEAK REQUIREMENTS WERE NOT PROVIDED AT TIME OF SUBMITTAL.

153 TAYLOR ST ZONING INFORMATION

LOCATION: LITTLETON, MASSACHUSETTS				
ZONE: IA (INDUSTRIAL A DISTRICT) & AQUIFER PROTECTION DISTRICT				
USE: WAREHOUSE AND DISTRIBUTION CENTER (SPECIAL PERMITTED USE) (1)				
ITEM #	ITEM	REQUIREMENTS	EXISTING	VARIANCE
1	MIN. LOT AREA	NONE REQUIRED	±1,252,922 SF ±28.8 AC	NO
2	MIN. LOT WIDTH	NONE REQUIRED	±849 FT	YES (2)
3	MIN. LOT FRONTAGE	NONE REQUIRED	±198 FT	NO
4	MIN. FRONT SETBACK	80 FT	±129 FT	NO
5	MIN. SIDE SETBACK	50 FT	±85 FT	NO
6	MIN. REAR SETBACK	50 FT	±608 FT	NO
7	MAX BUILDING HEIGHT	40 FT	<40 FT	NO
8	MAXIMUM BUILDING COVERAGE	30 PERCENT (2)	±11.5 PERCENT/ ±12.7 PERCENT (2)	NO
9	MAXIMUM LOT COVERAGE	80 PERCENT (3)	±398 FT	NO

- (1) THE PROPOSED PARKING USE WILL REQUIRE A SPECIAL PERMIT DUE TO THE 100+ PARKING SPACES WITHIN THE AQUIFER OVERLAY DISTRICT PER SECTION 173-41.
- (2) MAXIMUM IMPERVIOUS COVERAGE IN AQUIFER PROTECTION DISTRICT OF GREATER THAN 15% BUT LESS THAN 30% REQUIRES A SPECIAL PERMIT.

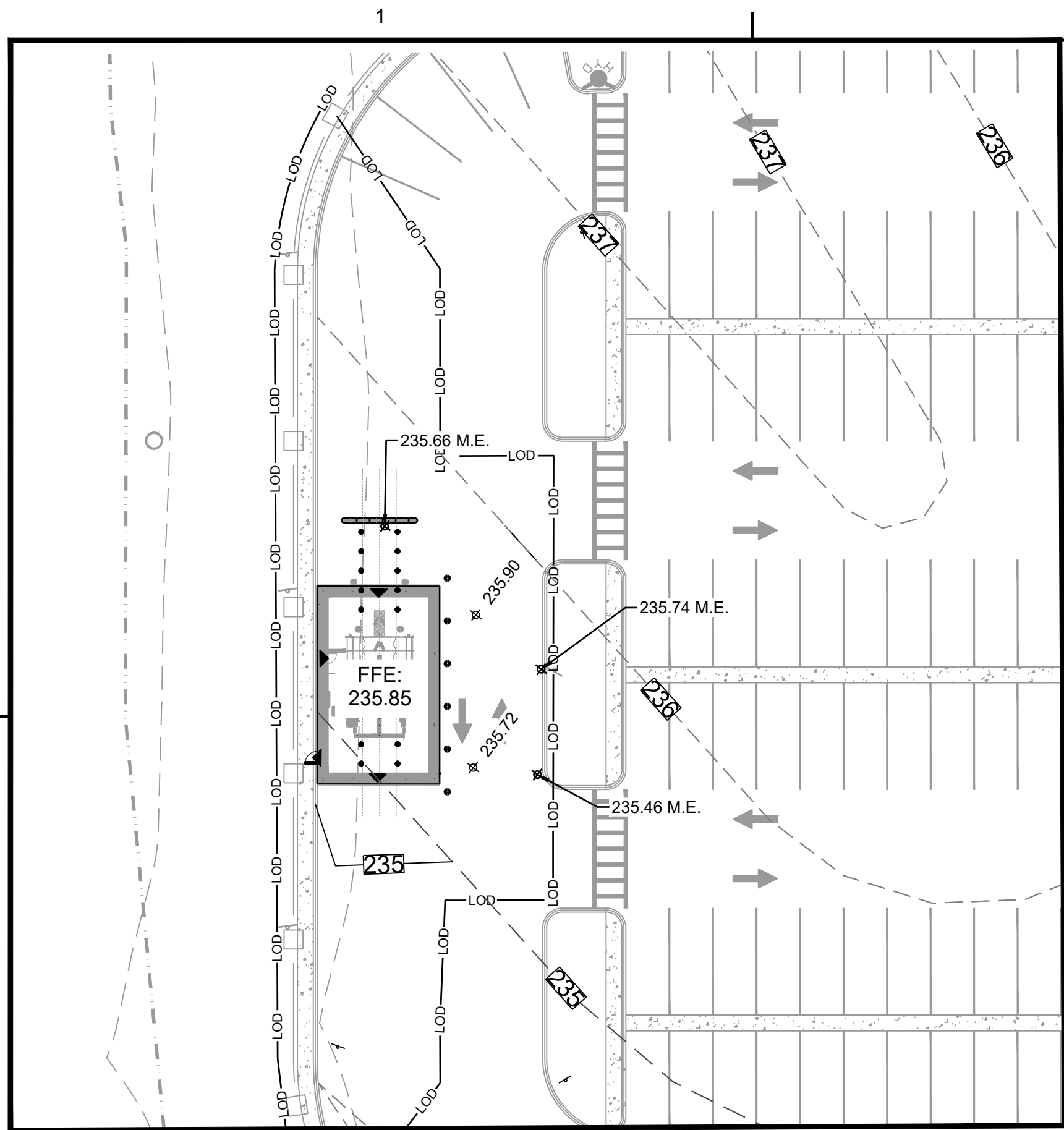
153 TAYLOR ST PARKING INFORMATION

ITEM #	ITEM	REQUIREMENTS	EXISTING	VARIANCE
1	BUILDING SIZE	NONE REQUIRED	N/A	NO
2	PARKING REQUIRED	OFF-SITE PARKING: NO REQUIREMENTS BY TOWN CODE	759 SPACES	NO
3	MIN. HANDICAPPED PARKING SPACES REQUIRED	N/A	N/A	NO
4	MIN. PARKING DIMENSIONS	NONE REQUIRED	11 FT X 27 FT	NO
5	MIN. LOADING DIMENSIONS	NONE REQUIRED	N/A	NO
6	MIN. AISLE WIDTH	NONE REQUIRED	30 FT - 2-WAY	NO
7	MIN. FRONT SETBACK	20 FT	±175 FT	NO
8	MIN. SIDE SETBACK	NONE REQUIRED	±13 FT	NO
9	MINIMUM REAR SETBACK	50 FT RESIDENTIAL	±920 FT	NO
10	MINIMUM INTERIOR LANDSCAPING	NONE REQUIRED	T.B.D.	NO

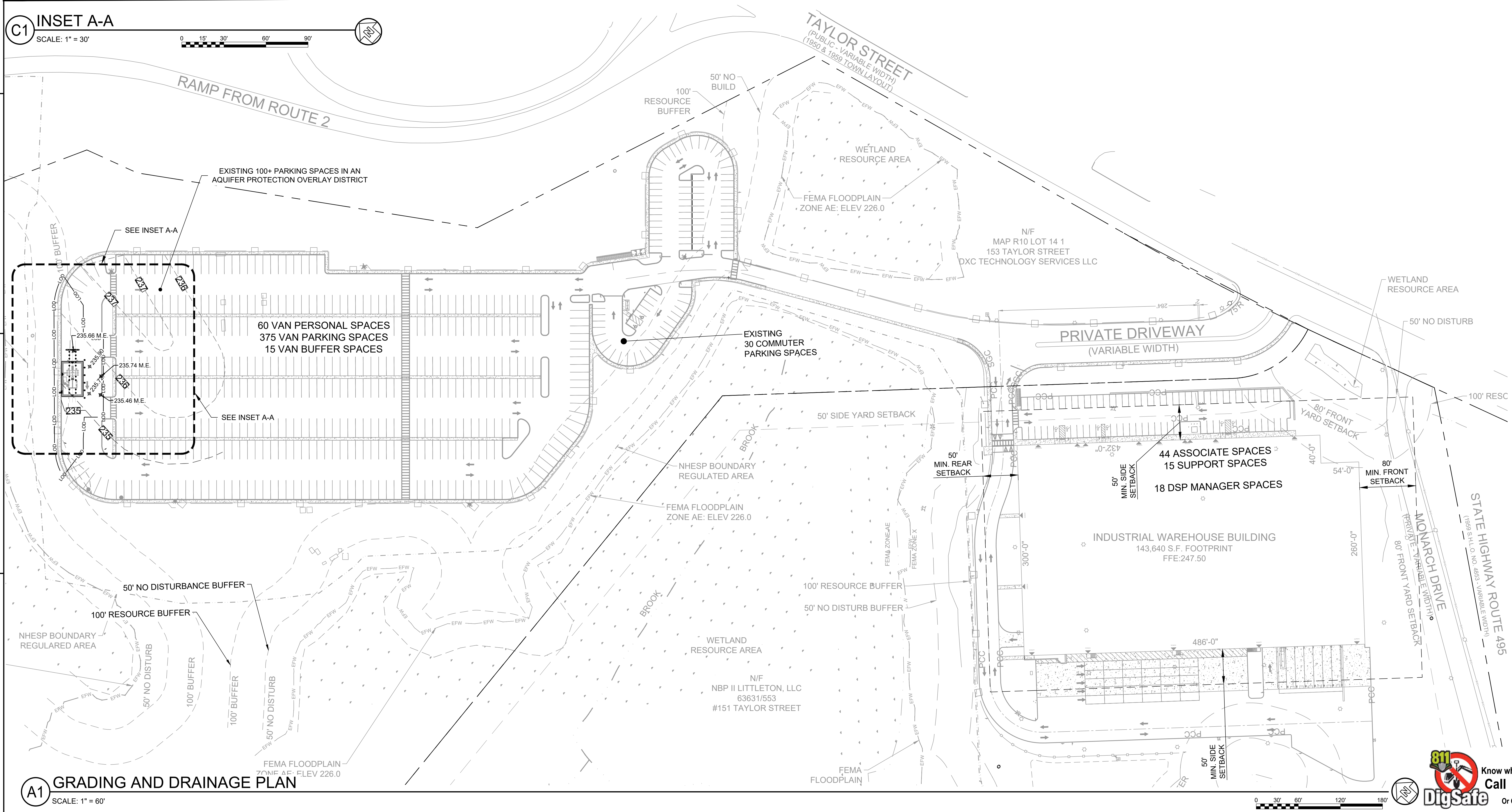
- (1) HERE SHALL NOT BE MORE THAN ONE ENTRANCE AND ONE EXIT FROM SUCH LOTS PER 200 FEET OF STREET FRONTAGE OR FRACTION THEREOF. NO ENTRANCE OR EXIT SHALL BE LESS THAN 50 FEET FROM THE INTERSECTION OF SIDE LINES OF INTERSECTING STREETS. WHEREVER POSSIBLE, LANES OF ENTRY SHALL BE SEPARATED FROM LANES OF EGRESS BY NOT LESS THAN 40 FEET.

REI AVI CRITICAL QUALITY TABLE

VAN PARKING	
CHANGE IN VAN PARKING LAYOUT	NO
CHANGE IN VAN PARKING COUNT	-20 VE
VAN LOADING	
CHANGE IN LAUNCHPAD LAYOUT	NO
CHANGE IN LOADING SPOTS COUNTY	NO
CURRENT STATE QUEUING PAD CONFIGURATION	1 PAD 5 LANES PER PAD 6 ROWS
PROPOSED STATE QUEUING PAD CONFIGURATION	1 PAD 5 LANES PER PAD 6 ROWS
DESIGN STANDARDS	
LATEST AVI WWDS TEMPLATE VERSION	V2.4
LIST OF AVI DESIGN GUIDANCE OR DESIGN BULLETINS	AMZL DB-0423



C1 **INSET A-A**
SCALE: 1" = 30'



A1 **GRADING AND DRAINAGE PLAN**
SCALE: 1" = 60'

GENERAL SHEET NOTES:

1. REFER TO SHEET C-001 FOR LEGENDS, ABBREVIATIONS, AND CIVIL NOTES.
2. THIS SHEET IS PART OF A MULTI-SHEET SET OF CONSTRUCTION PLANS AND SHALL BE READ WITH THE FULL SET TO BEST ENSURE PROPER INTERPRETATION.
3. NO GRADED SLOPE SHALL EXCEED 2H: 1V

SHEET LEGEND

- L.O.D. — L.O.D. — LIMITS OF DISTURBANCE
- - - 236 - - - EXISTING CONTOUR
- 235 — PROPOSED CONTOUR



3500 Parkway Lane
Suite 500
Peachtree Corners
Georgia 30092
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EOR/AOR SEAL

CONSULTANT

CLIENT INFORMATION



PROJECT NAME

AMZL
DKO1 AVI

151-153 TAYLOR STREET
LITTLETON, MA 01460

DRAWING ISSUE

11/11/2024
DATE

AMAZON REVISIONS
DESCRIPTION

REV/A
MARK

DESIGNED BY: CQUINONES
DRAWN BY: SSTUART
CHECKED BY: SGLIDDEN
SUBMITTED BY: SGLIDDEN
DATE: 02/07/2025
PROJECT # 1240262

SHEET TITLE

GRADING AND
DRAINAGE
PLAN

SHEET NUMBER

CG101

ORIGINAL SHEET SIZE:
30" X 42"

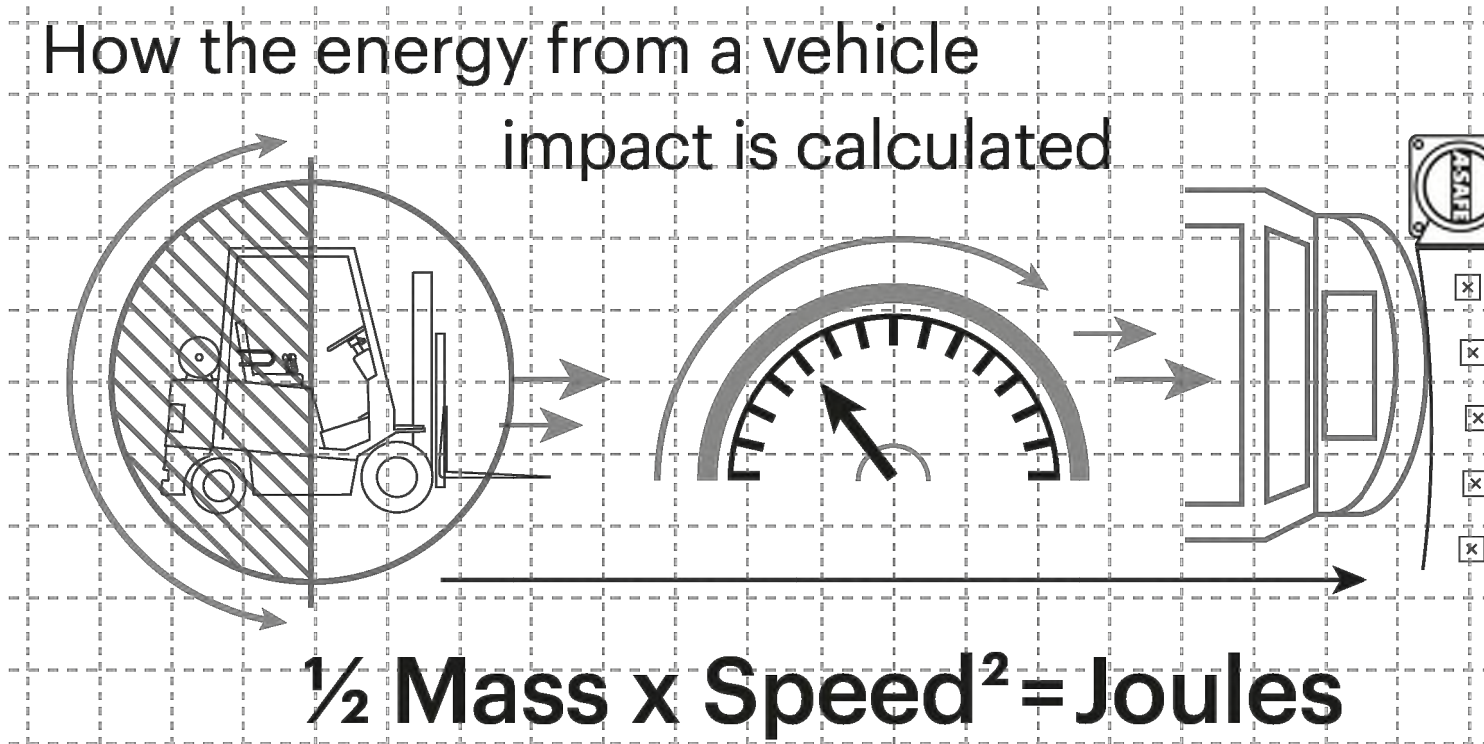


CD100 SUBMITTAL



A1 FLEXSTAKE FLEXIBLE DELINEATOR POST


Technical Information

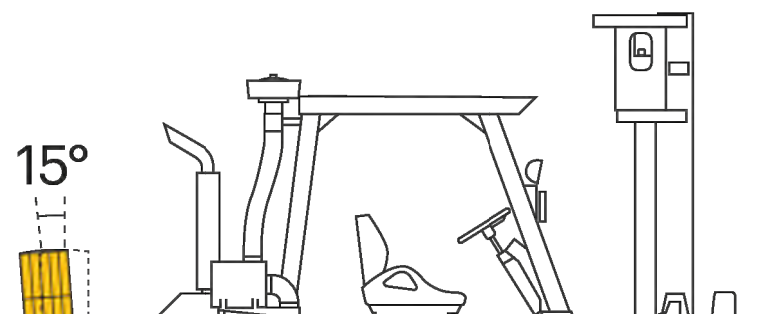
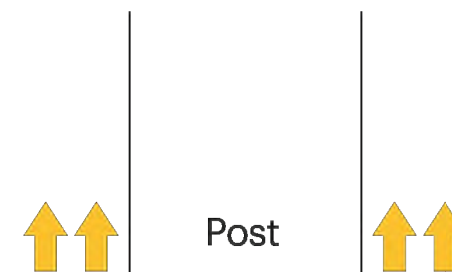


Tested Impact Energy

8,800 Joules

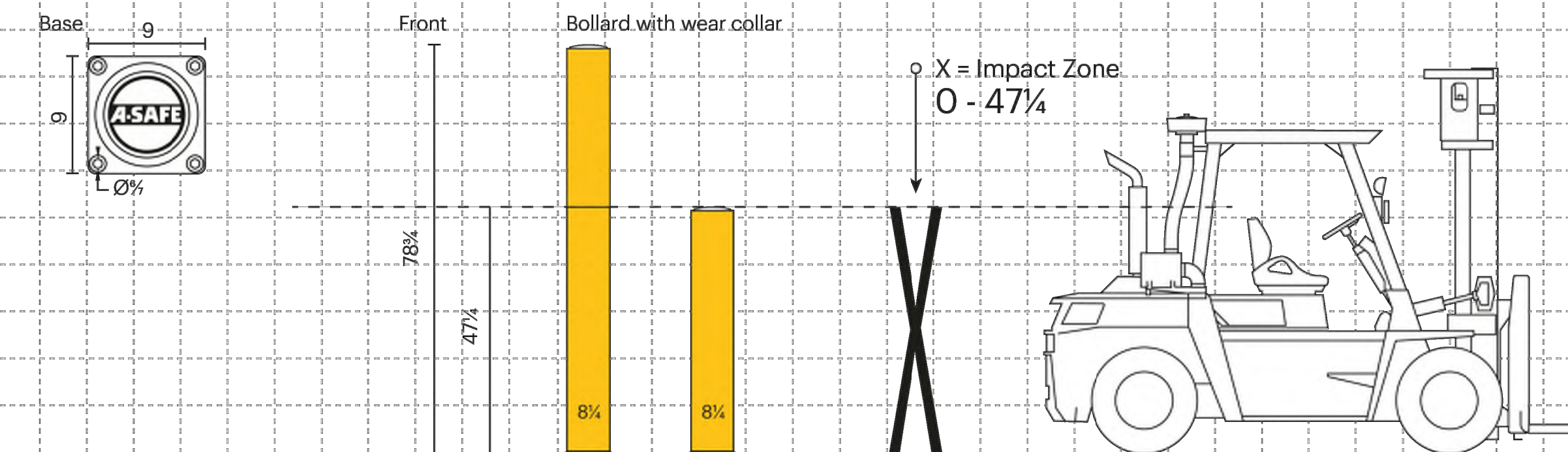
Equivalent vehicle and speed

 **11 ton** **X** **3 mph impact**
90° Impact on Bollard

<h3>Impact Test</h3>		<h3>Material Properties</h3>	
Max Energy (Joules) at 90° 8,800		MEMAPLEX®	
Deflection at Max Energy 15° Lean	Force to Bolt 35kN	Temperature Range	-10°C to 50°C
		Ignition Temperature	370°C to 390°C
		Flash Point	350°C to 370°C
		Toxicity	Not Hazardous
		Chemical Resistance	Excellent - ISO/TR 10358
		Weathering Stability (Grey Scale)	5/5*
		Light Stability (Blue Wool Scale)	7/8**
		Static Rating (Surface Resistivity)	1015 - 1016 Ω
		Hygiene Seals	No

* Weathering scale 1 is very poor and 5 is excellent
** Light stability scale 1 is very poor and 8 is excellent

Dimensions (inches)



Bollard Options



Color Combinations

*Please note that the RAL and PANTONE colors listed are the closest match to standard A-SAFE colors, but may not be exact matches of the actual product color and should be used for guidance only.

A-SAFE Headquarters
Habergham Works, Ainleys Industrial Estate, Elland, HX5 9JP, West Yorkshire, United Kingdom.
www.asafe.com



A4 IFLEX HEAVY DUTY BOLLARD



Know what's **below**.
Call before you dig.
Dial 811
Or Call 888 344-7233

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Suite 500
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Georgia 30092
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FOR/AOR SEAL

CONSULTANT

CLIENT INFORMATION



PROJECT NAME

AMZL DAS8
AVI

110 FORDHAM RD
WILLINGTON, MA 01887

DRAWING ISSUE

DATE

	DESCRIPTION
MAMON COMMENTS	
MAMON COMMENTS	

REV #3
REV #2
MARK

DESIGNED BY: CQUINONES
DRAWN BY: KLITTLES
CHECKED BY: CQUINONES
SUBMITTED BY: SGLIDDEN
DATE: 01/10/2024
PROJECT # 1240264

SHEET TITLE

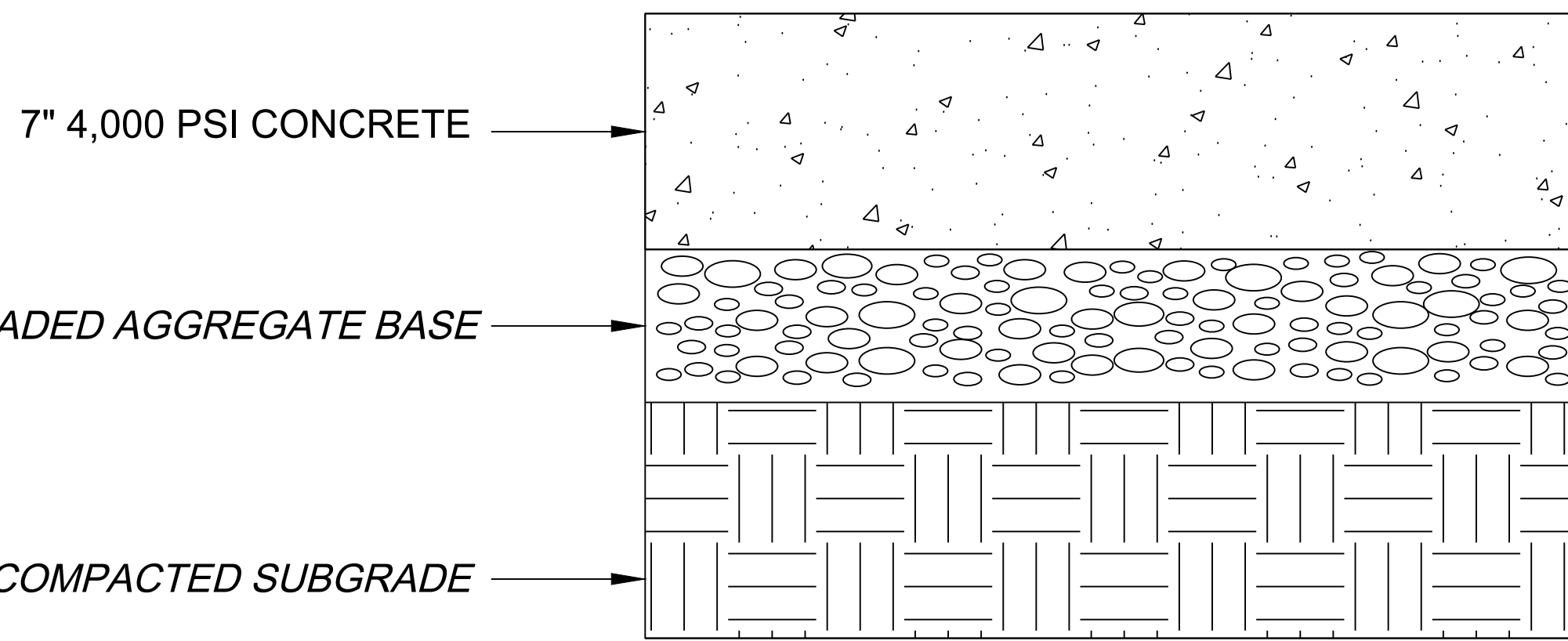
CONSTRUCTION DETAILS

SHEET NUMBER

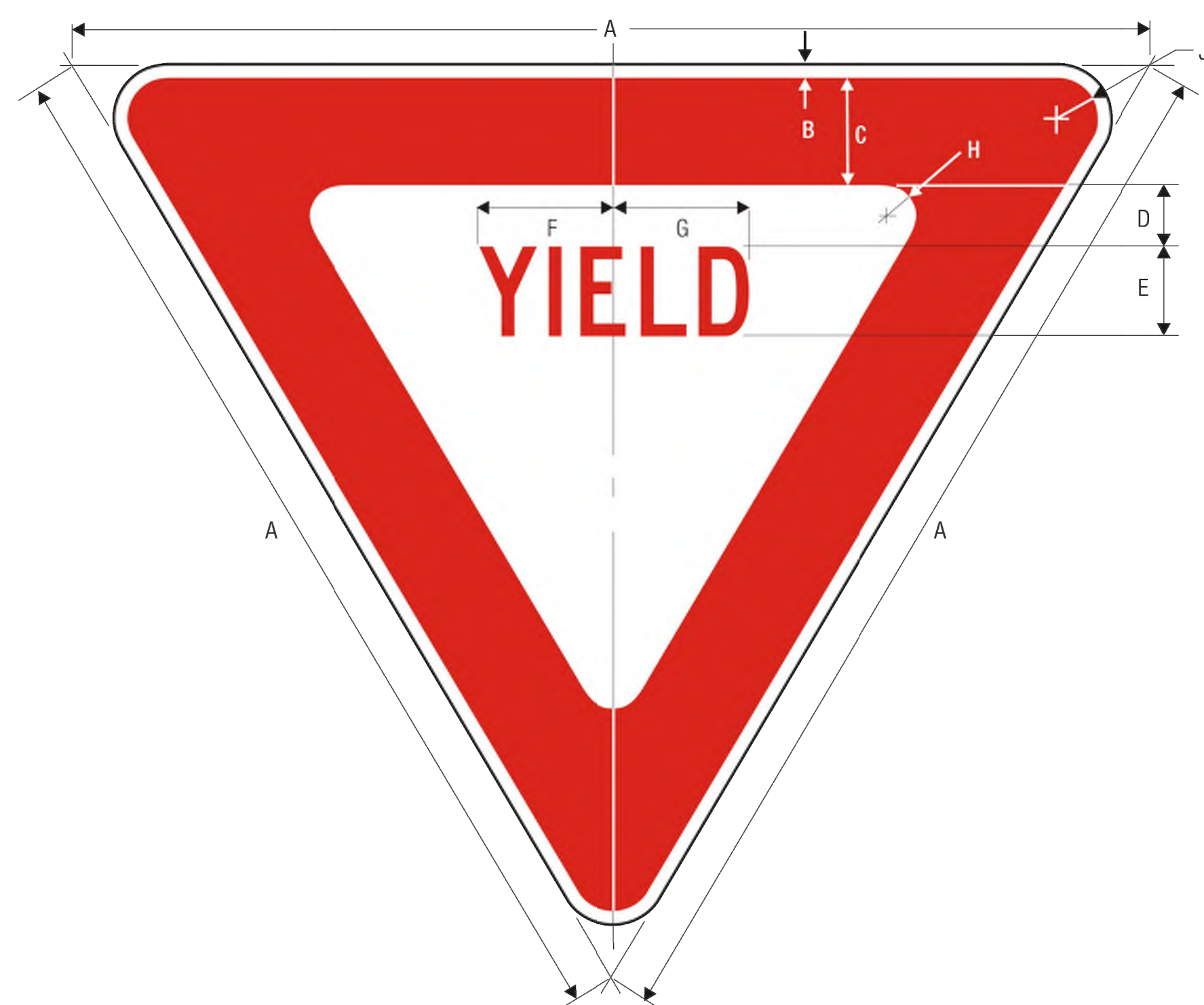
C-501

ORIGINAL SHEET SIZE:
30" X 42"

IF CD100 SUBMITTAL



D1 CONCRETE PAVEMENT



**R1-2
YIELD**

	A	B	C	D	E	F	G	H	J
18	.375	2	1	1.5	C	2.375	2.188	.625	1.5
24	.375	3	1.375	2	C	3.25	3	.875	1.5
30	.625	4	1.75	2.5	C	3.938	3.625	.875	1.5
36	.75	5	2	3	C	4.688	4.375	1.25	2
48	1	6	2.75	4	C	6.25	5.875	2	3
60	1.5	8	3.5	5	C	7.875	7.25	2.5	4

COLORS: LEGEND — RED (RETROREFLECTIVE)
BACKGROUND — WHITE (RETROREFLECTIVE)

1-2

A1 MUTCD R1-2 SIGN

Speed Bump - 6', Rubber



Keep that parking lot safe. Reduce speeds to 5-10 mph.

- Recommended for parking lots, business entrances and warehouse dock areas.
- Can be removed for snow removal.
- Flexible and shock absorbing. Highly reflective for night visibility.
- End Caps, Asphalt and Concrete Installation Kits sold separately.

Q. More Images

MODEL NO.	DESCRIPTION	DIMENSIONS L x W x H	COLOR	WT. CAP. (LBS.)	WT. (LBS.)	PRICE EACH	IN STOCK
H-2394	6' Rubber	72 x 12 x 2"	Yellow/Blk	40,000	42	\$210 \$200	1 5+ SHIPS TODAY

Additional Info Shopping Lists Request a Catalog

DIMENSIONS:
• Actual: 72 x 12 x 2 1/4"
• Channels: 1 3/8 x 1 1/4" (W x H)
• Mounting Holes (Diameter): 1 3/8"

MATERIAL:
• 100% Recycled rubber/Polyurethane pre-polymer

CAPACITY:
• 40,000 lbs

INSTALLATION:
• Speed bump requires 4 spikes/tag bolts.
• Each end cap requires 1 spike/tag bolts.
• If installing speed bump and 2 end caps, two installation kits are needed.

Availability: In Stock
Unit Weight: 41 lbs.

Instructions

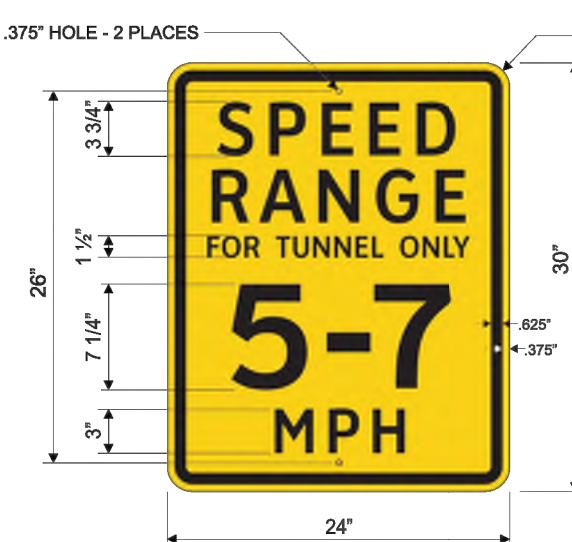
Catalog Page 760

Email Item

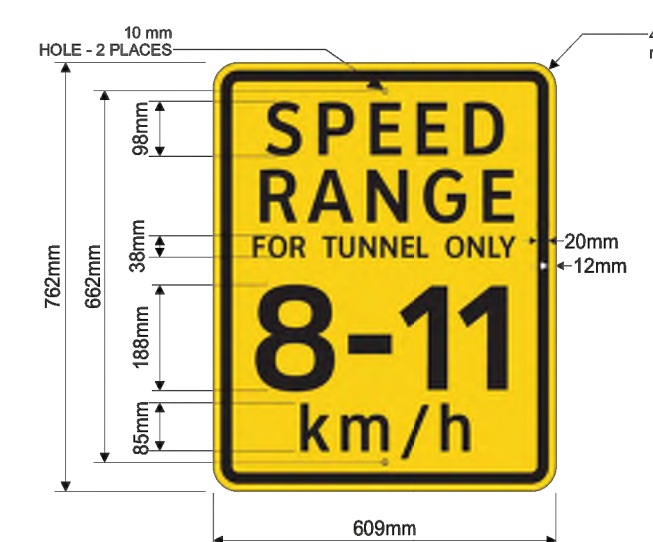
Country of Origin: USA

C3 SPEED BUMP

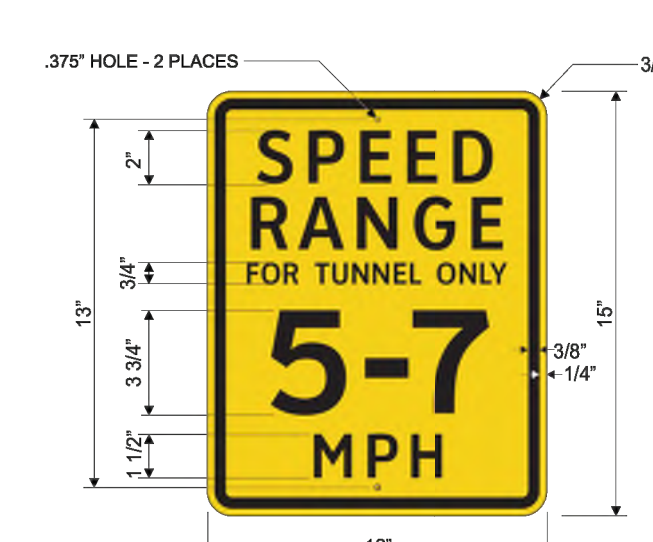
BU / Program / Type: AMZL AVI



FOR SITES LOCATED
IN CANADA USE 8-11 km/h



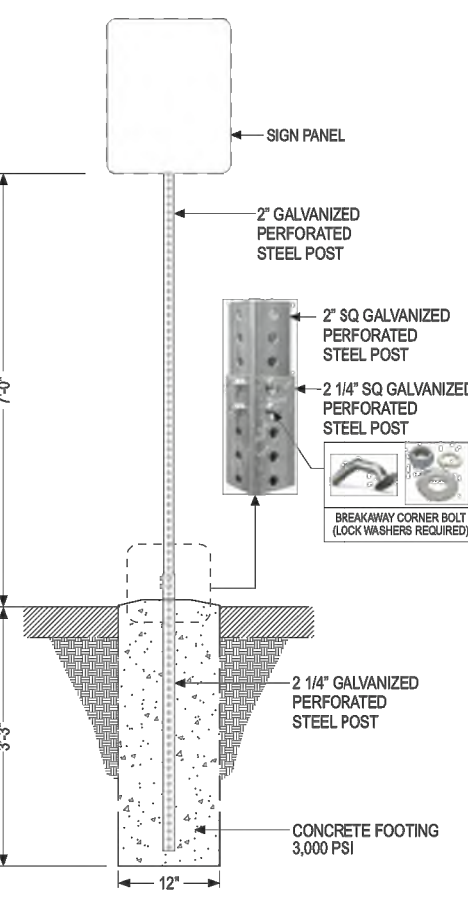
BU / Program / Type: AMZL AVI



FOR SITES LOCATED
IN CANADA USE 8-11 km/h

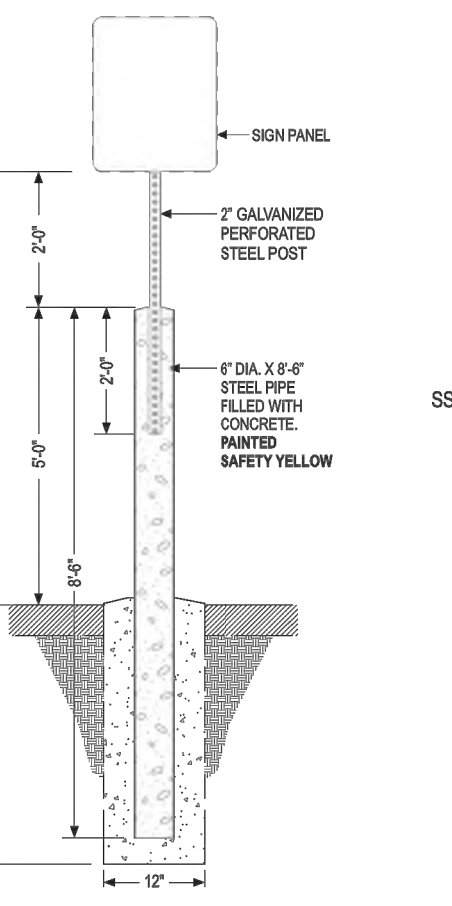


**U-1e
MOUNTING DETAIL**

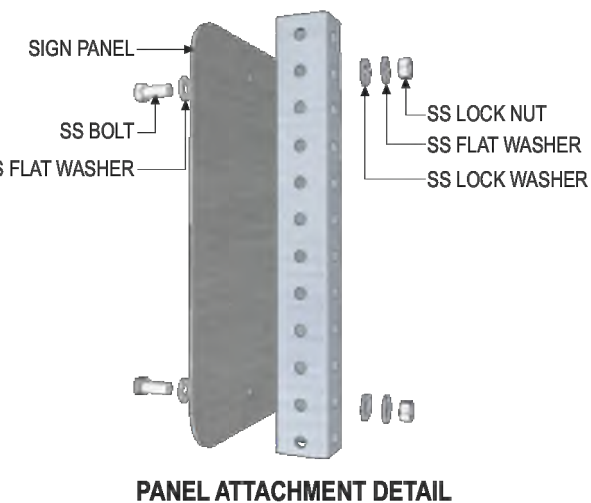


FRONT VIEW

**U-1c
MOUNTING DETAIL**



FRONT VIEW

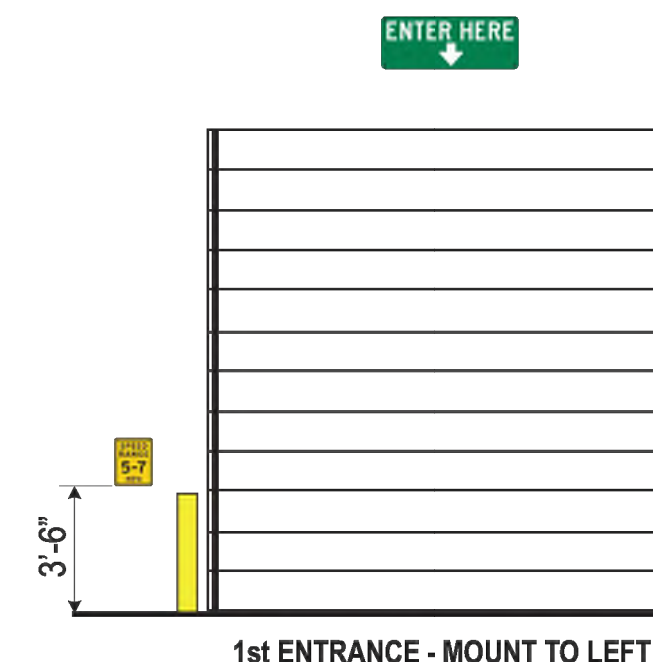


PANEL ATTACHMENT DETAIL

INSTALLED BY CONSTRUCTION

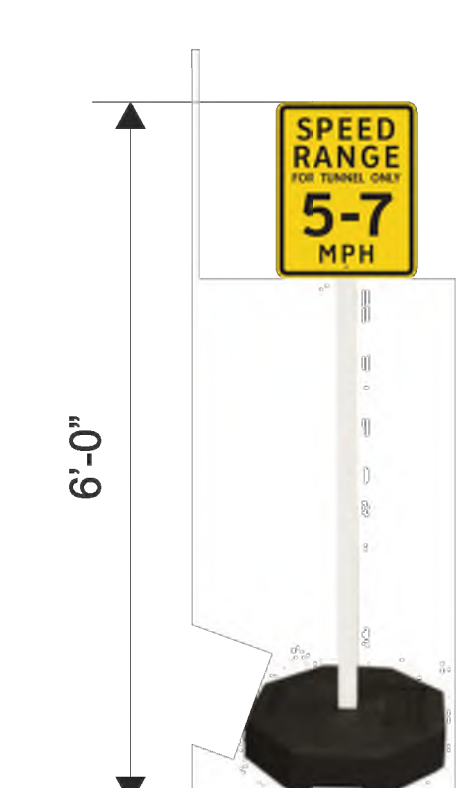
Designation:	S-6	Notes: For use at AVI facilities only. Install sign adjacent to inbound door at exterior AVI facilities and minimum 10 feet in front of interior AVI facilities.	Colors: OPaque BLACK REFLECTIVE YELLOW
Description:	AVI Speed Range Sign, 30"	Designer note: S-6 and S-6c may be used interchangeably depending on site conditions, only one sign/light size is needed.	
Substrate:	.080" Alum.		
Graphics:	Digitally printed graphics on high intensity reflective sheeting		

WALL MOUNT
FASTEN WITH CONST. ADHESIVE
AND (2) #6X300 TAPCON SCREWS
(OR EQUAL)



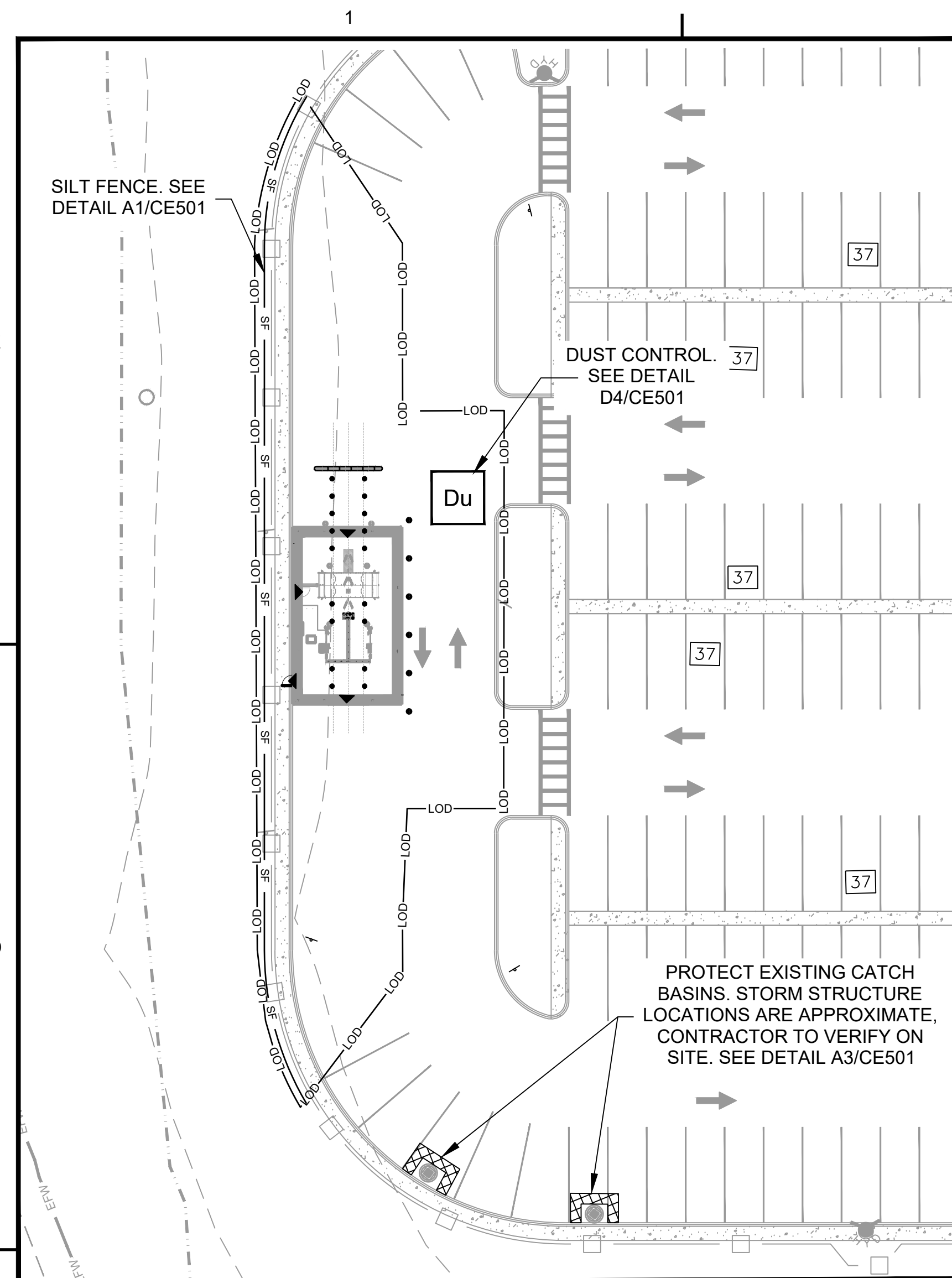
1st ENTRANCE - MOUNT TO LEFT

MOBILE POST MOUNT

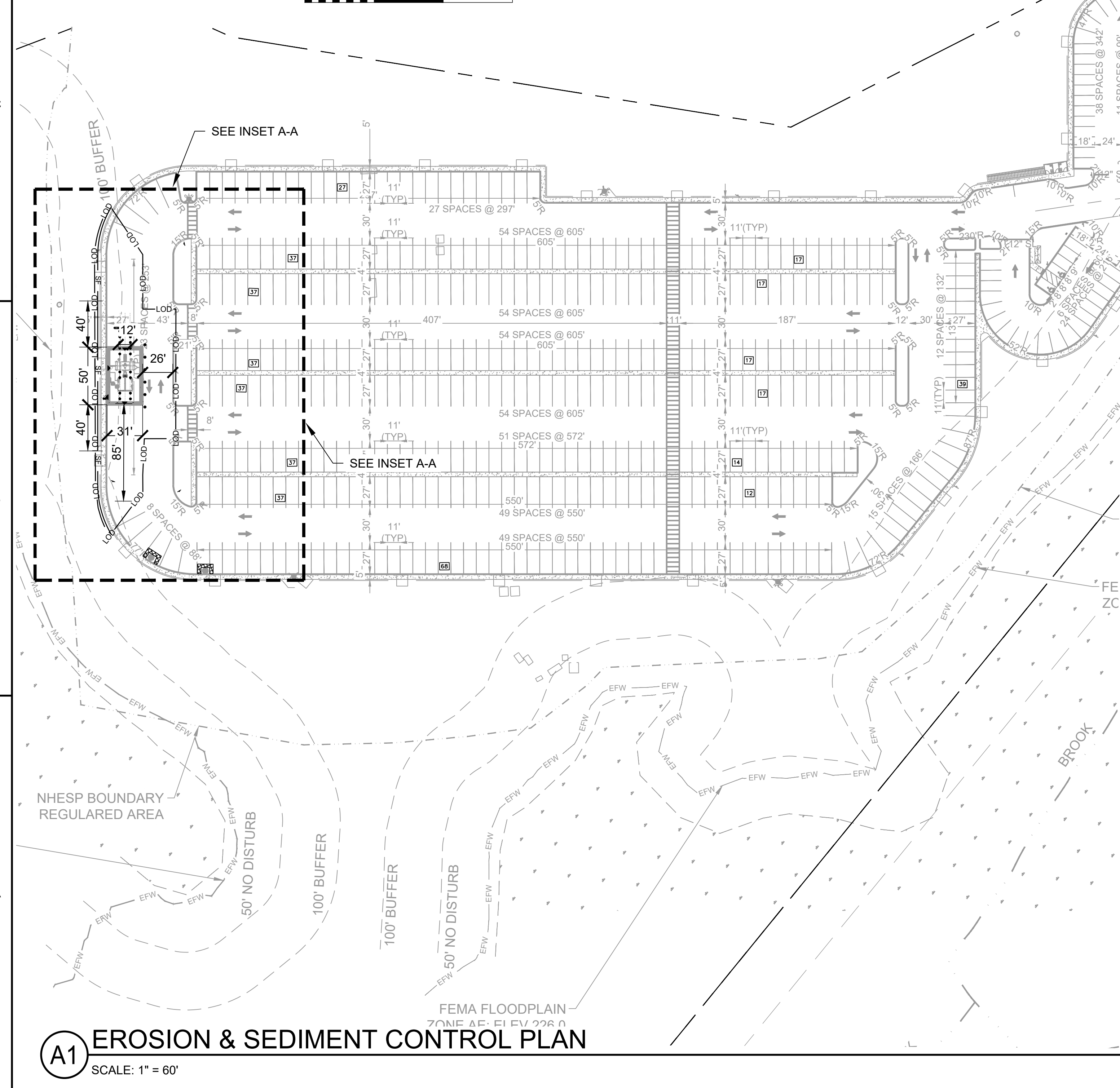



INSTALLED BY CONSTRUCTION

Designation:	S-6c	Notes: For use at AVI facilities only. Install sign adjacent to inbound door at exterior AVI facilities and minimum 10 feet in front of interior AVI facilities.	Colors: OPaque BLACK REFLECTIVE YELLOW
Description:	AVI Speed Range Sign, 15"	Mount to wall, on the side of first entrance roll up doors. Mount at 3'-6" from bottom of signage to finish grade level. Mount to nearby column or wall at interior queuing lane at a visible height to drivers, in the absence of a nearby column or a wall, mount sign to a post with 50lbs base at 6' from top of signage to finish grade.	
Substrate:	.080" Alum.	Designer note: S-6 and S-6c may be used interchangeably depending on site conditions, only one sign/light size is needed.	
Graphics:	Digitally printed graphics on high intensity reflective sheeting	Also to include: 60lbs Weighted Rubber Base • 6" Plastic 1.75" Sq. Post • Mounting Hardware	



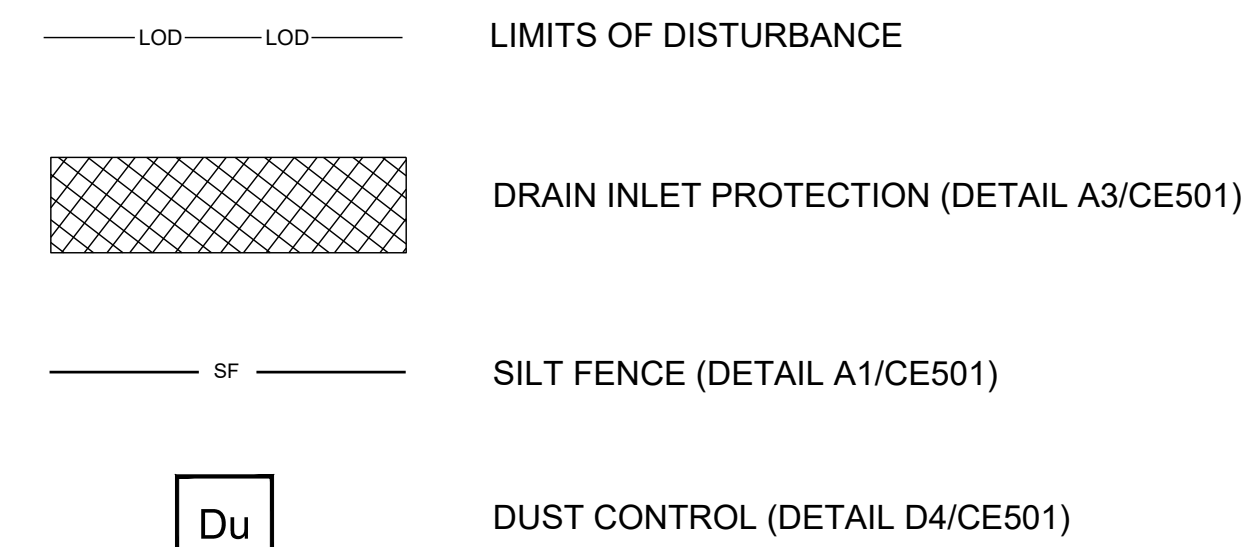
C1 INSET A-A
SCALE: 1" = 30'



GENERAL SHEET NOTES:

1. REFER TO SHEET CE-001 FOR GENERAL CIVIL NOTES, LEGEND, AND ABBREVIATIONS.
2. THIS SHEET IS PART OF A MULTI-SHEET SET OF EROSION CONTROL PLANS AND SHALL BE READ WITH THE FULL SET TO BEST ENSURE PROPER INTERPRETATION.
3. THERE ARE KNOWN WETLANDS LOCATED ONSITE.
4. STATE WATERS DO EXIST ON SITE.
5. THE ESCAPE OF SEDIMENT FROM THE SITE SHALL BE PREVENTED BY THE INSTALLATION OF EROSION AND SEDIMENT CONTROL MEASURES AND PRACTICES PRIOR TO, OR CONCURRENT WITH, LAND DISTURBING ACTIVITIES.
6. EROSION CONTROL MEASURES WILL BE MAINTAINED AT ALL TIMES. IF FULL IMPLEMENTATION OF THE APPROVED PLAN DOES NOT PROVIDE FOR EFFECTIVE EROSION CONTROL, ADDITIONAL EROSION AND SEDIMENT CONTROL MEASURES SHALL BE IMPLEMENTED TO CONTROL OR TREAT THE SEDIMENT SOURCE.
7. ANY DISTURBED AREA LEFT EXPOSED FOR A PERIOD GREATER THAN 14 DAYS SHALL BE STABILIZED WITH MULCH OR TEMPORARY SEEDING.
8. ANY DISTURBED AREA LEFT IDLE FOR MORE THAN 30 DAYS SHALL BE STABILIZED WITH PERMANENT SEEDING.
9. THE CONTRACTOR SHALL NOTIFY THE CONSERVATION COMMISSION AND ANY OTHER ASSIGNED COMMISSIONER AT LEAST 5 BUSINESS DAYS PRIOR TO THE COMMENCEMENT OF CONSTRUCTION THAT ALL EROSION CONTROL MEASURES HAVE BEEN INSTALLED.
10. ALL STAKED STRAW BALES AND SILT FENCE SHALL REMAIN IN PLACE AS SHOWN ON PLANS UNTIL THE END OF CONSTRUCTION.
11. ANY EROSION PROBLEMS SHALL BE IMMEDIATELY CORRECTED ON SITE DURING THE COURSE OF CONSTRUCTION.

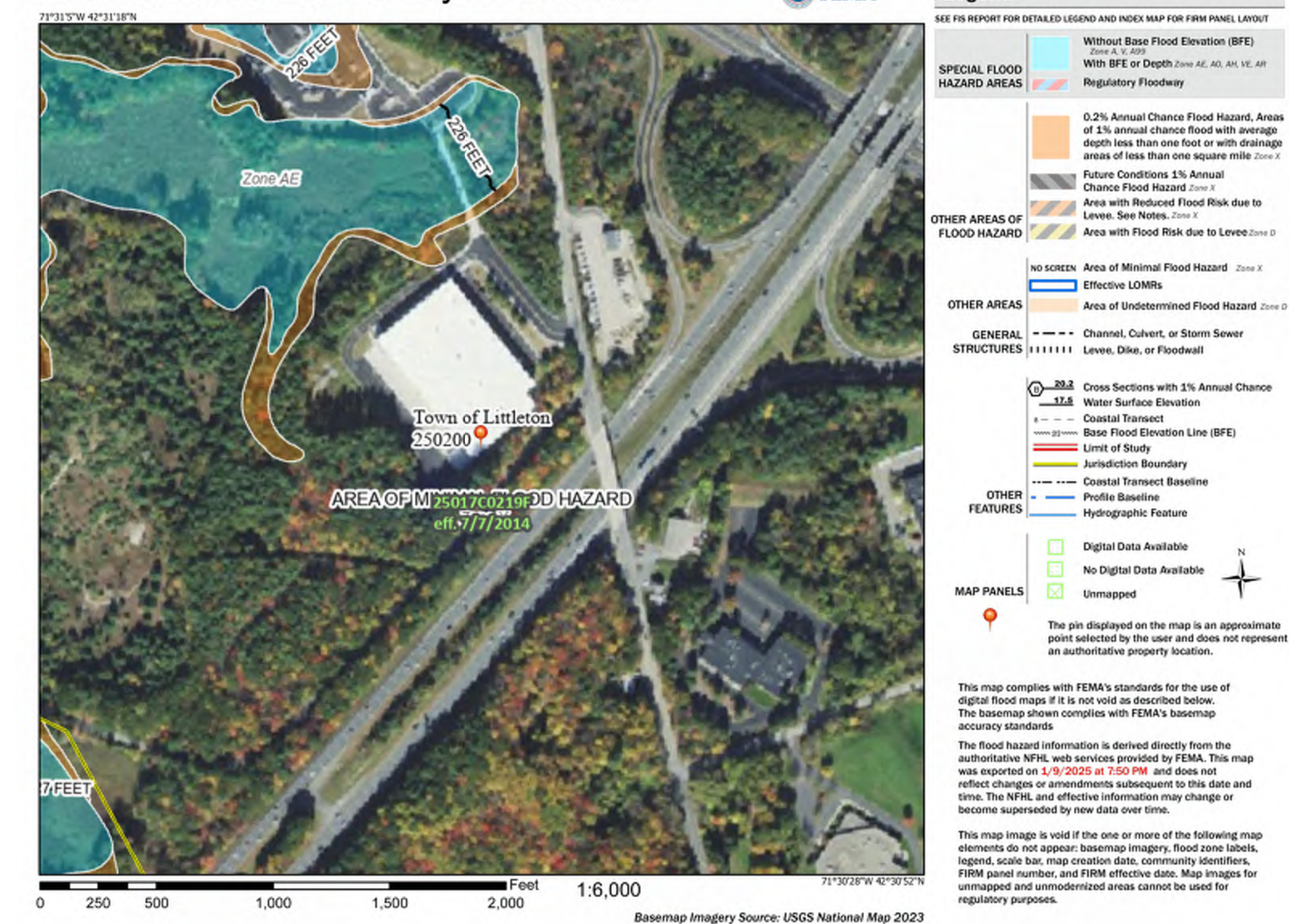
LEGEND



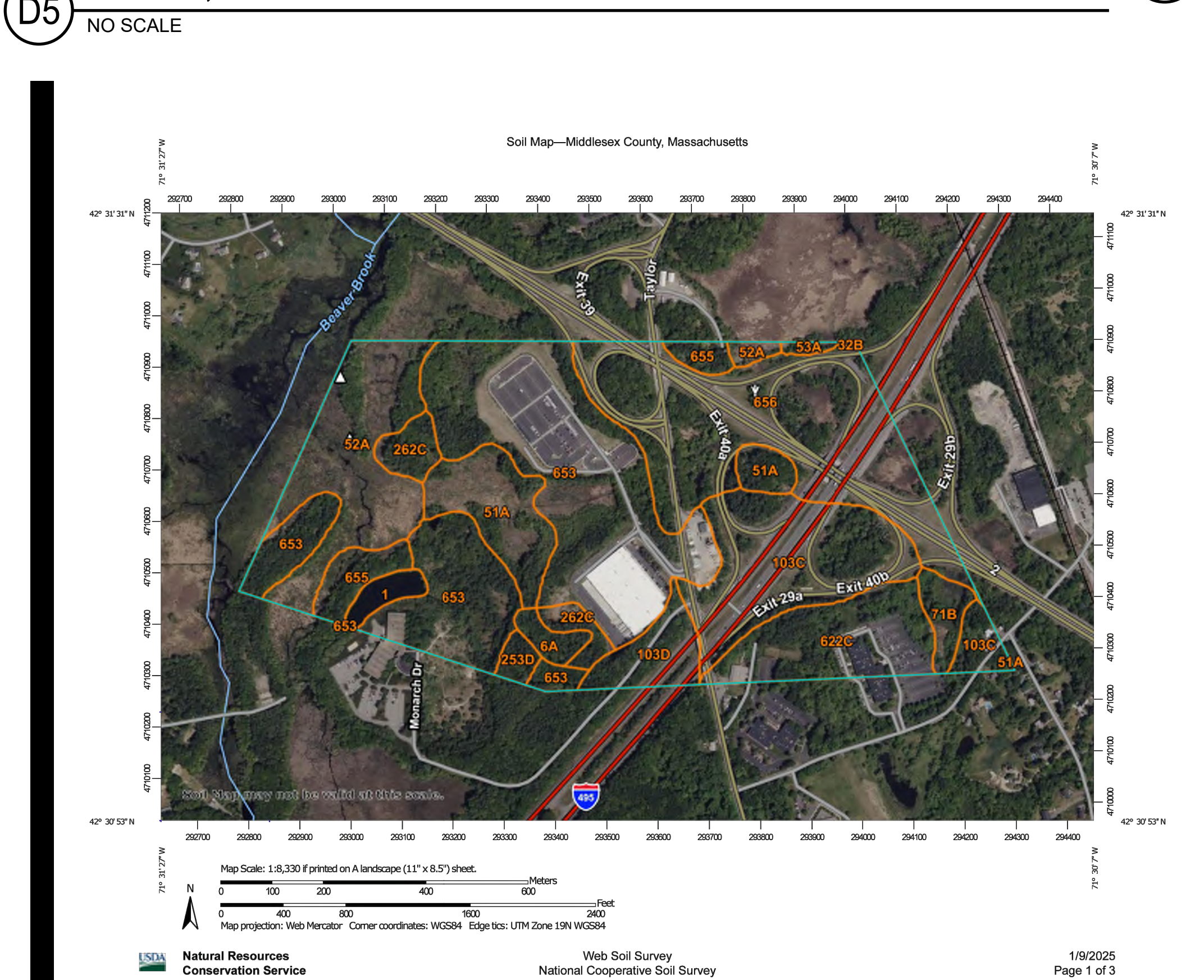
Map Unit Legend

Map Unit Symbol	Map Unit Name
1	Water
6A	Scarboro mucky fine sandy loam, 0 to 3 percent slopes
32B	Wareham loamy fine sand, 0 to 5 percent slopes
51A	Swansea muck, 0 to 1 percent slopes
52A	Freetown muck, 0 to 1 percent slopes
53A	Freetown muck, ponded, 0 to 1 percent slopes
71B	Ridgebury fine sandy loam, 3 to 8 percent slopes, extremely stony
103C	Charlton-Hollis-Rock outcrop complex, 8 to 15 percent slopes
103D	Charlton-Hollis-Rock outcrop complex, 15 to 25 percent slopes
253D	Hinckley loamy sand, 15 to 25 percent slopes
262C	Quonset sandy loam, 8 to 15 percent slopes
622C	Paxton-Urban land complex, 3 to 15 percent slopes
653	Udorthents, sandy
655	Udorthents, wet substratum
656	Udorthents-Urban land complex

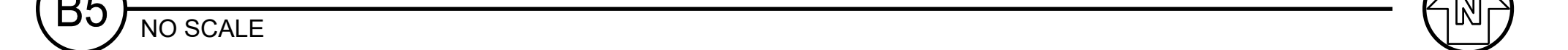
National Flood Hazard Layer FIRMette



FEMA FLOOD MAP - 25017C0219F EFFECTIVE
JULY 7, 2014



WEB SOIL SURVEY MAP



OR/AOR SEAL

CONSULTANT

CLIENT INFORMATION



PROJECT NAME

AMZL
DKO1 AVI

51-153 TAYLOR STREET
LITTLETON, MA 01460

AWING ISSUE

DATE _____

DESCRIPTION

MARK

DESIGNED BY: CQUINONES
DRAWN BY: SSTUART
CHECKED BY: SGLIDDEN
SUBMITTED BY: SGLIDDEN
DATE: 02/07/2025
PROJECT # 1240262

HEET TITLE

EROSION & SEDIMENT CONTROL PLAN

HEET NUMBER

CE101

ORIGINAL SHEET SIZE:
30" X 42"

CD100 SUBMITTAL



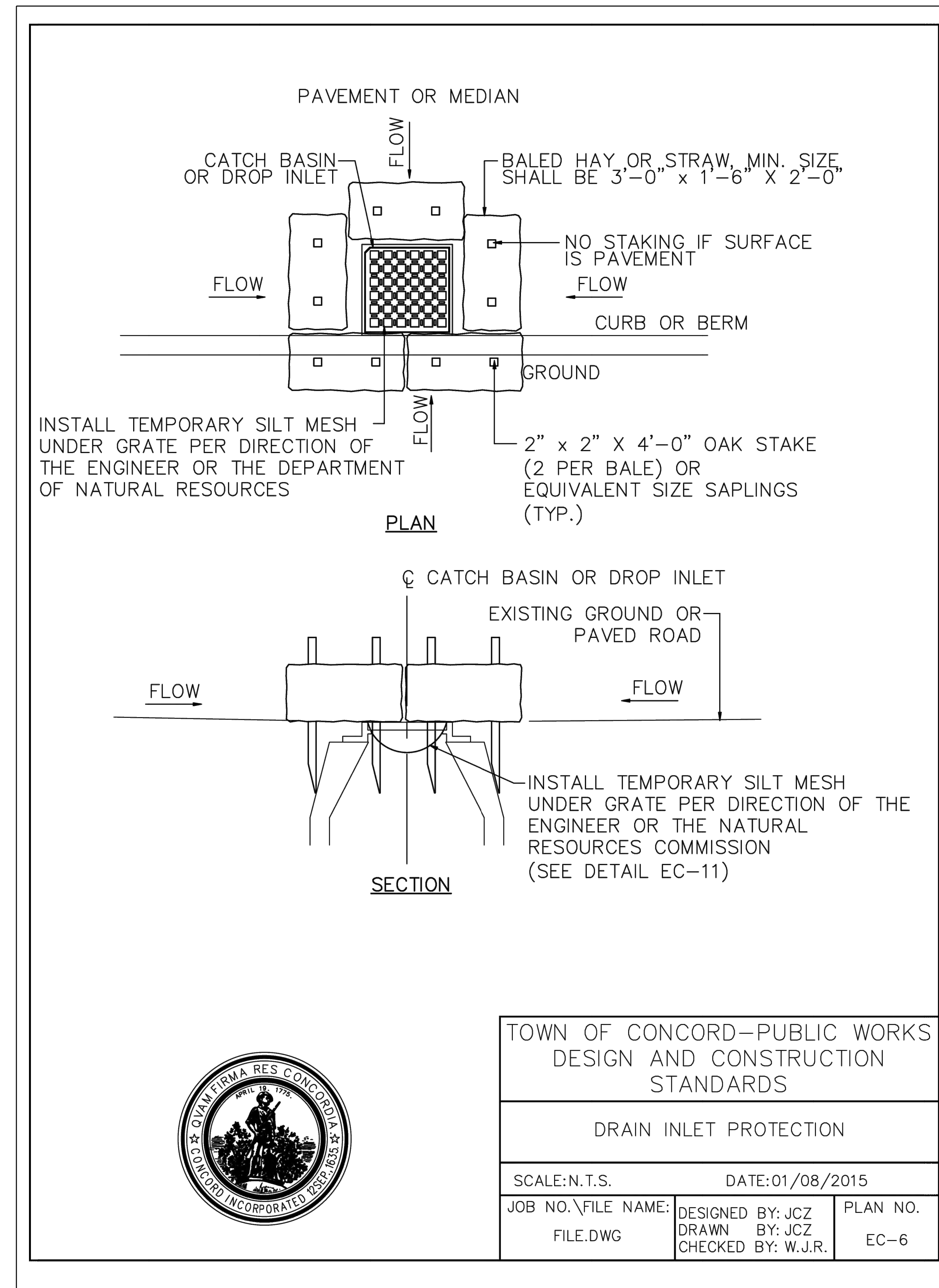
B. PERMANENT METHODS

PERMANENT VEGETATION
SEE STANDARD FOR PERMANENT SEEDING, AND PERMANENT STABILIZATION WITH SOD. EXISTING TREES AND LARGE SHRUBS MAY AFFORD VALUABLE PROTECTION IF LEFT IN PLACE.

TOPSOILING
THIS ENTAILS COVERING THE SURFACE WITH LESS ERODIBLE SOIL MATERIAL. SEE TOPSOILING.

STONE
COVER SURFACE WITH CRUSHED STONE OR COARSE GRAVEL.

Du



A1 **SILT FENCE**
NO SCALE