

LOCUS MAP

N.T.S.

LIST OF DRAWINGS

- TOPOGRAPHIC SURVEY SHEET 1
- TOPOGRAPHIC SURVEY SHEET 2
- SP1.1 SITE PREPARATION PLAN - TENNIS
- SP1.2 SITE PREPARATION PLAN - BASEBALL
- SP1.3 SITE PREPARATION DETAILS
- L1.1 LAYOUT AND MATERIALS PLAN - TENNIS
- L1.2 LAYOUT AND MATERIALS PLAN - BASEBALL
- L2.1 GRADING AND UTILITY PLAN - TENNIS
- L2.2 GRADING PLAN - BASEBALL
- L2.3 UTILITY DETAIL SHEET
- L3.1 DETAIL SHEET I - TENNIS DETAIL SHEET I
- L3.2 DETAIL SHEET II - TENNIS DETAIL SHEET II
- L3.3 DETAIL SHEET III - BASEBALL DETAIL SHEET I

ZONING DIMENSION TABLE - RESIDENCE (R) DISTRICT WITHIN THE WATER RESOURCE AND AQUIFER PROTECTION ZONING OVERLAY DISTRICTS

	REQUIRED	EXISTING	PROPOSED
(A) MINIMUM LOT SIZE	40,000 SF	2,374,020± SF (54.5 AC.)	2,374,020± SF (54.5 AC.)
(B) MINIMUM FRONTAGE	150 FT	698± FT	698± FT
(C) MINIMUM STREET SETBACK	30 FT	22.7± FT (EXISTING TOWN OFFICE BUILDING)	25± FT (AT PROJECT AREA)
(D) MINIMUM SIDE SETBACK	15 FT	50.3± FT (EXISTING TOWN OFFICE BUILDING)	70± FT (AT PROJECT AREA)
(E) MINIMUM REAR SETBACK	15 FT	>100.0 FT	>100.0 FT
(F) MAXIMUM BUILDING HEIGHT	32 FT/ 50 FT EDUCATIONAL	<50 FT	N/A
(G) MAXIMUM LOT COVERAGE	60 % BY BUILDINGS PLUS PAVING (15% OR 2,500 SF)*	641,763± SF 27.0%	675,148± SF 28.4%

* SITE IS LOCATED WITHIN THE AQUIFER PROTECTION (GP) OVERLAY DISTRICT AS DEFINED AND REGULATED UNDER ARTICLE XIV OF THE LITTLETON ZONING BY-LAW.

THE PROPOSED PROJECT SITE IS LOCATED IN ZONE X ACCORDING TO FEMA FIRM MAP 25017C 0236F, EFFECTIVE JULY 7, 2014

PERMITTING DOCUMENTS | FEBRUARY 19, 2025

TOWN OF LITTLETON

LITTLETON TENNIS AND WHITCOMB FIELD IMPROVEMENTS

LITTLETON, MA

OWNER

Town of Littleton - Littleton Parks, Recreation, and Community Education
33 Shattuck Street
Littleton, MA 01460
(978) 540-2490

LANDSCAPE ARCHITECT/CIVIL ENGINEER

Activitas
70 Milton Street
Dedham, MA 02026-2915
(781) 326-2600

SURVEY

LandTech Consultants Inc.
515 Groton Road
Westford, MA 01886
(978) 692-6100

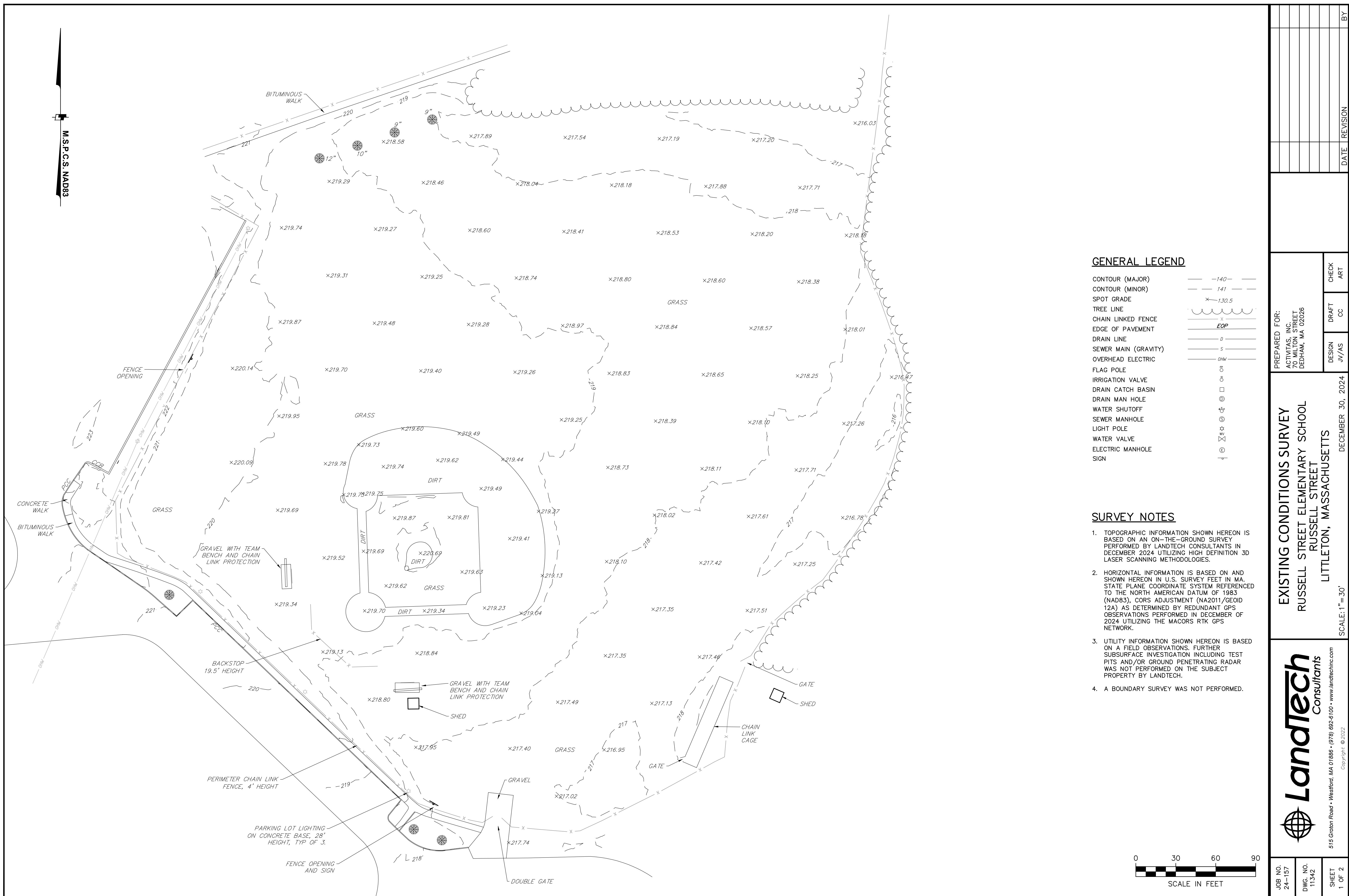
TOWN OF LITTLETON

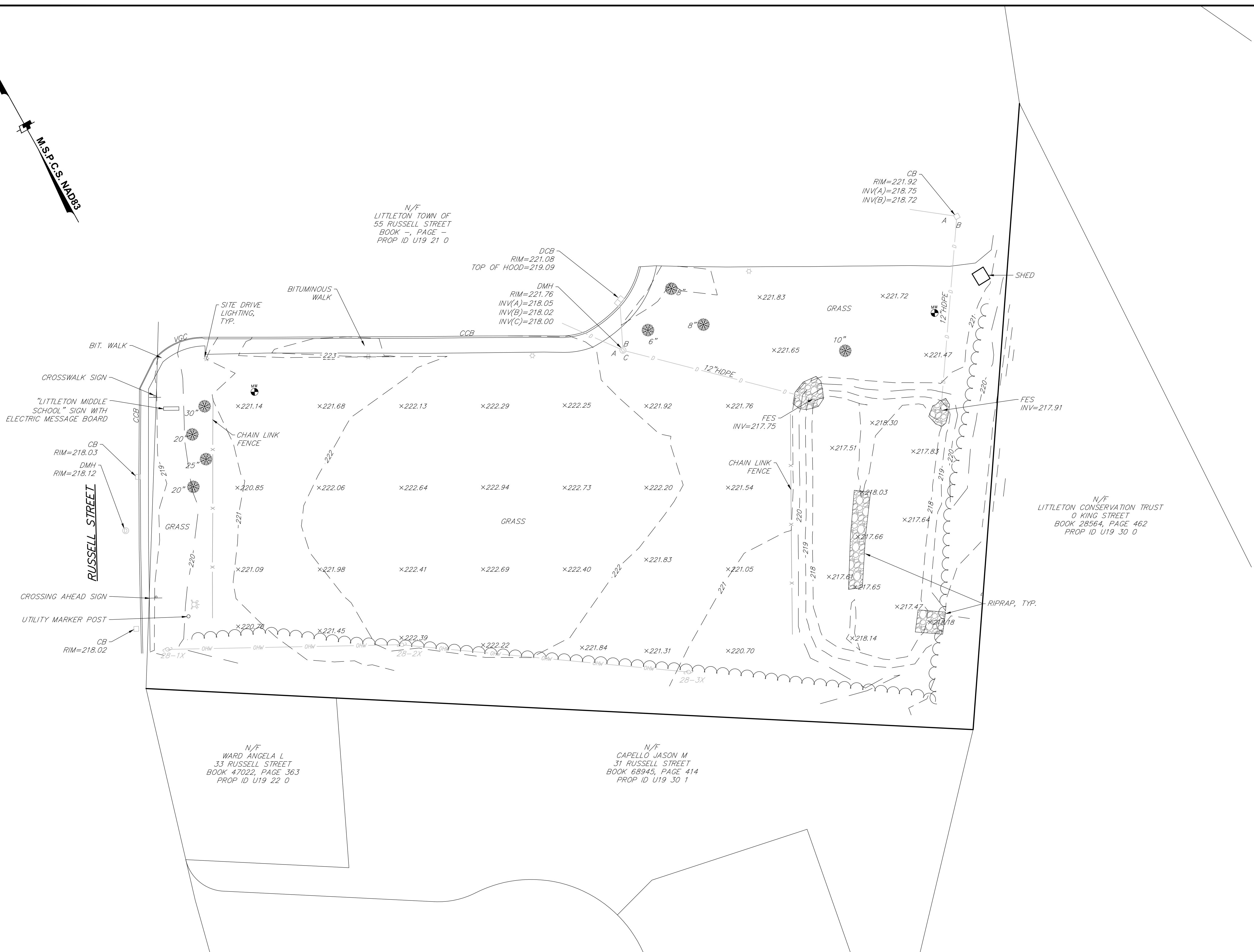
ON TENNIS AND WHITCOMB FIELD IMPROVEMENTS

PERMITTING DOCUMENTS | FEBRUARY 19, 2025

ACTIVITAS

landscape architecture | civil engineering





GENERAL LEGEND

CONTOUR (MAJOR)	—	— 140 —	—
CONTOUR (MINOR)	—	— 141 —	—
SPOT GRADE	←	— 130.5 —	
TREE LINE	—	X —	
CHAIN LINKED FENCE	—	X —	
EDGE OF PAVEMENT	—	EOP	
DRAIN LINE	—	D	
SEWER MAIN (GRAVITY)	—	S	
OVERHEAD ELECTRIC	—	OHW	
FLAG POLE	FP	○	
IRRIGATION VALVE	IV	○	
DRAIN CATCH BASIN		□	
DRAIN MAN HOLE		④	
WATER SHUTOFF		↑S○	
SEWER MANHOLE		⑤	
LIGHT POLE		○	
WATER VALVE		WV	
ELECTRIC MANHOLE		☒	
SIGN		⑥	

SURVEY NOTES

1. TOPOGRAPHIC INFORMATION SHOWN HEREON IS BASED ON AN ON-THE-GROUND SURVEY PERFORMED BY LANDTECH CONSULTANTS IN DECEMBER 2024 UTILIZING CONVENTIONAL SURVEY TECHNIQUES AND METHODOLOGIES.
2. HORIZONTAL INFORMATION IS BASED ON AND SHOWN HEREON IN U.S. SURVEY FEET IN MA. STATE PLANE COORDINATE SYSTEM REFERENCED TO THE NORTH AMERICAN DATUM OF 1983 (NAD83), CORS ADJUSTMENT (NA2011/GEOID 12A) AS DETERMINED BY REDUNDANT GPS OBSERVATIONS PERFORMED IN DECEMBER OF 2024 UTILIZING THE MACORS RTK GPS NETWORK.
3. UTILITY INFORMATION SHOWN HEREON IS BASED ON A FIELD OBSERVATIONS. FURTHER SUBSURFACE INVESTIGATION INCLUDING TEST PITS AND/OR GROUND PENETRATING RADAR WAS NOT PERFORMED ON THE SUBJECT PROPERTY BY LANDTECH.

LandTech Consultants

ESTATE PLANNING

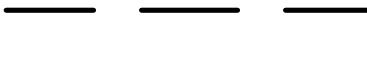
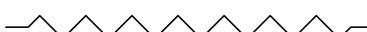
EXISTING CONDITIONS SURVEY

LITTLETON MIDDLE SCHOOL RUSSELL STREET LITTLETON, MASSACHUSETTS

URVEY	DES
DOOL	TTS
PREPARED FOR:	DRA
ACTIVITAS, INC. 70 MILTON STREET DEDHAM, MA 02026	

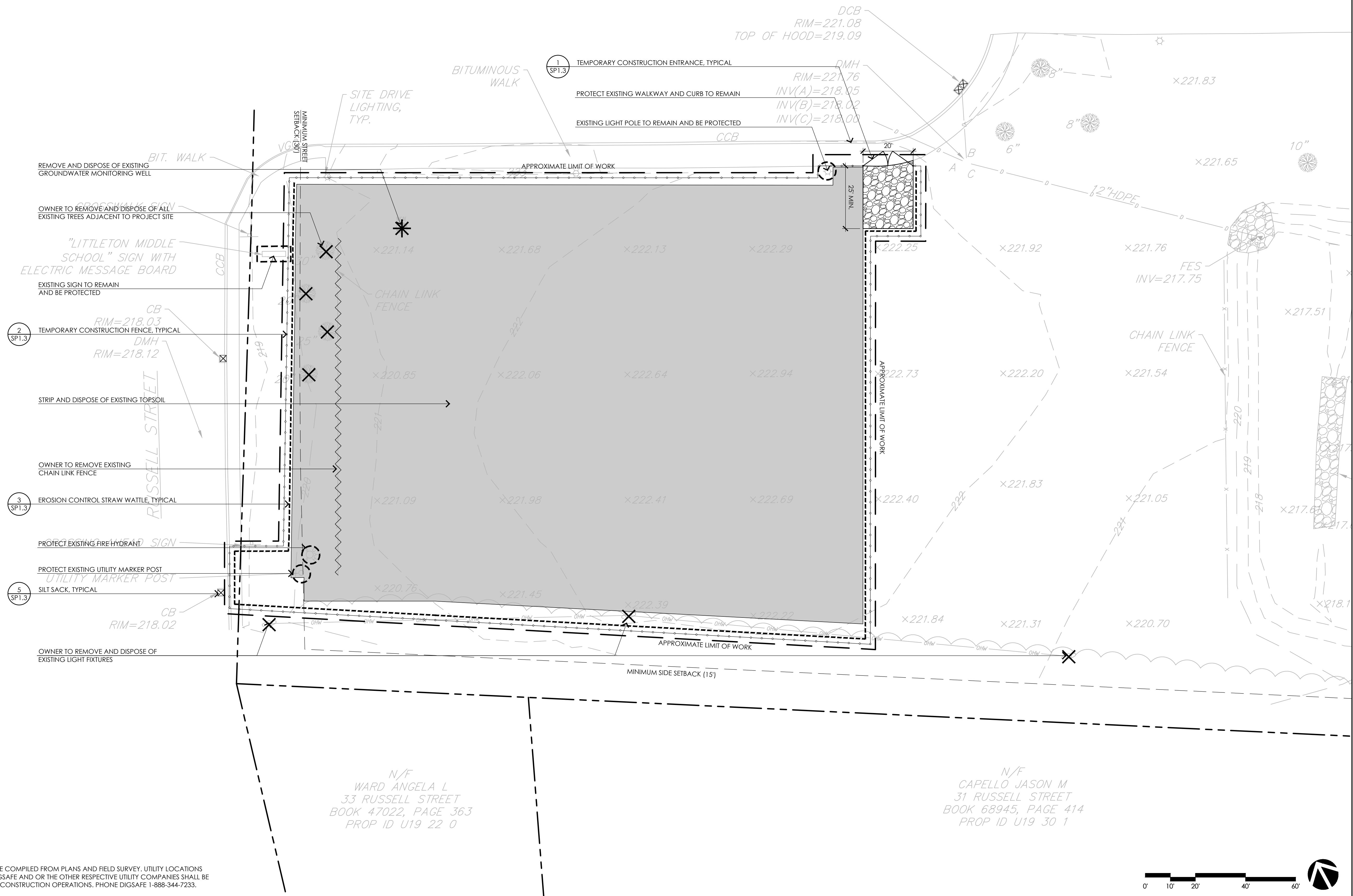
 <p>LandTech Consultants</p>		<p>55 Gorton Road • Weston, MA 02493 • (781) 692-6100 • www.landtechinc.com</p>	
JOB NO. 24-115	SHEET 200F2	SCALE: 1" = 30'	DATE DECEMBER 30, 2024
<p>EXISTING CONDITIONS SURVEY</p> <p>LITTLETON MIDDLE SCHOOL RUSSELL STREET LITTLETON, MASSACHUSETTS</p>		<p>PREPARED FOR: ACTIVITAS, INC. 70 MILTON STREET DEDHAM, MA 02026</p>	
		DESIGN JV/AS	DRAFT CC
		CHECK ART	REVISION BY

SITE PREPARATION LEGEND

APPROXIMATE LIMIT OF WORK	
PROPERTY LINE	
MINIMUM SETBACKS	
TEMPORARY CONSTRUCTION FENCE	
EROSION CONTROL	
REMOVE AND DISPOSE OF ITEM BY OWNER	
PROTECT EXISTING STRUCTURE TO REMAIN	
REMOVE AND DISPOSE OF EXISTING TREE OR STRUCTURE BY OWNER	
REMOVE AND DISPOSE OF EXISTING TREE OR STRUCTURE BY CONTRACTOR	
STRIP AND DISPOSE OF EXISTING TOPSOIL	
SILT SACK	

SITE PREPARATION NOTES

1. EXISTING CONDITIONS INFORMATION IS REPRODUCED FROM THE SURVEY PREPARED BY LANDTECH CONSULTANTS, LOCATED AT 515 GROTON ROAD, WESTFORD, MA, AND DATED DECEMBER 30, 2024.
2. THE LOCATIONS OF UNDERGROUND UTILITIES SHOWN ARE BASED ON THE EXISTING CONDITIONS REFERENCED ABOVE. THE CONTRACTOR SHALL COORDINATE WITH OWNER TO LOCATE UTILITIES. ADDITIONALLY, THE CONTRACTOR SHALL CONTACT THE PROPER LOCAL AUTHORITIES OR RESPECTIVE UTILITY COMPANIES TO CONFIRM THE LOCATION OF ALL EXISTING UTILITIES BEFORE COMMENCING WORK. ANY DAMAGE DUE TO FAILURE OF THE CONTRACTOR TO CONTACT THE PROPER AUTHORITIES SHALL BE BORNE BY THE CONTRACTOR.
3. CONTRACTOR(S) SHALL THOROUGHLY FAMILIARIZE THEMSELVES WITH ALL CONSTRUCTION DOCUMENTS, SPECIFICATIONS, AND SITE CONDITIONS PRIOR TO BIDDING AND PRIOR TO CONSTRUCTION.
4. ANY DISCREPANCIES BETWEEN DRAWINGS, SPECIFICATIONS, AND SITE CONDITIONS SHALL BE REPORTED IMMEDIATELY TO THE CIVIL ENGINEER FOR CLARIFICATION AND RESOLUTION PRIOR TO BIDDING OR CONSTRUCTION.
5. THE CONTRACTOR SHALL NOT WORK OUTSIDE OF THE APPROXIMATE LIMIT OF WORK UNLESS OTHERWISE NOTED OR DIRECTED BY THE LANDSCAPE ARCHITECT / CIVIL ENGINEER OR OWNER.
6. THE CONTRACTOR IS RESPONSIBLE FOR ANY DAMAGE TO EXISTING CONDITIONS TO REMAIN THAT ARE DUE TO CONTRACTOR OPERATIONS.
7. ALL ITEMS TO BE REMOVED, THAT ARE NOT STOCKPILED FOR LATER REUSE ON THE PROJECT OR FOR DELIVERY TO THE OWNER, SHALL BE LEGALLY DISPOSED OF OFF SITE BY THE CONTRACTOR.
8. TEMPORARY STOCKPILES SHALL BE LOCATED WITHIN THE LIMIT OF WORK AND SHALL BE PROTECTED WITH EROSION CONTROL MEASURES.
9. CONTRACTOR SHALL NOT UTILIZE EXISTING PARKING LOT FOR CONTRACTOR PARKING, STORAGE, OR STAGING UNLESS GIVEN PRIOR APPROVAL BY THE OWNER.
10. THE CONTRACTOR SHALL MAINTAIN OR ADJUST TO NEW FINISH GRADE (AS NECESSARY) ALL UTILITY AND SITE STRUCTURES SUCH AS MANHOLES, CATCH BASINS, AREA DRAINS, ETC. FROM MAINTAINED UTILITY AND SITE SYSTEMS UNLESS OTHERWISE NOTED OR DIRECTED BY THE LANDSCAPE ARCHITECT/CIVIL ENGINEER OR OWNER.
11. PROTECT AND MAINTAIN EXISTING ON-SITE DRAINAGE STRUCTURES AND PIPES UNLESS OTHERWISE NOTED.
12. THE CONTRACTOR SHALL INSTALL ADDITIONAL TEMPORARY CONSTRUCTION FENCING IF NECESSARY TO MAINTAIN A SECURE SITE. CONTRACTOR MUST TAKE APPROPRIATE MEASURES AT ALL TIMES TO MAINTAIN A SECURE SITE.
13. TRUCKS LEAVING THE SITE SHALL HAVE THEIR WHEELS WASHED PRIOR TO LEAVING THE CONSTRUCTION AREA. ANY TRACKING OUTSIDE THE SITE SHALL BE STREET SWEEP AS NECESSARY.



CONSULTANTS

URVEY - ANDTECH CONSULTANTS

TOWN OF LITTLETON

TOWN OF Littleton, Massachusetts

Permitting Documents

February 19, 2025

SCALE: 1"=20'
PROJECT NO.: 24053

LE: 24053.00-SP1.1-SP_PLAN.D
DRAWN: M
CHECKED: UC/

RECORDED. SSC/

A circular registration stamp with a serrated outer edge. The outer ring contains the text "COMMONWEALTH OF MASSACHUSETTS" at the top and "PROFESSIONAL ENGINEER" at the bottom. The inner circle contains "HOLLY C. GANSER" at the top, "CIVIL" in the middle, and "NO. 54933" at the bottom. Below the stamp is a handwritten signature "Holly Ganser" and the date "05/19/25".

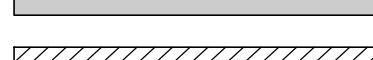
HEET TITLE: ITE PREPARATION LAN - TENNIS

HEFT NO.:

SP1.1

CONTACT DIGSAFE:
UNDERGROUND UTILITIES SHOWN ON THE PLAN ARE COMPILED FROM PLANS AND FIELD SURVEY. UTILITY LOCATIONS
SHOULD BE CONSIDERED APPROXIMATE ONLY. DIGSAFE AND OR THE OTHER RESPECTIVE UTILITY COMPANIES SHALL BE
CONTACTED 72 BUSINESS HOURS IN ADVANCE OF CONSTRUCTION OPERATIONS. PHONE DIGSAFE 1-888-344-7233.

SITE PREPARATION LEGEND

APPROXIMATE LIMIT OF WORK	
EROSION CONTROL	
REMOVE AND DISPOSE OF ITEM	
PROTECT EXISTING TREE OR STRUCTURE TO REMAIN	
REMOVE AND DISPOSE OF EXISTING STRUCTURE BY OWNER	
STRIP AND DISPOSE OF EXISTING TOPSOIL	
REMOVE AND DISPOSE OF EXISTING ASPHALT	

SITE PREPARATION NOTES

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5. THE CONTRACTOR SHALL NOT WORK OUTSIDE OF THE APPROXIMATE LIMIT OF WORK UNLESS OTHERWISE NOTED OR DIRECTED BY THE LANDSCAPE ARCHITECT / CIVIL ENGINEER OR OWNER.
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TOWN OF LITTLETON

Littleton, Massachusetts

Permitting Documents

February 19, 2025

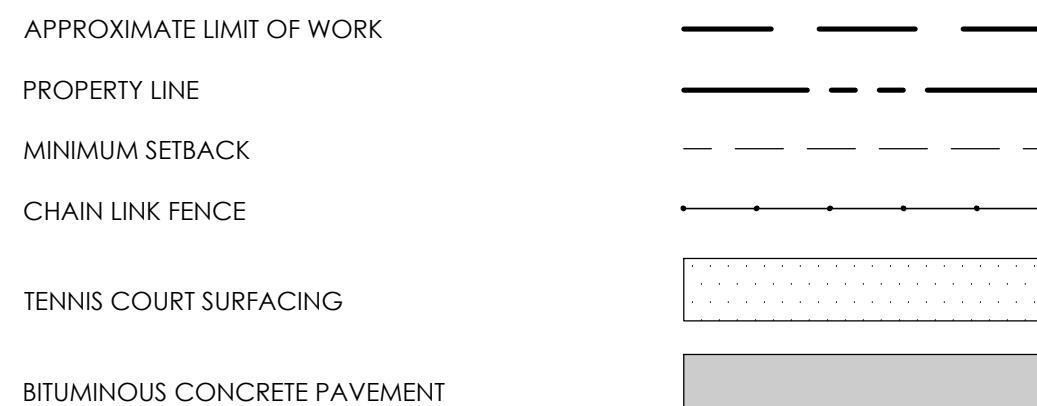
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24053.00-SP1.2-SP_PLAN.d
M
JJC/

MEET TITLE: STATE PREPARATION PLAN - BASEBALL

MEET NO:

SP1.2

LAYOUT AND MATERIALS LEGEND



LAYOUT AND MATERIALS NOTES

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- THE CONTRACTOR SHALL VERIFY ALL EXISTING CONDITIONS IN THE FIELD AND REPORT ANY DISCREPANCIES BETWEEN PLANS, SPECIFICATIONS, AND ACTUAL CONDITIONS TO THE CIVIL ENGINEER FOR CLARIFICATION AND RESOLUTION PRIOR TO BIDDING AND PRIOR TO COMMENCING CONSTRUCTION.
- THE CONTRACTOR IS RESPONSIBLE FOR ANY DAMAGE TO EXISTING CONDITIONS TO REMAIN THAT ARE DUE TO CONTRACTOR OPERATIONS.
- THE LOCATIONS OF UNDERGROUND UTILITIES SHOWN ON THIS PLAN ARE BASED ON THE SURVEY REFERENCED. THE CONTRACTOR SHALL CONTACT DIGSAFE AND THE PROPER LOCAL AUTHORITIES OR RESPECTIVE UTILITY COMPANIES TO CONFIRM THE LOCATION OF ALL EXISTING UTILITIES BEFORE COMMENCING WORK. ANY DAMAGE DUE TO FAILURE OF THE CONTRACTOR TO CONTACT THE PROPER AUTHORITIES SHALL BE BORNE BY THE CONTRACTOR.
- ALL CEMENT CONCRETE AND BITUMINOUS CONCRETE PAVING SHALL CONFORM TO MASSACHUSETTS ARCHITECTURAL ACCESS BOARD (MAAB) AND AMERICANS WITH DISABILITIES ACT (ADA) APPENDIX TO PART 1191 ACCESSIBILITY GUIDELINES FOR BUILDING AND FACILITIES.
- ALL MATERIALS SHALL CONFORM TO MASSACHUSETTS HIGHWAY DEPARTMENT (MHD) STANDARD SPECIFICATIONS.
- ALL CEMENT CONCRETE SCORING SHALL BE REVIEWED AND APPROVED BY THE OWNER AND CIVIL ENGINEER PRIOR TO CEMENT CONCRETE INSTALLATION.
- CONTRACTOR SHALL STAKE LOCATIONS OF ALL ELECTRICAL HAND HOLES PRIOR TO INSTALLATION FOR CIVIL ENGINEER TO REVIEW.
- WHILE NOT SHOWN REFER TO SPECIFICATIONS FOR ALL ATHLETIC EQUIPMENT NOT SHOWN ON PLAN BUT INCLUDED AS PART OF THE CONTRACT. CONTRACTOR TO REVIEW AND COORDINATE FINAL LOCATIONS OF ASSEMBLED EQUIPMENT WITH THE CIVIL ENGINEER AND OWNER.

CONSULTANTS

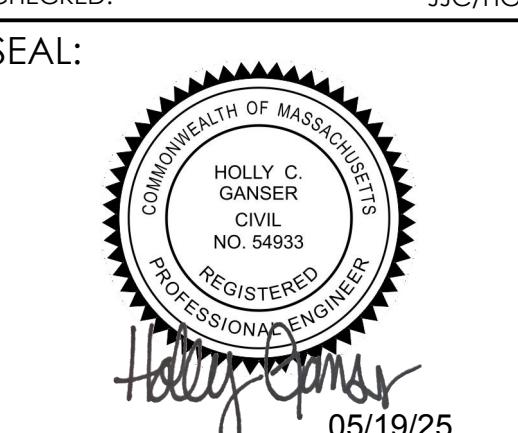
SURVEY -
LANDTECH CONSULTANTS

TOWN OF LITTLETON

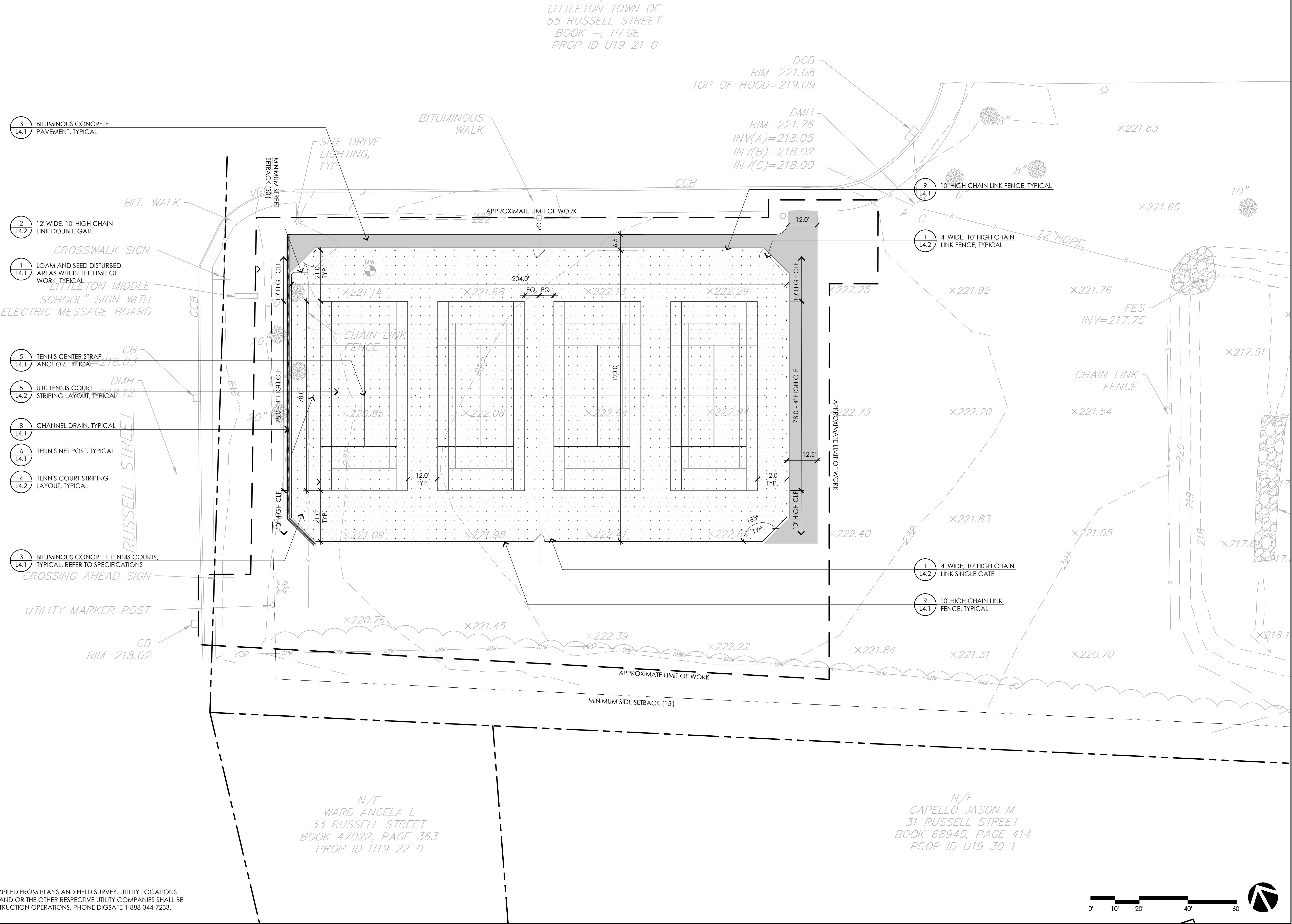
Littleton, Massachusetts
LITTLETON TENNIS AND WHITCOMB FIELD IMPROVEMENTS

Permitting Documents
February 19, 2025

REVISIONS:		
NO.	DATE	DESCRIPTION
1	5.19.25	PERMITTING REVISIONS

 SCALE: 1"=20'-0"
 PROJECT NO.: 24053.00-L1.1-LM_PLAN.dwg
 DRAWN: MJD
 CHECKED: JJC/HG

 SHEET TITLE:
 LAYOUT AND
 MATERIALS PLAN -
 TENNIS
 SHEET NO:

L1.1

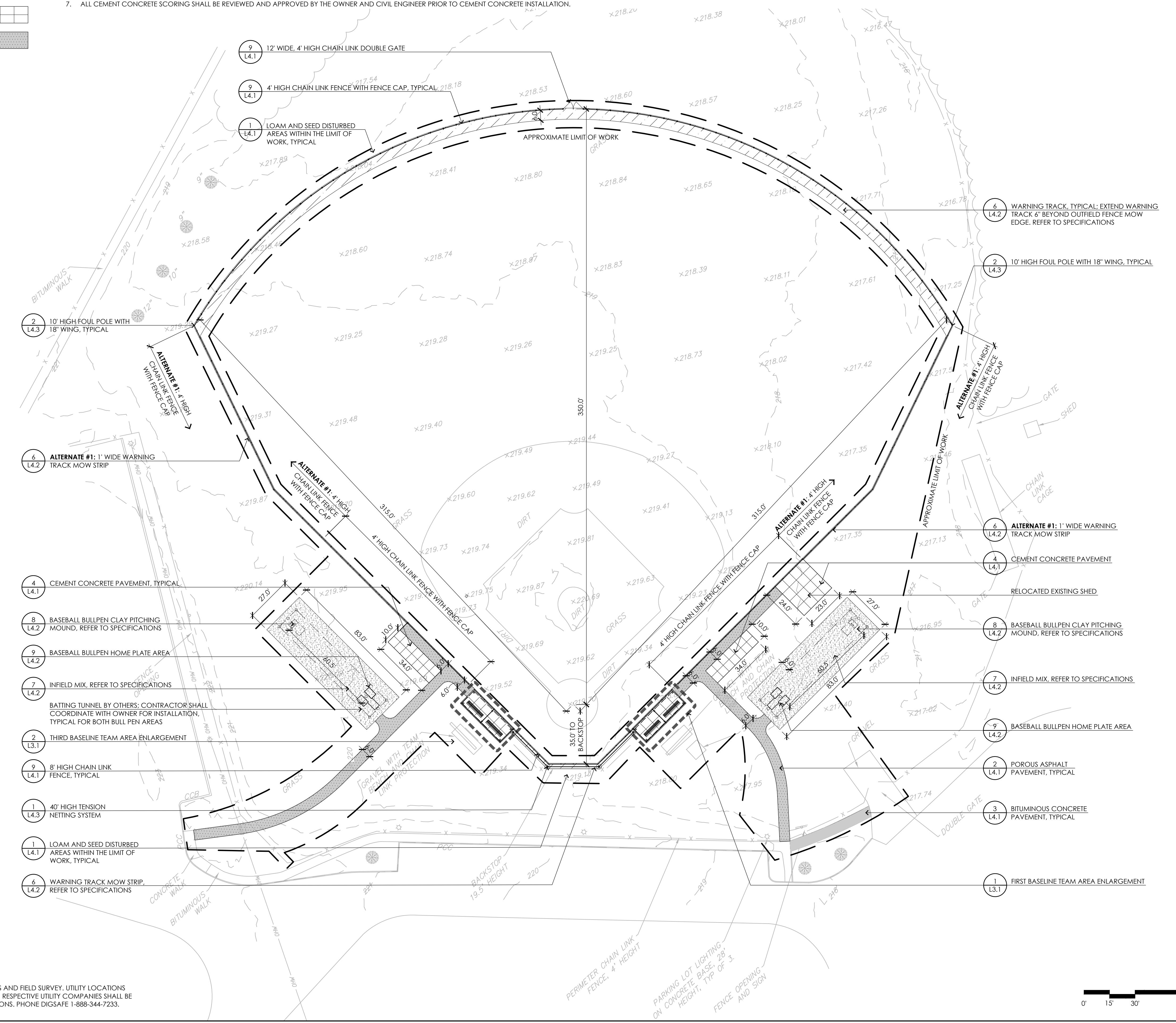


LAYOUT AND MATERIALS LEGEND

APPROXIMATE LIMIT OF WORK	
CHAIN LINK FENCE	
40' HIGH ATHLETIC BALL NETTING SYSTEM	
INFILM MIX	
WARNING TRACK MIX	
BITUMINOUS CONCRETE PAVEMENT	
CEMENT CONCRETE PAVEMENT	
POROUS ASPHALT PAVEMENT	

LAYOUT AND MATERIALS NOTES

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- ALL CEMENT CONCRETE AND BITUMINOUS CONCRETE PAVING SHALL CONFORM TO MASSACHUSETTS ARCHITECTURAL ACCESS BOARD (MAAB) AND AMERICANS WITH DISABILITIES ACT (ADA) APPENDIX TO PART 1191 ACCESSIBILITY GUIDELINES FOR BUILDING AND FACILITIES.
- ALL MATERIALS SHALL CONFORM TO MASSACHUSETTS HIGHWAY DEPARTMENT (MHD) STANDARD SPECIFICATIONS.
- ALL CEMENT CONCRETE SCORING SHALL BE REVIEWED AND APPROVED BY THE OWNER AND CIVIL ENGINEER PRIOR TO CEMENT CONCRETE INSTALLATION.



CONSULTANTS

SURVEY -
LANDTECH CONSULTANTS

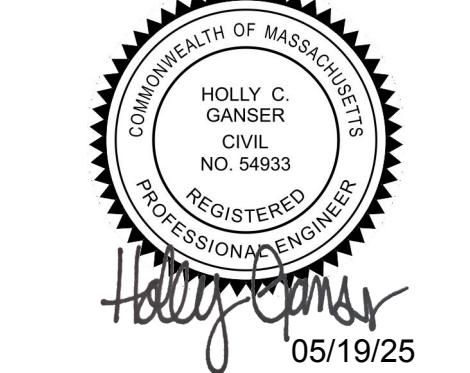
TOWN OF LITTLETON

Littleton, Massachusetts
LITTLETON TENNIS AND WHITCOMB FIELD IMPROVEMENTS

Permitting Documents
February 19, 2025

REVISIONS:		
NO.	DATE	DESCRIPTION
1	5.19.25	PERMITTING REVISIONS

SCALE: 1"=30'-0"
PROJECT NO.: 24053.00
FILE: 24053.00-L1.2-LM_PLAN.dwg
DRAWN: MJD
CHECKED: JJC/HG



SEAL:
SHEET TITLE:
LAYOUT AND
MATERIALS PLAN -
BASEBALL

SHEET NO:

L1.2

GRADING & UTILITY LEGEND

APPROXIMATE LIMIT OF WORK	— —	PROPOSED 1' CONTOUR	220
PROPERTY LINE	— — — —	PROPOSED MINOR CONTOUR	— <u>220.75</u> —
PROPERTY LINE SETBACK	— — — —	PROPOSED CHANGE OF SLOPE	-----
EXISTING 1' CONTOURS	— — <u>219</u> —	PROPOSED SLOPE DIRECTION	→
EXISTING SPOT GRADE	<u>X</u> 218.58	PROPOSED SPOT GRADE	+219.00
		HDPE SOLID DRAIN LINE	X" D
		OUTLET CONTROL STRUCTURE	□
		CLEAN OUT	○

GRADING & UTILITY NOTES

1. EXISTING CONDITIONS INFORMATION IS REPRODUCED FROM THE SURVEY PREPARED BY LANDTECH CONSULTANTS, LOCATED AT 515 GROTON ROAD, WESTFORD, MA, AND DATED DECEMBER 30, 2024.
2. THE CONTRACTOR SHALL VERIFY ALL EXISTING CONDITIONS IN THE FIELD AND REPORT ANY DISCREPANCIES BETWEEN PLANS, SPECIFICATIONS, AND ACTUAL CONDITIONS TO THE LANDSCAPE ARCHITECT / CIVIL ENGINEER FOR CLARIFICATION AND RESOLUTION PRIOR TO STARTING WORK.
3. THE CONTRACTOR IS RESPONSIBLE FOR ANY DAMAGE TO EXISTING CONDITIONS TO REMAIN THAT ARE DUE TO CONTRACTOR OPERATIONS.
4. THE LOCATIONS OF UNDERGROUND UTILITIES SHOWN ON THIS PLAN ARE BASED ON THE SURVEY REFERENCED. THE CONTRACTOR SHALL CONTACT DIGSAFE AND THE PROPER LOCAL AUTHORITIES OR RESPECTIVE UTILITY COMPANIES TO CONFIRM THE LOCATION OF ALL EXISTING UTILITIES BEFORE COMMENCING WORK. ANY DAMAGE DUE TO FAILURE OF THE CONTRACTOR TO CONTACT THE PROPER AUTHORITIES SHALL BE BORNE BY THE CONTRACTOR.
5. WHERE PROPOSED GRADES MEET EXISTING GRADES, CONTRACTOR SHALL BLEND GRADES TO PROVIDE A SMOOTH TRANSITION BETWEEN EXISTING AND NEW WORK. PONDING AT TRANSITION AREAS WILL NOT BE ALLOWED.
6. CONTRACTOR SHALL MAINTAIN POSITIVE DRAINAGE AWAY FROM ALL BUILDING FOUNDATIONS, STRUCTURES AND PLANTING BEDS.
7. THE CONTRACTOR SHALL MAINTAIN OR ADJUST TO NEW FINISH GRADE (AS NECESSARY) ALL UTILITY AND SITE STRUCTURES SUCH AS MANHOLES, CATCH BASINS, ETC. FROM MAINTAINED UTILITY AND SITE SYSTEMS UNLESS OTHERWISE NOTED OR DIRECTED BY THE CIVIL ENGINEER/LANDSCAPE ARCHITECT.

ACTIVITAS

landscape architecture | civil engineering

CONSULTANTS

SURVEY - LANDTECH CONSULTANTS

111

N/F
LITTLETON TOWN OF
55 RUSSELL STREET
BOOK -, PAGE -
PROP ID U19 21 0

BITUMINOUS WALK
SITE DRIVE LIGHTING, TYP.
MINIMUM STREET SETBACK (30')
APPROXIMATE LIMIT OF WORK
BIT. WALK
CROSSWALK SIGN
CLEANOUT RIM ELEV. 220.85
INV. 218.50
L2.3
"LITTLETON MIDDLE SCHOOL" SIGN WITH ELECTRIC MESSAGE BOARD
PREFORMED CHANNEL DRAIN
RIM ELEV. 220.88
L2.3
CB
RIM=218.03
DMH
RIM=218.12
RUSSELL STREET
CLEANOUT RIM ELEV. 220.80
INV. 218.50
L2.3
INV. 218.50
L2.3
FLARED END SECTION AND RIP RAP; INV. 218.34
CROSSING
EMERGENCY SPILLWAY AT ELEV. 220.07
L2.3
UTILITY MANHOLE
CORE INTO EXISTING CATCH BASIN AT INV.-215.28; CONTRACTOR TO CONFIRM INVERTS OF EXISTING STRUCTURE AND REPORT TO CIVIL ENGINEER PRIOR TO DRAIN CONNECTION WORK
AM-218.02
SEDIMENT FOREBAY
CHECK DAM
BOTTOM ELEV. 217.93
TOP ELEV. 218.76
L2.3
OCS-1
R= 221.07
I= 217.93 (OUT)
L2.3
INFILTRATION BASIN;
BOTTOM OF BASIN ELEV. 217.93;
TOP OF BASIN ELEV. 221.07
L2.3
N/F
WARD ANGELA L
33 RUSSELL STREET
BOOK 47022, PAGE 363
PROP ID U19 22 0

DCB
RIM=221.08
TOP OF HOOD=219.09
DMH
RIM=221.76
INV(A)=218.05
INV(B)=218.02
INV(C)=218.00
MAINTAIN FLUSH CONDITION BETWEEN EXISTING AND PROPOSED PAVEMENT
(222.33) (222.26)
222.51
222.63
222.72
222.84
1.0%
CONTRACTOR SHALL BLEND GRADES TO PROVIDE SMOOTH TRANSITION TO EXISTING GRASS AREA
APPROXIMATE LIMIT OF WORK
222.25
222.29
222.33
222.49
222.63
222.72
222.73
222.74
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CONTACT DIGSAFE:
UNDERGROUND UTILITIES SHOWN ON THE PLAN ARE COMPILED FROM PLANS AND FIELD SURVEY. UTILITY LOCATIONS
SHOULD BE CONSIDERED APPROXIMATE ONLY. DIGSAFE AND OR THE OTHER RESPECTIVE UTILITY COMPANIES SHALL BE
CONTACTED 72 BUSINESS HOURS IN ADVANCE OF CONSTRUCTION OPERATIONS. PHONE DIGSAFE 1-888-344-7233.

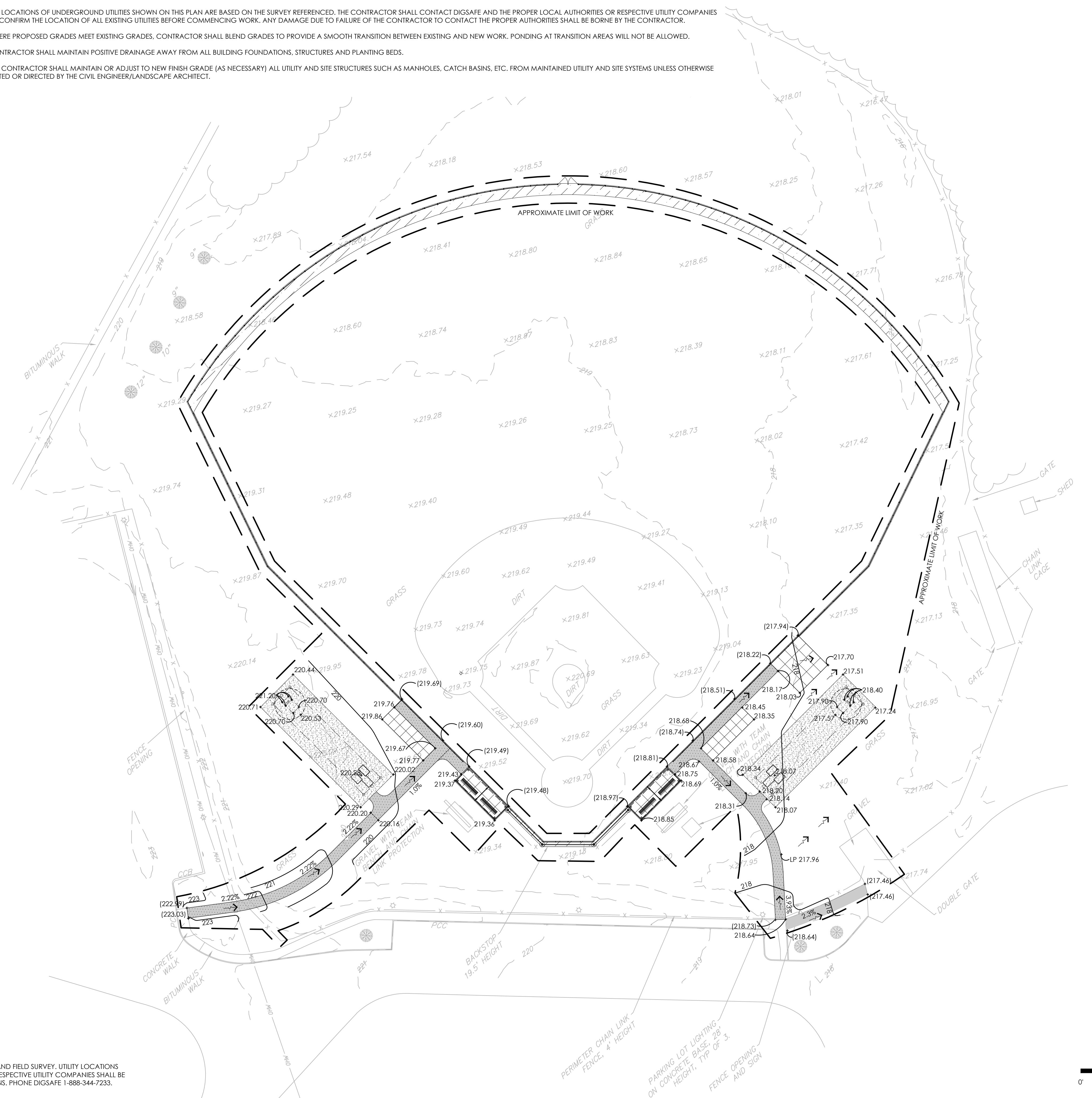
A horizontal line representing a 100' wide area. It is divided into three segments: a 20' segment on the left, a 60' segment in the middle, and a 20' segment on the right. The middle 60' segment is highlighted with a thick black line. The entire diagram is enclosed in a light gray box.

121

GRADING & UTILITY LEGEND

APPROXIMATE LIMIT OF WORK	
EXISTING 1' CONTOURS	 219
EXISTING SPOT GRADE	 x 218.58
PROPOSED 1' CONTOUR	 220
PROPOSED SLOPE DIRECTION	
PROPOSED SPOT GRADE	 + 219.00

1. EXISTING CONDITIONS INFORMATION IS REPRODUCED FROM THE SURVEY PREPARED BY LANDTECH CONSULTANTS, LOCATED AT 515 GROTON ROAD, WESTFORD, MA, AND DATED DECEMBER 30, 2024.
2. THE CONTRACTOR SHALL VERIFY ALL EXISTING CONDITIONS IN THE FIELD AND REPORT ANY DISCREPANCIES BETWEEN PLANS, SPECIFICATIONS, AND ACTUAL CONDITIONS TO THE LANDSCAPE ARCHITECT / CIVIL ENGINEER FOR CLARIFICATION AND RESOLUTION PRIOR TO STARTING WORK.
3. THE CONTRACTOR IS RESPONSIBLE FOR ANY DAMAGE TO EXISTING CONDITIONS TO REMAIN THAT ARE DUE TO CONTRACTOR OPERATIONS.
4. THE LOCATIONS OF UNDERGROUND UTILITIES SHOWN ON THIS PLAN ARE BASED ON THE SURVEY REFERENCED. THE CONTRACTOR SHALL CONTACT DIGSAFE AND THE PROPER LOCAL AUTHORITIES OR RESPECTIVE UTILITY COMPANIES TO CONFIRM THE LOCATION OF ALL EXISTING UTILITIES BEFORE COMMENCING WORK. ANY DAMAGE DUE TO FAILURE OF THE CONTRACTOR TO CONTACT THE PROPER AUTHORITIES SHALL BE BORNE BY THE CONTRACTOR.
5. WHERE PROPOSED GRADES MEET EXISTING GRADES, CONTRACTOR SHALL BLEND GRADES TO PROVIDE A SMOOTH TRANSITION BETWEEN EXISTING AND NEW WORK. PONDING AT TRANSITION AREAS WILL NOT BE ALLOWED.
6. CONTRACTOR SHALL MAINTAIN POSITIVE DRAINAGE AWAY FROM ALL BUILDING FOUNDATIONS, STRUCTURES AND PLANTING BEDS.
7. THE CONTRACTOR SHALL MAINTAIN OR ADJUST TO NEW FINISH GRADE (AS NECESSARY) ALL UTILITY AND SITE STRUCTURES SUCH AS MANHOLES, CATCH BASINS, ETC. FROM MAINTAINED UTILITY AND SITE SYSTEMS UNLESS OTHERWISE NOTED OR DIRECTED BY THE CIVIL ENGINEER/LANDSCAPE ARCHITECT.



CONSULTANTS

URVEY - ANDTECH CONSULTANTS

TOWN OF LITTLETON

Littleton, Massachusetts

LITTLETON TENNIS AND WHITCOMB FIELD IMPROVEMENTS

Permitting Documents

February 19, 2025

SCALE: 1"=30'-0" PROJECT NO.: 24053.0

HECKED: JJC/H
EAL:

COMMONWEALTH OF MASSACHUSETTS
HOLLY C.
GANSER
CIVIL
NO. 54933
REGISTERED
PROFESSIONAL ENGINEER
Holly Ganser
05/19/25

HEET TITLE:
GRADING PLAN -
ASER ALL

HEFT NO.:

L2.2

CONTACT DIGSAFE:
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CONTACTED 72 BUSINESS HOURS IN ADVANCE OF CONSTRUCTION OPERATIONS. PHONE DIGSAFE 1-888-344-7233.

CONSULTANTS

URVEY - LANDTECH CONSULTANTS

TOWN OF LITTLETON

Littleton, Massachusetts

TOWN OF Littleton, Massachusetts

Permitting Documents

February 19, 2025

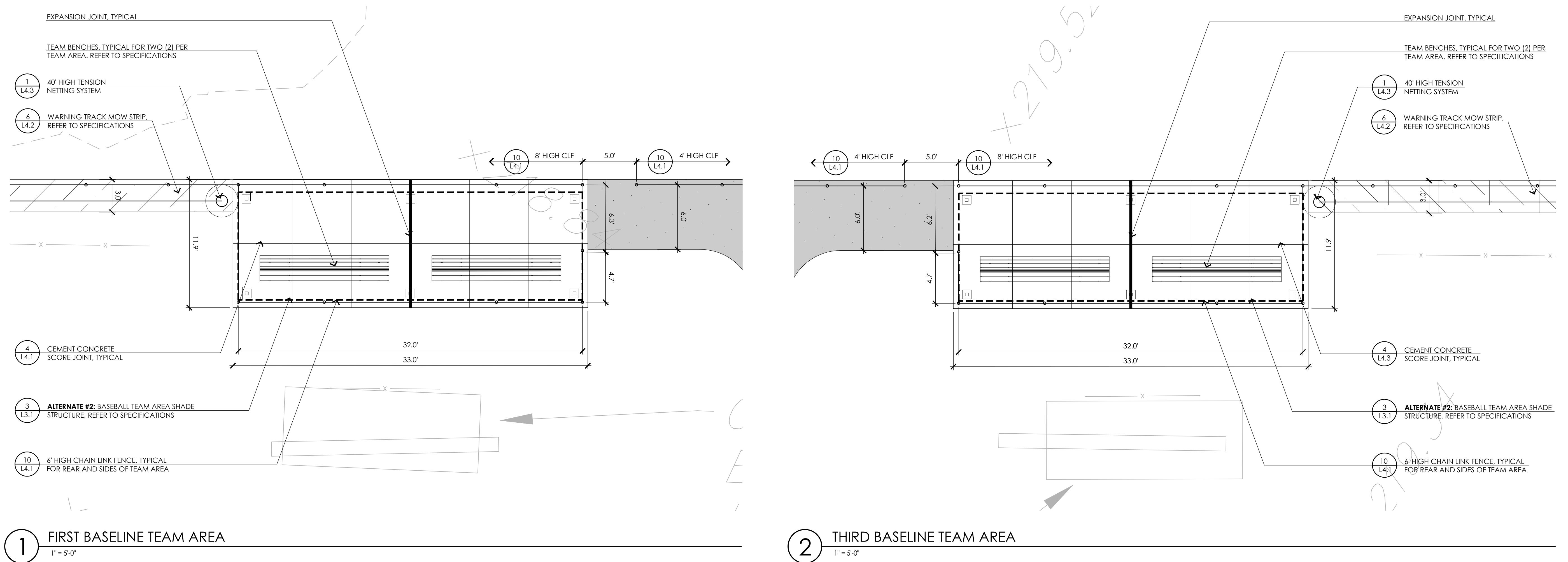
SCALE:	AS NOTED
PROJECT NO.:	24053.00
FILE:	24053.00-L3.1-ENL_PLAN.dwg
DRAWN:	MJD
CHECKED:	JJC/HG

A circular seal with a serrated outer edge. The outer ring contains the text "COMMONWEALTH OF MASSACHUSETTS" at the top and "PROFESSIONAL ENGINEER" at the bottom. The inner circle contains "HOLLY C. GANSER" at the top, "CIVIL" in the middle, and "NO. 54933" below it. A signature "Holly Ganser" is written across the bottom of the seal. The date "05/19/25" is printed at the bottom right.

HEET TITLE:
NLARGEMENT SHEET I

HEET NO:

L3.1

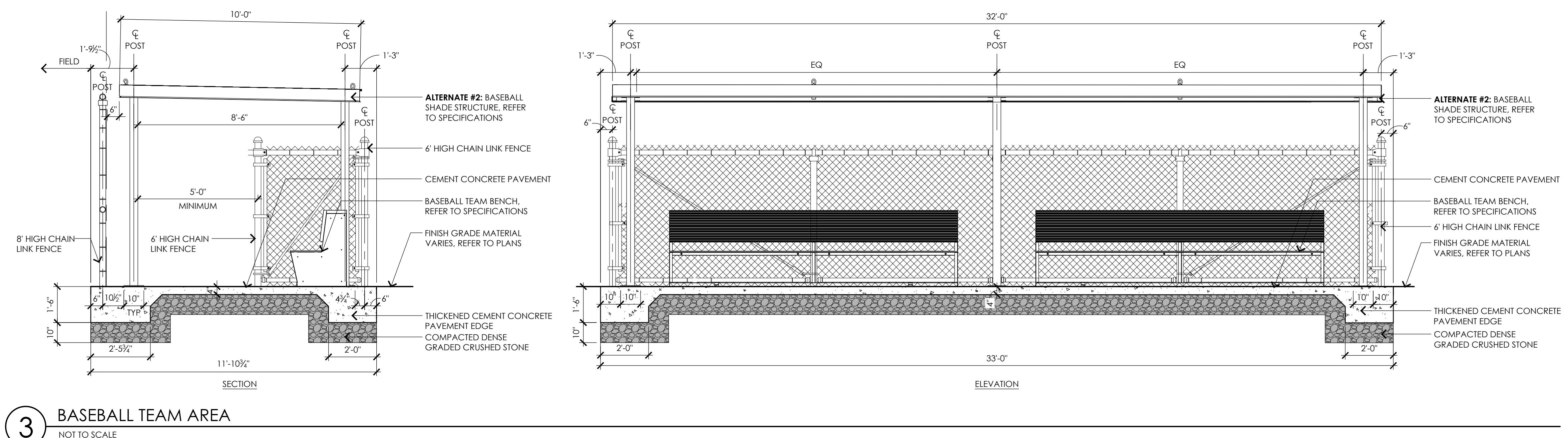


NOTES:

1. SHADE STRUCTURE AND TEAM BENCH COLORS SHALL BE SELECTED BY THE OWNER FROM THE MANUFACTURER'S LIST OF STANDARD COLORS.
2. CONTRACTOR SHALL INSTALL REBAR AT THICKENED CEMENT CONCRETE PAVEMENT EDGE PER TEAM SHELTER MANUFACTURER'S RECOMMENDATION.

NOTES:

1. SHADE STRUCTURE AND TEAM BENCH COLORS SHALL BE SELECTED BY THE OWNER FROM THE MANUFACTURER'S LIST OF STANDARD COLORS.
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